

**RESOLUTION**  
**R 48-23**

**A RESOLUTION APPROVING A DOWNTOWN IMPROVEMENT AND  
RENOVATION GRANT FOR THE PROPERTY COMMONLY KNOWN AS  
10-12 SOUTH PARK AVENUE**

WHEREAS, the Village disburses funds for the Downtown Improvement and Renovation Grant Program (the "Program") under the authority of the Village Board of Trustees, and will provide monetary grants to qualified property owners in the Lombard Tax Increment Financing (TIF) Downtown District to enhance and improve buildings and parking areas; and,

WHEREAS, property owner UMJK Holdings LLC/Usman "Sid" Siddiqui (the "Applicant"), wish to participate in this Program for renovations to the property (the "Project") located at 10-12 S. Park Avenue, Lombard, Illinois (the "Subject Property") and,

WHEREAS, the Project shall consist of those renovations to the property on the Subject Property as set forth on Exhibit "A" attached hereto and made part hereof; and,

WHEREAS, the Project will complement and support the Village's plans to maintain a quality Central Business District;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LOMBARD, DUPAGE COUNTY, ILLINOIS, as follows:

**SECTION 1:** That the Village shall provide the Applicant a grant of up to fifty thousand dollars (\$50,000), pursuant to the Program (the "Grant") for the proposed façade enhancements. Furthermore, the Village shall provide the Applicant an additional grant of up to eighteen thousand, one hundred dollars (\$18,100), pursuant to the Program for the proposed exterior accessibility improvements for the proposed exterior patio area (the cumulative sum being cumulatively referred to as the "Grant"). Such grant funds shall be available to the Applicant upon the authorization of the Village's Director of Community Development, after receipt of satisfactory evidence that the project components have been completed, and that the Applicant has paid all invoices for labor and materials in connection therewith.

**SECTION 2:** The Applicant, as well as any subsequent business or property owner, will perform the following obligations in connection with the Project:

1. Building permits must be received for the applicable work, with completion and passage of all required inspections.
2. Work shall be complete one year from the date of approval by the ECDC.

3. Before the grant can be paid out, UMJK Holdings LLC shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and an IRS W-9 form.
4. After the grant money is paid, UMJK Holdings LLC shall display the Village window sign acknowledging they received a grant.

**SECTION 3:** The Applicant, and any subsequent business or property owner, shall be required to maintain the Property in accordance with all Village codes and ordinances, and obtain all necessary licenses and permits required relative thereto.

**SECTION 4:** That the Downtown Improvement and Renovation Grant Program Agreement, relative to the Project, attached hereto as Exhibit "B" and made part hereof is hereby approved (the "Agreement")

**SECTION 5:** The Village may terminate the Agreement if the Applicant, or any subsequent business or property owner, fails to comply with any of the terms of the Agreement. In the event of termination, the Applicant shall be required to repay any amount of the Grant disbursed.

**SECTION 6:** That the Village President and Village Clerk are hereby authorized and directed to sign, on behalf of the Village of Lombard, the Agreement attached hereto as Exhibit "B".

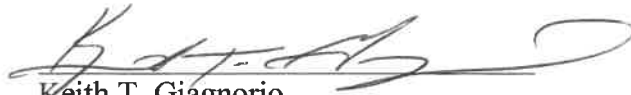
Adopted this 21<sup>st</sup> day of September 2023.

Ayes: Trustee LaVaque, Dudek, Puccio, Honig, and Bachner

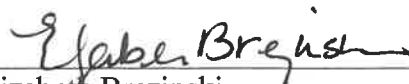
Nays: None

Absent: Trustee Militello

Approved by me this 21st day of September 2023.

  
Keith T. Giagnorio  
Village President

ATTEST:

  
Elizabeth Brezinski  
Village Clerk

**EXHIBIT A**  
**Legal Description**

THAT PART OF BLOCK 1 IN BLOCK 19 IN TOWN OF LOMBARD, DESCRIBED AS COMMENCING IN THE EAST LINE OF SAID LOT, 29.16 FEET NORTH OF THE SOUTHEAST CORNER THEREOF, THE SAME BEING AT THE CENTER OF THE BRICK WALL, AS A POINT OF BEGINNING; THENCE NORTH ALONG THE EAST LINE OF SAID LOT 1, 52.68 FEET TO THE JOINT IN THE BRICK WALL, FOLLOWING THE LOT; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID LOT 54.88 FEET TO A POINT INTERSECTING A STRAIGHT LINE DRAWN WESTERLY FROM THE POINT OF BEGINNING THROUGH THE CENTER OF THE BRICK WALL TO THE WEST LINE OF SAID LOT; THENCE EASTERLY IN A STRIAIGHT LINE 87.57 FEET TO THE POINT OF BEGINNING, BEING A SUBDIVISION IN SECTIONS 5, 6, 7, 8 AND 18 TOWNSHIP 39, NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 23, 1868 AS DOCUMENT 9483 IN DUPAGE COUNTY, ILLINOIS.

PIN 06-07-209-013

ADDRESS: 10-12 SOUTH PARK AVENUE

**EXHIBIT B**

**DOWNTOWN IMPROVEMENT AND RENOVATION GRANT PROGRAM  
AGREEMENT**

This Agreement is entered into this twenty first day of September, 2023, by and between the Village of Lombard, Illinois, (hereinafter referred to as the “Village”), and property owner UMJK Holdings LLC, signed by agent Usman “Sid” Siddiqui (hereinafter referred to as “Applicant”) for the property at 10-12 S. Park Avenue, Lombard, Illinois (said location being legally described on Exhibit “1” attached hereto and made part hereof – hereinafter referred to as the “Subject Property”). The Village and the Applicant are sometimes referred to herein collectively as the “Parties.”

**WITNESSETH**

**WHEREAS**, the Village, pursuant to Sections 36.30 through 36.36 of the Lombard Village Code, has established a Downtown Improvement and Renovation Grant Program (hereinafter referred to as the “Program”) and, as such, will provide grants to qualified business owners and property owners in the Eligible TIF Districts (as said term is defined in Section 36.31 of the Lombard Village Code) for exterior renovations; and

**WHEREAS**, the Program compliments and supports the Village's plans to maintain a quality Central Business District; and

**WHEREAS**, exterior renovations are desirable within the Central Business District and contribute to an economically strong Central Business District; a commercial area where the image, appearance, and environment encourage the attraction of shoppers; and

**WHEREAS**, the Applicant wish to participate in this Program for proposed exterior renovations to be located at 10-12 South Park Avenue, Lombard, Illinois; with said exterior and accessibility renovations being more specifically described in Exhibit “2” attached hereto and made part hereof (hereinafter referred to as the “Project”);

**NOW, THEREFORE**, in consideration of the foregoing, and other good and valuable consideration, the receipt of which is hereby acknowledged by the Parties hereto, the Parties agree as follows:

**SECTION 1:** The Village shall provide the Applicant with a grant under the Program in an amount not to exceed fifty thousand dollars (\$50,000), (hereinafter referred to as the “Grant”) for the proposed façade enhancements. Furthermore, the Village shall provide the Applicant an additional grant of up to eighteen thousand, one hundred dollars (\$18,100), pursuant to the Program for the proposed exterior accessibility improvements for the proposed exterior patio area (the cumulatively sum referred to as the “Grant”).

Such Grant shall be available to the Applicant upon the authorization of the Village's Director of Community Development, and after the Applicant has constructed the Project, and complied with the provisions of this Agreement and Sections 36.30 through 36.36 of the Lombard Village Code, as well as paid for the Project. The maximum amount of the Grant, as set forth above, is based upon the Applicant expending no less than one hundred thousand and 00/100 dollars (\$100,000) on the proposed façade modifications as well as no less than thirty-six thousand, two hundred and 00/100 dollars (\$36,200) on the proposed exterior accessibility modifications for the proposed exterior patio area. In the event that the Applicant's expenditures for the Project are less, the Grant shall be reduced such that the maximum amount of the Grant shall not exceed fifty percent (50%) of the amount expended by the Applicant in relation to the Project.

**SECTION 2:** The Applicant shall undertake the following in connection with the Project:

1. Building permits must be received for the applicable work, with completion and passage of all required inspections.
2. Work shall be complete one year from the date of approval by the ECDC.
3. Before the grant can be paid out, UMJK Holdings LLC shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and an IRS W-9 form.
4. After the grant money is paid, UMJK Holdings LLC shall display the Village window sign acknowledging they received a grant.

**SECTION 3:** Upon completion of the Project, the Applicant shall maintain the Subject Property and the business located thereon in accordance with all applicable federal, state and local laws, rules and regulations.

**SECTION 4:** The Applicant hereby consent to the recording of this Agreement to serve as notice to future purchasers, assigns, estate representatives, mortgagees, and all other interested persons of the conditions outlined in this Agreement.

**SECTION 5:** In the event the Village terminates this Agreement as a result of the Applicant failing to comply with any of the terms of this Agreement, the Applicant shall be required to repay any amount of the Grant that has been disbursed by the Village.

**SECTION 6:** This Agreement shall be binding upon the successors and assigns of the Parties hereto.

Resolution No. 48-23  
10-12 S. Park Avenue

VILLAGE OF LOMBARD

By: Keith T. Giagnorio, Village President

Attest: Elizabeth Brezinski, Village Clerk

APPLICANT

UMJK Holdings LLC/Usman "Sid" Siddiqui

Resolution No. 48-23  
10-12 S. Park Avenue

STATE OF ILLINOIS        )  
  )SS  
COUNTY OF DUPAGE        )

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Keith T. Giagnorio, personally known to me to be the President of the Village of Lombard, and Elizabeth Brezinski, personally known to me to be the Village Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such President and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Commission expires \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public





**EXHIBIT 1**  
**Legal Description**

THAT PART OF BLOCK 1 IN BLOCK 19 IN TOWN OF LOMBARD, DESCRIBED AS COMMENCING IN THE EAST LINE OF SAID LOT, 29.16 FEET NORTH OF THE SOUTHEAST CORNER THEREOF, THE SAME BEING AT THE CENTER OF THE BRICK WALL, AS A POINT OF BEGINNING; THENCE NORTH ALONG THE EAST LINE OF SAID LOT 1, 52.68 FEET TO THE JOINT IN THE BRICK WALL, FOLLOWING THE LOT; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID LOT 54.88 FEET TO A POINT INTERSECTING A STRAIGHT LINE DRAWN WESTERLY FROM THE POINT OF BEGINNING THROUGH THE CENTER OF THE BRICK WALL TO THE WEST LINE OF SAID LOT; THENCE EASTERLY IN A STRIAIGHT LINE 87.57 FEET TO THE POINT OF BEGINNING, BEING A SUBDIVISION IN SECTIONS 5, 6, 7, 8 AND 18 TOWNSHIP 39, NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 23, 1868 AS DOCUMENT 9483 IN DUPAGE COUNTY, ILLINOIS.

PIN 06-07-209-013

ADDRESS: 10-12 SOUTH PARK AVENUE

## **EXHIBIT 2**

The Community Development Department retains a copy of the submittal to the Economic and Community Development Committee. This submittal includes contractor's quotes and a description of the work to be completed. As set forth in the attached building plans, The Applicant proposes to:

- Remove much of the east exterior wall and replacing it with a new frost wall and recessed glass exterior wall with two entrance doors;
- Exterior and stone and stucco cladding removal and replacement of a new brick finish and with metal soffit panels; and
- Demolition of and reconstruction of the existing concrete surface to provide for ADA accessibility into the building and which can also be utilized as a potential outside seating area, if sought by a future tenant.

The estimated façade enhancement component is \$124,550 and is grant eligible up to \$50,000 (i.e., 50% of the \$100,000 Program cap). The concrete accessibility accommodation cost is \$36,200, which makes this project component eligible for up to \$18,100.

**BASE BUILDING UPGRADES**

UNIK HOLDINGS LLC  
 10105 SUNLAND  
 LINDSEY R. BIRN

UNIK HOLDINGS LLC  
 10105 SUNLAND  
 LINDSEY R. BIRN

**BUILDING DIVISION APPROVED**

APPROVED FOR THE PROJECT BY:  
 00117463

TRENT FREDRICKSON, P.E.  
 10105 SUNLAND  
 LINDSEY R. BIRN

ARCHITECT  
 CARDINAL SDI  
 10105 SUNLAND  
 LINDSEY R. BIRN

PAUL CHASSAN, P.E.  
 10105 SUNLAND  
 LINDSEY R. BIRN



FOR CONSTRUCTION ONLY  
 DATE: 06/11/2024

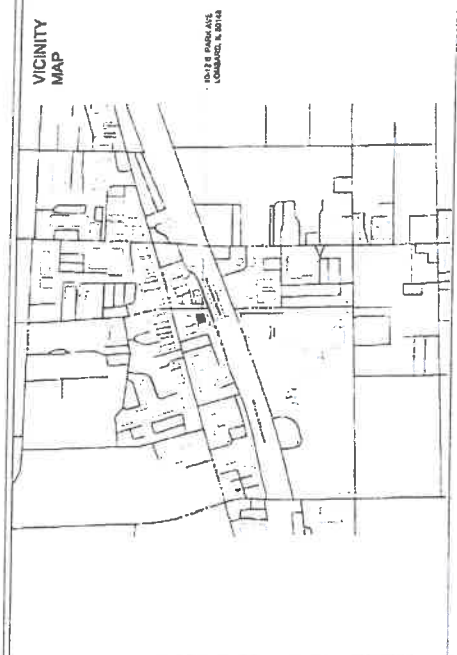
FOR CONSTRUCTION SET

SCALE: 1/4"

DATE: 06/11/2024

COVER SHEET

**G.O.00**



**MATERIAL & PRODUCT SUBMITTALS**

1. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS, MANUFACTURED PRODUCTS, AND SUBSTITUTES TO BE USED IN THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL SUBMIT ALL MATERIALS, MANUFACTURED PRODUCTS, AND SUBSTITUTES TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
2. THE CONTRACTOR SHALL SUBMIT ALL MATERIALS, MANUFACTURED PRODUCTS, AND SUBSTITUTES TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. THE CONTRACTOR SHALL SUBMIT ALL MATERIALS, MANUFACTURED PRODUCTS, AND SUBSTITUTES TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
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**GENERAL NOTES**

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. ALL MATERIALS AND MANUFACTURED PRODUCTS SHALL BE PROVIDED TO THE JOB SITE BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL WORKERS AND THE PUBLIC.
8. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE BUILDING DEPARTMENT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL FEATURES.
10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.

**DELEGATED DESIGN**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL WORK NOT SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL WORK NOT SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL WORK NOT SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL WORK NOT SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL WORK NOT SPECIFICALLY IDENTIFIED IN THE CONTRACT DOCUMENTS.

**PROJECT SUMMARY**

PROJECT AREA: 3147 FT<sup>2</sup>

BASE BUILDING UPGRADES

MECHANICAL, ELECTRICAL, AND PLUMBING

MECHANICAL: 1117 SF

ELECTRICAL: 1117 SF

PLUMBING: 1117 SF

MECHANICAL: 1117 SF

ELECTRICAL: 1117 SF

PLUMBING: 1117 SF

**DRAWING LIST**

NO.	DESCRIPTION	DATE
01	GENERAL	
01.00	GENERAL NOTES	
01.01	GENERAL NOTES	
01.02	GENERAL NOTES	
01.03	GENERAL NOTES	
01.04	GENERAL NOTES	
01.05	GENERAL NOTES	
01.06	GENERAL NOTES	
01.07	GENERAL NOTES	
01.08	GENERAL NOTES	
01.09	GENERAL NOTES	
01.10	GENERAL NOTES	
01.11	GENERAL NOTES	
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01.13	GENERAL NOTES	
01.14	GENERAL NOTES	
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01.49	GENERAL NOTES	
01.50	GENERAL NOTES	



**BASE BUILDING  
UPGRADES**

UNIK HOLDINGS LLC  
1000 W. 10th Ave  
Tulsa, Oklahoma 74103  
918.437.7200

TRENT FREDRICKSON, R.A.  
1000 W. 10th Ave  
Tulsa, Oklahoma 74103  
918.437.7200

CARDINAL SDI  
1700 W. 10th Ave  
Tulsa, Oklahoma 74103

PAUL GHASSAN, P.E.  
400 W. 10th Ave



REVISIONS  
REVISION 1  
DATE 01/11/2023

FOR CONSTRUCTION  
SET

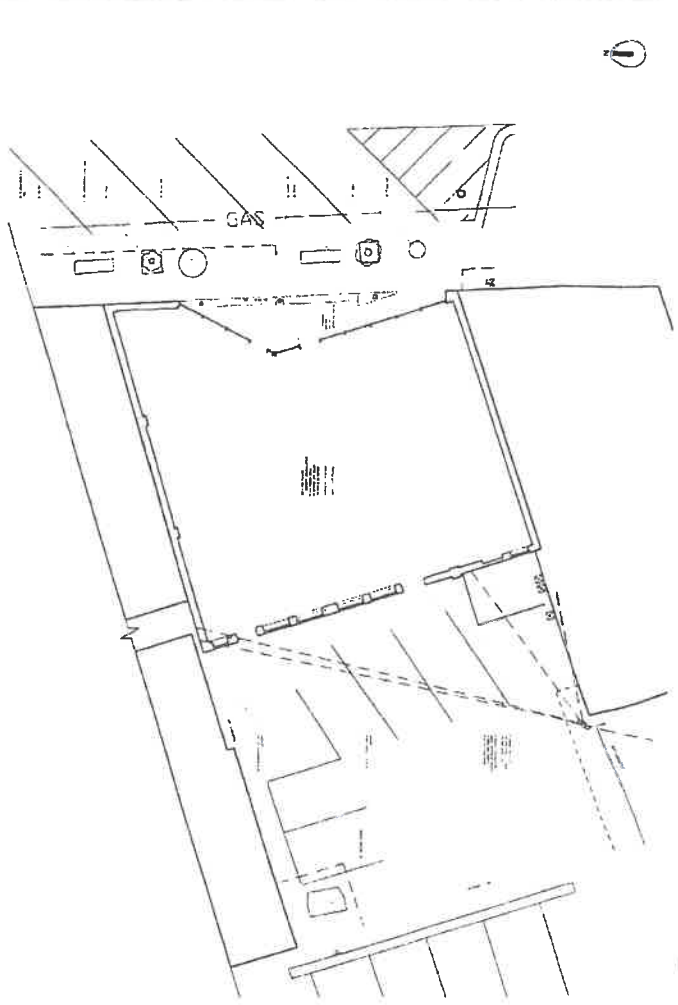
SCALE: AS SHOWN  
DATE: JAN 11, 2023

SITE PLAN +  
SURVEY  
G1.03



NO (E) ROOFTOP UNITS OBSERVED  
IN AERIAL IMAGERY.  
CONTINGENT UPON FIELD  
VERIFY ROOFTOP UNITS  
SCOPE OF WORK.

1. EXISTING AERIAL PHOTO



2. SITE PLAN

**KABAL SURVEYING COMPANY**  
Land Surveying Services  
ALTA/MSPS Land Title Survey

1000 W. 10th Ave  
Tulsa, Oklahoma 74103  
918.437.7200

**LEGEND**

1. Proposed improvements shown on this plan are subject to the approval of the City of Tulsa and the Oklahoma Department of Transportation.

2. All proposed improvements are shown on this plan as a preliminary plan only.

3. All proposed improvements are subject to the approval of the City of Tulsa and the Oklahoma Department of Transportation.

4. All proposed improvements are subject to the approval of the City of Tulsa and the Oklahoma Department of Transportation.

**NOTICE TO CONTRACTOR**

This plan was prepared by Kabal Surveying Company, P.C. and is intended to be used for the construction of the improvements shown on this plan. It is the responsibility of the contractor to verify the accuracy of the information shown on this plan and to obtain all necessary permits and approvals from the appropriate authorities.

**DATE: 01/11/2023**

**PROJECT: 10-115 PARK AVE**

**DRAWN BY: [Name]**

**CHECKED BY: [Name]**

**SCALE: AS SHOWN**

3. ALTA/MSPS LAND TITLE SURVEY

**BASE BUILDING  
UPGRADES**

1011 S. PINE AVE  
CHICAGO, IL 60606

**UNIK HOLDINGS LLC**  
PO BOX 100  
CHICAGO, IL 60667  
312.321.2200

**TRENT FREDRICKSON, P.E.**  
2819 S. WASHINGTON AVE #2  
CHICAGO, IL 60608  
312.321.2200

**CARDINAL, SDI**  
1700 N. LAUREL  
CHICAGO, IL 60642

**PAUL GHASSANI, P.E.**  
1011 S. PINE AVE  
CHICAGO, IL 60606



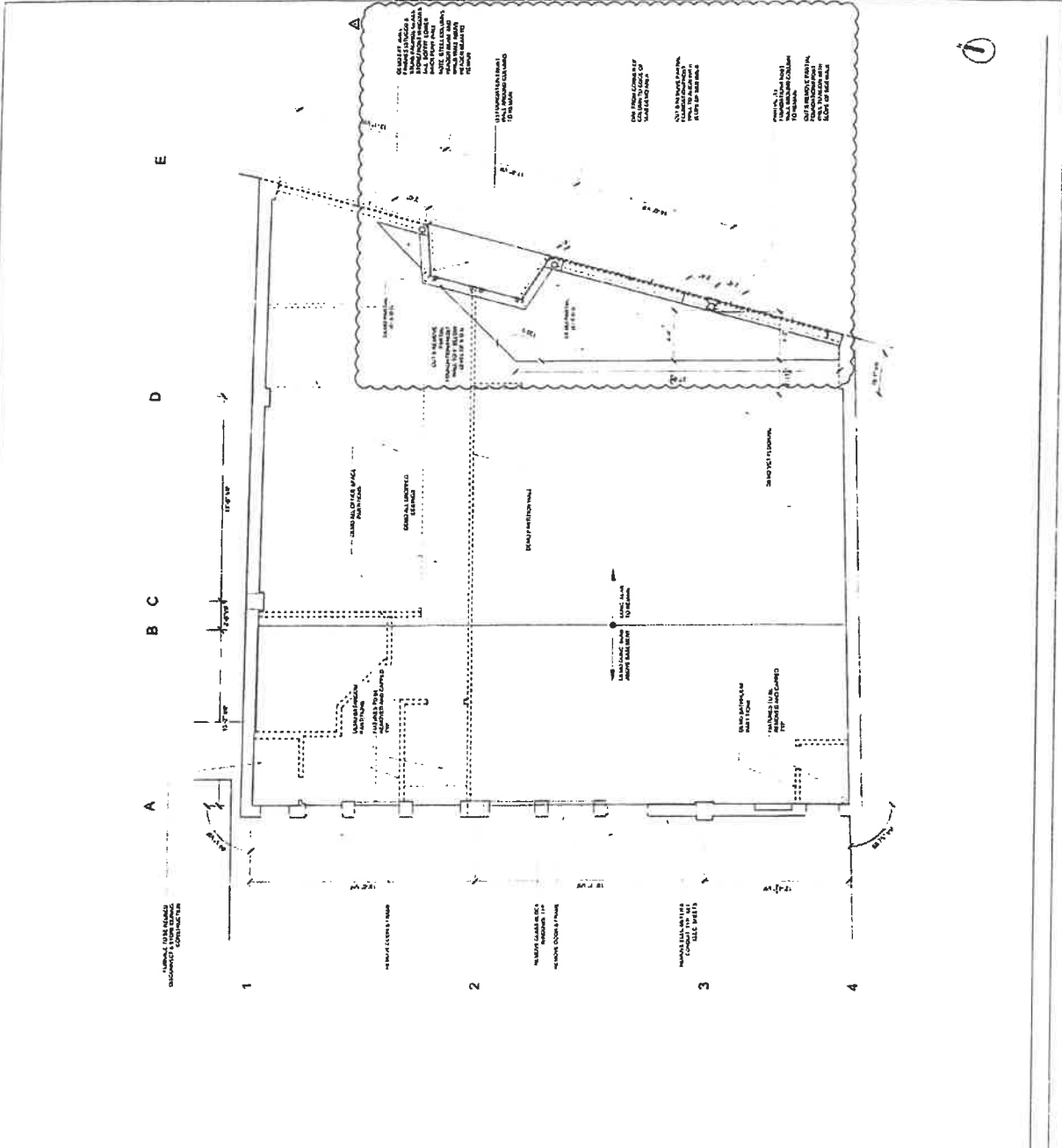
**UNIVERSAL ARCHITECT**  
1011 S. PINE AVE  
CHICAGO, IL 60606  
312.321.2200

**FOR CONSTRUCTION  
SET**

SCALE: 1/4" = 1'-0"  
DATE: JAN 13, 2023

**DEMOLITION  
FLOOR PLAN**

**A1.01**



**DEMOLITION PLAN NOTES**

1. GENERAL CONTRACTOR TO VERIFY EXISTING CONSTRUCTION FROM TO BE DEMOLISHED TO BE DEMOLISHED WITHIN 10 BUSINESS DAYS.
2. VERIFY EXISTING WALLS, FLOORS, ROOFS, AND OTHER STRUCTURAL ELEMENTS TO BE DEMOLISHED. VERIFY EXISTING WALLS, FLOORS, ROOFS, AND OTHER STRUCTURAL ELEMENTS TO BE DEMOLISHED. VERIFY EXISTING WALLS, FLOORS, ROOFS, AND OTHER STRUCTURAL ELEMENTS TO BE DEMOLISHED.
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**WALL / DEMO LEGEND**

- 1. REMOVE EXISTING WALLS
- 2. REMOVE EXISTING FLOORS
- 3. REMOVE EXISTING ROOFS
- 4. REMOVE EXISTING STRUCTURAL ELEMENTS
- 5. REMOVE EXISTING WALLS, FLOORS, ROOFS, AND OTHER STRUCTURAL ELEMENTS TO BE DEMOLISHED
- 6. REMOVE EXISTING WALLS, FLOORS, ROOFS, AND OTHER STRUCTURAL ELEMENTS TO BE DEMOLISHED
- 7. REMOVE EXISTING WALLS, FLOORS, ROOFS, AND OTHER STRUCTURAL ELEMENTS TO BE DEMOLISHED



# BASE BUILDING UPGRADES

1543 S. PARKWAY  
LONG BEACH, CA 90801

UNIK HOLDINGS LLC  
1543 S. PARKWAY, SUITE 101  
LONG BEACH, CA 90801  
(562) 770-2921

TRENT FREDRICKSON, R.A.  
145 E. SHAWLICK AVE #7  
TOWSON, MD 21286  
(410) 835-7100

CARDINAL SDI  
10000 W. 10TH ST  
MOUNTAIN VIEW, CO 80551  
303.650.4141

PAUL GHASSAN, P.E.  
4003 14th ST  
COSTA MESA, CA 92626  
(714) 440-1111



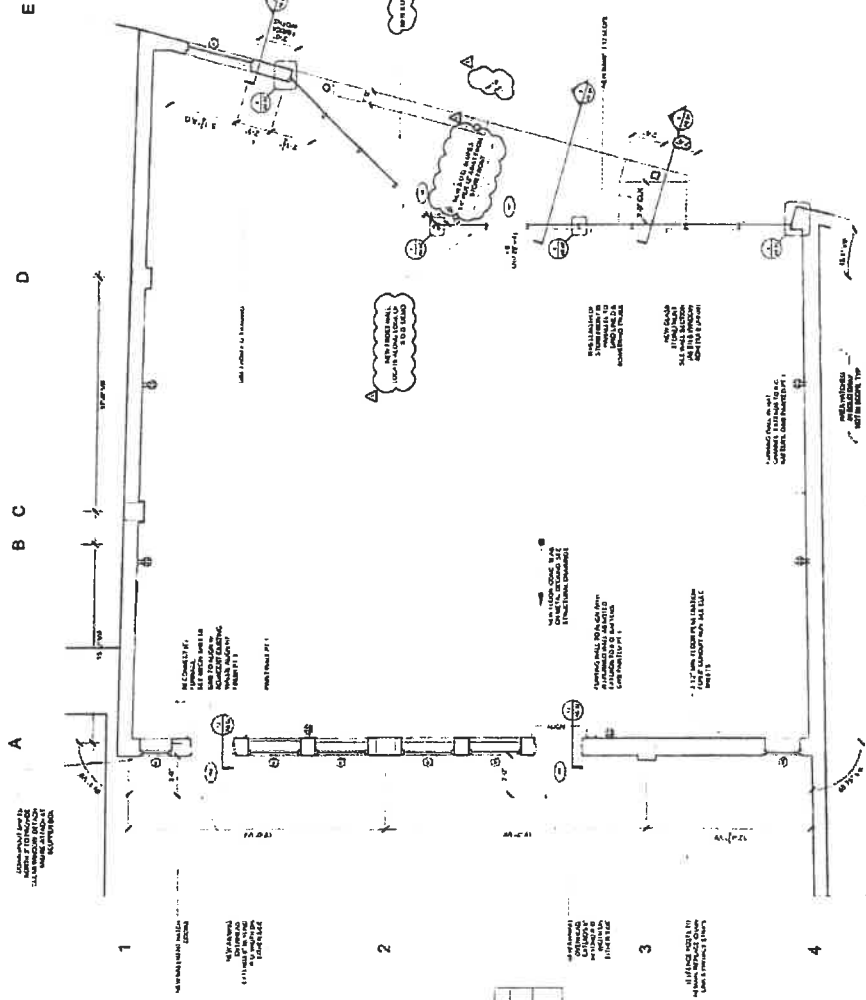
REVISIONS:  
REVISION NUMBER 1 (15) CONSTRUCTION SET  
DATE 08.11.2019  
BY 013.023

FOR CONSTRUCTION SET

SHEET 02 OF 10

GROUND FLOOR PLAN

A2.01



## GROUND FLOOR PLAN NOTES

- VERIFY DIMENSIONS OF EXISTING CONDITIONS BY FIELD SURVEY TO CONFIRM ACCURACY OF RECORD DRAWINGS.
- SEE ELEVATIONS FOR FINISHES, MATERIALS, AND DIMENSIONS IN ALL AREAS TO BE RECONSTRUCTED.
- FOR ALL NEW FINISHES, MATERIALS, AND DIMENSIONS, REFER TO THE SPECIFICATIONS AND MATERIAL SCHEDULES FOR THE PROJECT.
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- FOR ALL NEW FINISHES, MATERIALS, AND DIMENSIONS, REFER TO THE SPECIFICATIONS AND MATERIAL SCHEDULES FOR THE PROJECT.

## INTERIOR FINISH SCHEDULE

NO.	FINISH NAME	LOCATION	FINISH DESCRIPTION	COLOR	TEXTURE	REMARKS
101	PARTIAL WALL	ST. 100	PARTIAL WALL FINISH	WHITE	SMOOTH	AS NOTED

## WALL LEGEND

- 101 PARTIAL WALL FINISH (WHITE)
- 102 PARTIAL WALL FINISH (WHITE)

**BASE BUILDING UPGRADES**

**UNIK HOLDINGS LLC**  
 210 PARKWAY  
 SUITE 100  
 AMHERST, NY 14204

**TRENT FREDRICKSON, P.A.**  
 ARCHITECT  
 100 W. STATE ST.  
 SUITE 100  
 AMHERST, NY 14204

**CARDINAL S&I**  
 100 W. STATE ST.  
 SUITE 100  
 AMHERST, NY 14204

**PAUL GHASSAN, P.E.**  
 100 W. STATE ST.  
 SUITE 100  
 AMHERST, NY 14204

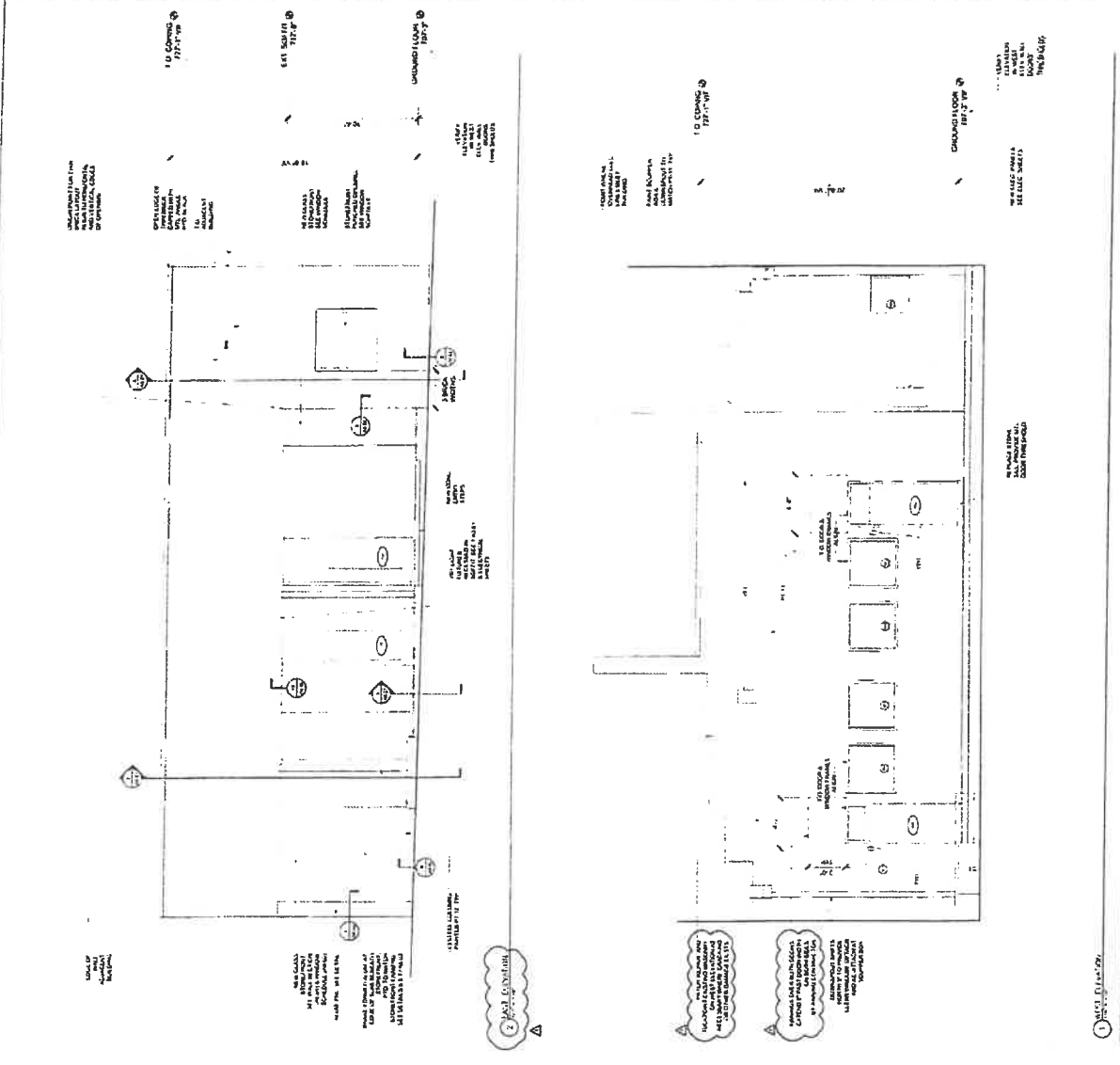


**DATE:** 08 JUL 2023  
**TIME:** 11:13 AM  
**PROJECT:** BASE BUILDING UPGRADES  
**DATE:** 08 JUL 2023  
**TIME:** 11:13 AM

**FOR CONSTRUCTION SET**

**EXTERIOR ELEVATIONS**

**A4.01**



**EXTERIOR ELEVATIONS NOTES**

1. ALL FINISHES TO BE ACCORDANCE WITH THE ARCHITECT'S INTENT.

2. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) STANDARDS.

4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN SOCIETY OF ELECTRICAL ENGINEERS (ASSE) STANDARDS.

5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) STANDARDS.

6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE AMERICAN SOCIETY OF ELECTRICAL ENGINEERS (ASSE) STANDARDS.

**EXTERIOR FINISH SCHEDULE**

NO.	NAME	LOCATION	FINISH	COLOR	NOTES
1.1	BRICK	FACADE	GLAZED	BLACK	BRICK TO BE INSTALLED ACCORDANCE WITH THE ARCHITECT'S INTENT.
1.2	CLAY TILE	FACADE	GLAZED	BLACK	CLAY TILE TO BE INSTALLED ACCORDANCE WITH THE ARCHITECT'S INTENT.
1.3	CONCRETE	FACADE	GLAZED	BLACK	CONCRETE TO BE INSTALLED ACCORDANCE WITH THE ARCHITECT'S INTENT.

1





**BASE BUILDING UPGRADES**

1011 S. MAIN AVE  
TOMBALL, TX 77454

**UMARK HOLDINGS LLC**  
1011 S. MAIN AVE  
TOMBALL, TX 77454

**TRENT FREDRICKSON, R.A.**  
1011 S. MAIN AVE  
TOMBALL, TX 77454

**CARDINAL SDI**  
1011 S. MAIN AVE  
TOMBALL, TX 77454

**PAUL CHASSAN, P.E.**  
1011 S. MAIN AVE  
TOMBALL, TX 77454



**FOR CONSTRUCTION SET**  
SCALE: 1/8" = 1'-0"  
DATE: JAN 12, 2011

**FOR CONSTRUCTION SET**  
SCALE: 1/8" = 1'-0"  
DATE: JAN 12, 2011

**DOOR & WINDOW SCHEDULE**

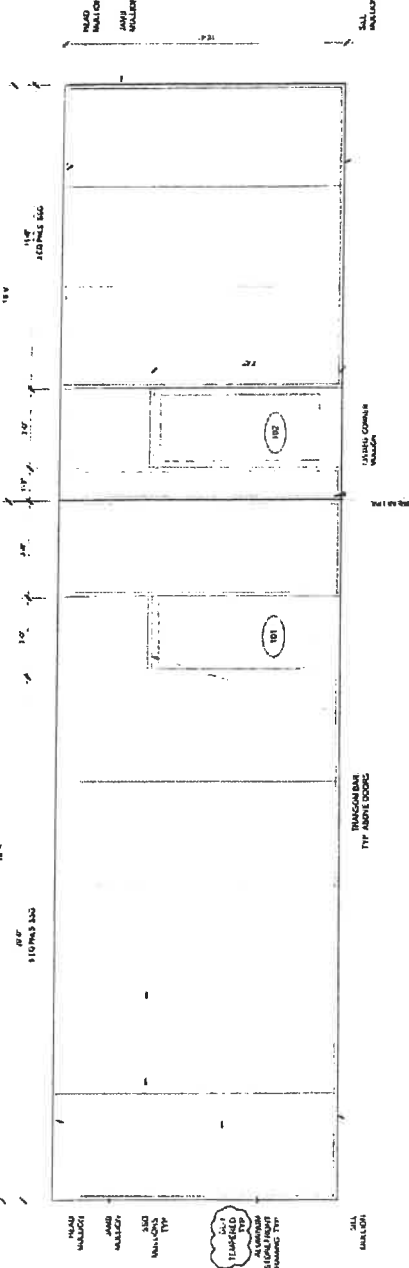
**A9.00**

**STOREFRONT DESIGN NOTES**

1. BUILDING ELEVATION SHALL BE MAINTAINED. EXISTING STOREFRONT SHALL BE MAINTAINED AND REFINISHED TO MATCH EXISTING STOREFRONT. ALL STOREFRONT MATERIALS SHALL BE MATCHED TO EXISTING STOREFRONT MATERIALS.
2. ALL STOREFRONT MATERIALS SHALL BE MATCHED TO EXISTING STOREFRONT MATERIALS.
3. FINISHES SHALL BE MAINTAINED OR REFINISHED TO MATCH EXISTING STOREFRONT FINISHES.
4. ALL STOREFRONT MATERIALS SHALL BE MATCHED TO EXISTING STOREFRONT MATERIALS.
5. ALL STOREFRONT MATERIALS SHALL BE MATCHED TO EXISTING STOREFRONT MATERIALS.
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9. ALL STOREFRONT MATERIALS SHALL BE MATCHED TO EXISTING STOREFRONT MATERIALS.
10. ALL STOREFRONT MATERIALS SHALL BE MATCHED TO EXISTING STOREFRONT MATERIALS.

**GL-1 NOTES**

1. PROVISIONS IS PROVISION FOR THE INSTALLATION OF THE STOREFRONT. THE STOREFRONT SHALL BE MAINTAINED AND REFINISHED TO MATCH EXISTING STOREFRONT. ALL STOREFRONT MATERIALS SHALL BE MATCHED TO EXISTING STOREFRONT MATERIALS.
2. ALL STOREFRONT MATERIALS SHALL BE MATCHED TO EXISTING STOREFRONT MATERIALS.
3. FINISHES SHALL BE MAINTAINED OR REFINISHED TO MATCH EXISTING STOREFRONT FINISHES.
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10. ALL STOREFRONT MATERIALS SHALL BE MATCHED TO EXISTING STOREFRONT MATERIALS.

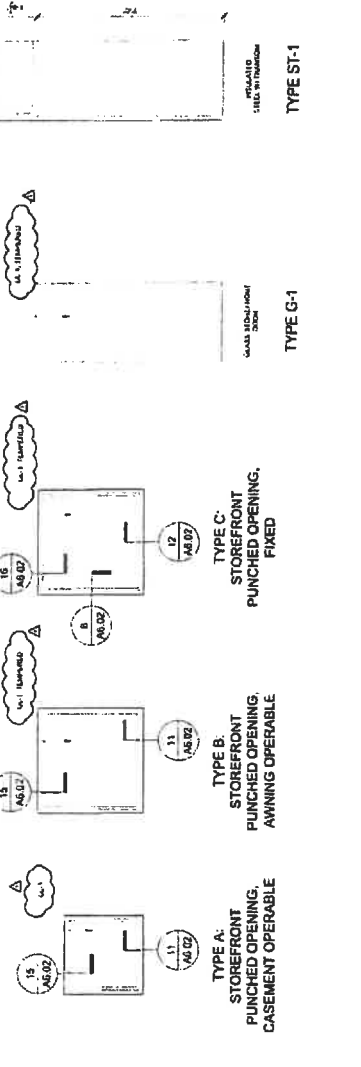


**DOOR SCHEDULE**

NO.	TYPE	SIZE	FRAME	GLASS	FINISH	REMARKS
101	D-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY
102	D-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY
103	D-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY
104	D-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY
105	D-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY

**WINDOW SCHEDULE**

NO.	TYPE	SIZE	FRAME	GLASS	FINISH	REMARKS
106	W-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY
107	W-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY
108	W-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY
109	W-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY
110	W-1	2'-0" x 7'-0"	ALUMINUM	CLERESTORY	FINISH	CLERESTORY



1011 S. MAIN AVE  
TOMBALL, TX 77454

1011 S. MAIN AVE  
TOMBALL, TX 77454

**NOTES:**  
1. THE PROJECT CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS.

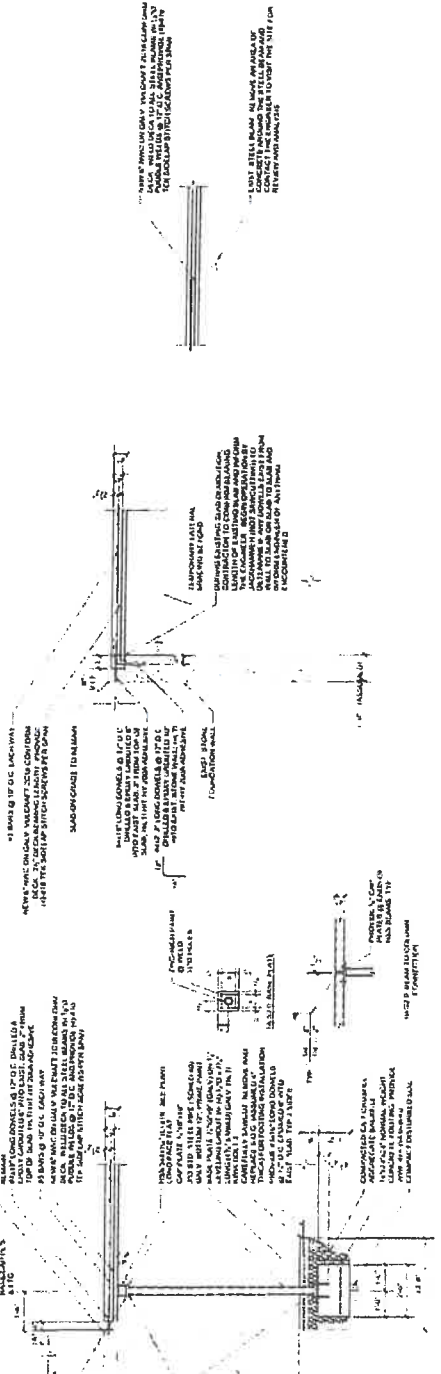
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS.

5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS.

6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS.



DATE	DESCRIPTION
01/15/2023	ISSUED FOR PERMIT
02/01/2023	ISSUED FOR CONSTRUCTION
03/15/2023	ISSUED FOR REVISIONS
04/01/2023	ISSUED FOR REVISIONS
05/15/2023	ISSUED FOR REVISIONS
06/01/2023	ISSUED FOR REVISIONS
07/15/2023	ISSUED FOR REVISIONS
08/01/2023	ISSUED FOR REVISIONS
09/15/2023	ISSUED FOR REVISIONS
10/01/2023	ISSUED FOR REVISIONS
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11/15/2029	ISSUED FOR REVISIONS
12/01/2029	ISSUED FOR REVISIONS
01/15/2030	ISSUED FOR REVISIONS



SECTION 10-1 NEW DECK SUPPORT (TYP OF FINISHING)

SECTION 10-2 NEW DECK & EXISTING WALL

SECTION 10-3 NEW DECK & EXISTING WALL

SECTION 10-4 NEW DECK & EXISTING WALL

**S2.0**

DATE: 06/02/2023  
DRAWN BY: MJM  
CHECKED BY: MJM  
APPROVED BY: MJM

PROJECT: 1012 S PARK AVENUE  
ELEVATED SLAB REPLACEMENT  
1012 S PARK AVENUE  
DENVER, COLORADO 80202

OWNER: UHJ  
GENERAL CONTRACTOR: UHJ HOLDINGS LLC  
1012 S PARK AVENUE  
DENVER, COLORADO 80202

DESIGNER: UHJ HOLDINGS LLC  
1012 S PARK AVENUE  
DENVER, COLORADO 80202

ISSUED FOR REVISIONS

DATE: 06/02/2023

BY: MJM

DESCRIPTION: UHJ HOLDINGS LLC

PROJECT: 1012 S PARK AVENUE

OWNER: UHJ

GENERAL CONTRACTOR: UHJ HOLDINGS LLC

DESIGNER: UHJ HOLDINGS LLC

DATE: 06/02/2023

BY: MJM

DESCRIPTION: UHJ HOLDINGS LLC

PROJECT: 1012 S PARK AVENUE

OWNER: UHJ

GENERAL CONTRACTOR: UHJ HOLDINGS LLC

DESIGNER: UHJ HOLDINGS LLC

DATE: 06/02/2023

BY: MJM

DESCRIPTION: UHJ HOLDINGS LLC

PROJECT: 1012 S PARK AVENUE

OWNER: UHJ

GENERAL CONTRACTOR: UHJ HOLDINGS LLC

DESIGNER: UHJ HOLDINGS LLC

DATE: 06/02/2023

BY: MJM

DESCRIPTION: UHJ HOLDINGS LLC