




MEMORANDUM

TO: Board of Building Appeals (BOBA) Members

FROM: William J. Heniff, AICP, Director of Community Development 

MEETING DATE: February 6, 2019

SUBJECT: **Text Amendments to Section 150.301 et. seq. of Village Code and Policy Review - Driveways**

Following up from representations at the December 5, 2018 meeting of the Board of Building Appeals (BOBA), staff has undertaken a review of code provisions and policy documents relative to driveways. The culmination of this effort is a series of text amendments to the driveway design standards as noted in Attachment A. Additionally, staff has copied relevant sections of the Village's Specifications Manual and handouts (Attachment B) that identify the policy determinations we offer property owners and developers as it pertains to driveways.

At the February 6, 2019 BOBA meeting, staff will discuss the proposed text amendments as well as the provisions in the Manual. The purpose of the review is to address common development questions pertaining to acceptable grades, design factors and common questions raised by the development community.

ACTION REQUESTED

Staff is placing this matter on the February 6, 2019 BOBA agenda for consideration. Staff recommends that BOBA recommend approval of the Code amendments relative to 150.301 et. seq. as it pertains to driveway design specifications and safety standards. Additionally, staff seeks input and concurrence on the existing policies and interpretations relative to the Village's existing Specifications Manual as it pertains to private driveway design and construction.

Attachment A: Proposed Code Amendments to the Village Code Driveway Standards

ARTICLE XXV. - DRIVEWAYS

§ 150.301 - Design specifications.

(A) Driveways shall be designed in accordance with the latest version of the Lombard Specifications Manual as well as following regulations:

- (1) Commercial driveways designed for one-way traffic flow shall not exceed 20 feet in width measured at the property line.
- (2) Commercial driveways designed for two-way traffic flow shall not exceed 35 feet in width measured at the property line.
- (3) Residential driveways shall not exceed 20 feet in width nor be less than nine feet width measured at the property line.
- (4) All driveways shall have curb radii not less than two feet for residential nor more than 15 feet for commercial.
- (5) The angle between the curb line of the street and the center line of the driveway shall not be less than 60 degrees.
- (6) Where a driveway is permitted into a street having a barrier median a break shall not be made in that median unless competent engineering judgment in the Village's determination indicates that:
 - (a) the barrier break is not otherwise prohibited by Village Code or policy;
 - (b) left turn bays can be constructed and signalized if necessary and
 - (c) ~~further that~~ no hazard or impediment is created for through traffic.
- ~~(7) All requests for permits for driveways which exceed the dimensions set forth in subsections (A)(1) and (B)(2) of this section shall be accompanied by a letter from the applicant addressed to the Director of Public Works stating the needs and justification for such additional driveway width. Permits for the construction of such driveways shall not be issued without the specific approval of the Director of Public Works.~~
- ~~(8) All service station gasoline pump islands shall be a minimum of 15 feet from any property line.~~

~~(79) All loading docks or loading doors shall be a minimum of 45 feet from any property line which is parallel to such loading docks or doors.~~ Any request for driveways access leading to perpendicular loading docks or parallel doors which are less than 45 feet from ~~a parallel property line~~ a public right-of-way will be considered as extensions of the roadway. ~~and In these instances a request for approval of a driveway access permit~~ shall be accompanied by a letter written correspondence from the applicant addressed to the Director of Public Works stating the size of the vehicles which will be using such loading facilities, the frequency with which they will be using the facilities and provisions which will be made by the permittee to ~~ensure~~ ensure that such vehicles will be contained entirely within the permittee's property while loading or unloading. Approval of the Director of Public Works will be required prior to the issuance of such permits.

(8) All requests for permits for driveways which exceed the dimensions set forth in subsection (A) above shall be accompanied by a written correspondence from the applicant addressed to the Director of Public Works stating the needs and justification for such additional driveway width. Permits for the construction of such driveways shall not be issued without the approval of the Director of Public Works.

(B) All driveways and approaches shall be designed to meet the following specifications:

(1) Commercial approaches, minimum structural #3 IDOT or equivalent.

(2) Residential approaches, six-inches stone + three-inches compacted blacktop or two-inches stone + six inches concrete, six bag-air entrained mixture.

(3) Residential driveways, six-inches stone + two-inches compacted blacktop or two inches stone + five-inches concrete, six bag-air entrained mixture.

(Ord. 2561, passed 10-28-82; Ord. 6602, passed 4/7/11)

Cross reference— Penalty, see [§ 150.999](#)

§ 150.302 - Driveway safety standards.

(A) No commercial driveways will be permitted into any parking lot or other facility which is designed in such a way as to make it necessary for exiting vehicles to back onto the street.

(B) No driveway will be permitted for the purpose of allowing vehicles to park on the public right-of-way.

(C) No driveway will be permitted into any facility which would require and/or allow a vehicle to drive or maneuver on the sidewalk area in any manner other than to cross it.

(D) In no case shall a driveway be constructed in such a way as to present a hazard to pedestrians or traffic on the public right-of-way.

~~(E) In no case shall any obstruction of any kind be permitted to obscure vehicles entering into public right of ways. Such obstruction shall not exceed a height of 30 inches within a depth of 30 feet from front, side, or rear property lines.~~

(EF) In order to minimize the problems of visibility and of skidding into or out of driveways, the following shall apply to all commercial driveways: Private roadways which terminate in a driveway shall have average grades not to exceed +2 percent or be less than -3 percent for a distance of 50 feet from the front lot line.

(EG) In order that vehicles pulling off the through pavement may have adequate storage and maneuvering room, curbs shall be extended back from the edge of the through pavement a minimum distance of 20 feet.

(Ord. 2561, passed 10-28-82)

Cross reference— Penalty, see [§ 150.999](#)

§ 150.303 - Variations.

(A) In cases where there are practical difficulties or particular hardship in the way of fully complying with all the driveway design and location requirements of §§ [150.300](#) and [150.301](#), the Director of Public Works may grant a variation to the requirements of §§ [150.300](#) and/or [150.301](#), provided that the petitioner for said variation submits evidence that:

- (1) The property in question cannot yield a reasonable return if permitted to be used only in full compliance with all driveway design and location requirements;
- (2) The plight of the petitioner (property owner) is due to unique circumstances; and
- (3) The variation, if granted, will not alter the essential character of the neighborhood.

In granting or denying any such driveway variation request, the Director of Public Works shall make specific findings of fact, based on the evidence presented by the petitioner, as to the foregoing, and shall issue a written decision to the petitioner, as well as to each taxpayer of record whose property abuts the petitioner's property, relative to said findings. For purposes of determining which properties abut the petitioner's property, if the petitioner's property is an interior lot, only property abutting a side lot line of the petitioner's property shall be considered an abutting property. If the petitioner's property is a corner lot, only property abutting the rear lot line, or the side lot line not adjacent to the street, shall be considered an abutting property. A copy of said written decision shall be kept as a permanent record in the village's files relative to the issuance of driveway permits.

(B) If the Director of Public Works denies a driveway variation request, the petitioner may file an appeal to the Board of Trustees within 30 days of the Director's denial by submitting a written request to the Village Clerk. If the Director of Public Works approves a driveway variation request, an abutting property owner may file an appeal within ten days of the date of the mailing of the written decision by submitting a written request to the Village Clerk. Any such written request, whether filed by the Petitioner or an abutting property owner, shall be accompanied by a copy of the Director's written decision. Upon receipt of an appeal request, the Village Clerk shall schedule said appeal for the next Village Board meeting agenda under the heading "Other Business." In addition, the Village Clerk shall in the case of an appeal of an approval by the Director of Public Works, notifying the petitioner of the date of the Village Board meeting at which the appeal will be heard. If a written request is not received by the Village Clerk as stated above, the decision of the Director of Public Works shall stand as a final decision.

(C) No variation shall be required in the case of an existing driveway that does not fully comply with the location requirements of [§ 150.300](#) and which is reconstructed as part of a village street or utility construction project, even if said driveway does not fully comply with [§ 150.300](#) after reconstruction.

(Ord. 3560, passed 6/25/92, Ord. 3639, passed 1/7/93)

Attachment B: Village Specifications Manual – Driveways

SECTION 500.13

DRIVEWAY PAVEMENTS

Driveway pavements within the public right-of-way shall meet the provisions of this section.

A) BITUMINOUS DRIVEWAY PAVEMENTS

Where necessary to remove and replace driveways, driveways shall be restored to a condition equal in appearance and quality to the condition prior to construction. For new construction, patches within aprons are not acceptable unless approved by the Private Engineering Services Division. Minimum sections shall consist of a Bituminous Prime Coat, Bituminous Concrete Binder and Surface Courses Class I on a sub-base of crushed aggregate, CA-6, with a minimum thickness as indicated below:

REQUIRED MINIMUM THICKNESS

DRIVEWAY PAVEMENT	BINDER/SURFACE COURSE SUB-BASE	
RESIDENTIAL	3"	6"
NON-RESIDENTIAL	4"	10"

Base and surface courses are to conform to requirements of the IDOT "Standard Specifications for Road and Bridge Construction."

B) NON-REINFORCED RIGID DRIVEWAY PAVEMENTS

Where necessary to remove and replace driveways, driveways shall be restored to a condition equal in appearance and quality to the condition prior to construction. For new construction, patches within aprons are not acceptable unless approved by the Private Engineering Services Division.

Rigid driveway pavements shall be constructed of non-reinforced Class SI concrete (6.1 bags of cement) with an air entrainment of 5-8% and a minimum 28 day compressive strength of 3500 psi. An adequate number of cylinders is to be provided to assure compliance with these specifications.

All non-reinforced rigid driveway pavements shall be placed on a sub-base of crushed aggregate, CA-6 gradation, with a minimum thickness as indicated below:

PAVEMENT	REQUIRED MINIMUM THICKNESS	
	NON-REINFORCED CLASS SI CONCRETE	SUB-BASE
RESIDENTIAL	6"	2"
NON-RESIDENTIAL	8"	4"

Concrete driveway pavements shall conform to the requirements of the IDOT "Standard Specifications for Road and Bridge Construction."

C) CONSTRUCTION REQUIREMENTS

All driveway approaches shall be constructed in accordance with the Village of Lombard Standard Detail, PAVEMENT 6, PAVEMENT 7, and Section 423 of the IDOT "Standard Specifications for Road and Bridge Construction". The minimum lateral separation between the edge of a driveway pavement and any above ground obstruction, except parkway trees (i.e. posts, poles, utility boxes, etc.) shall be three (3) feet. The minimum lateral separation between the edge of a driveway pavement and a tree trunk shall be ten (10) feet. The location shall comply with the Subdivision and Development Ordinance and the Village of Lombard Code of Ordinances, Title 15, Section 150.

D. BACKFILLING AND RESTORATION

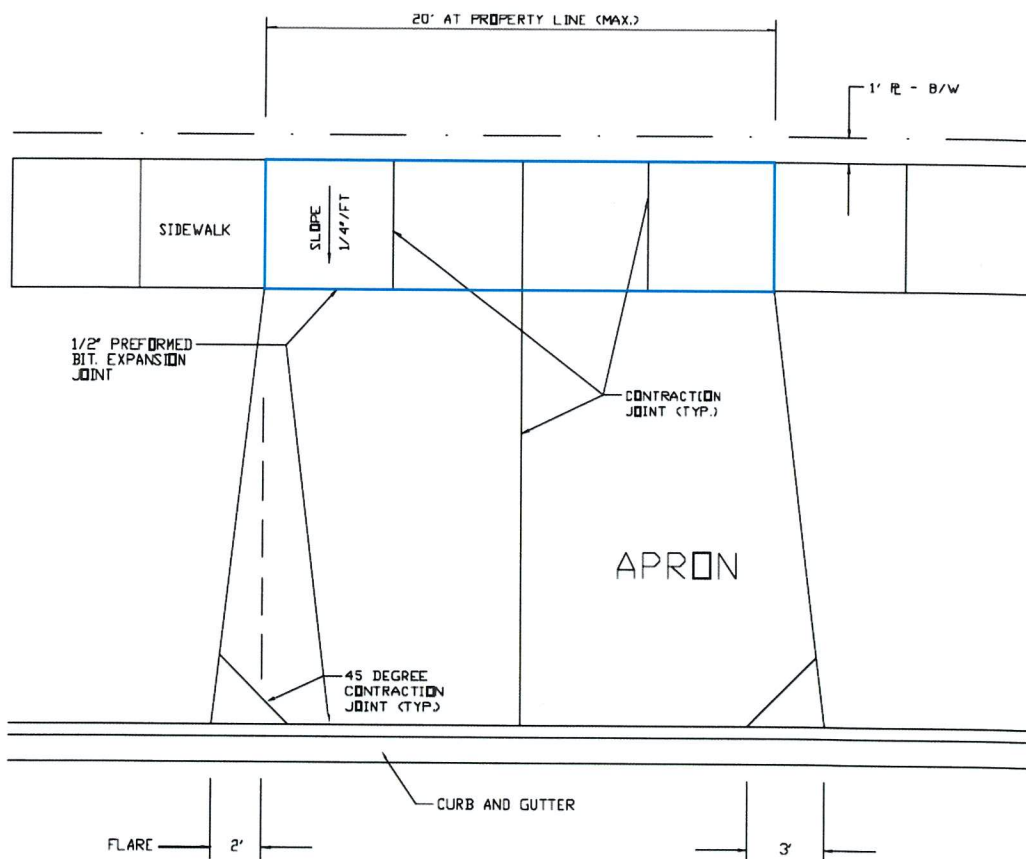
The sub-base material shall be laterally supported by a sufficient amount of initial backfill material to prevent movement of the sub-base during placement of the concrete and/or removal of the form work. As soon as possible, but not later than 7 days after the placement of the concrete, the driveway pavement shall be backfilled to the required elevation with suitable embankment material and topsoil. The embankment material shall be compacted until firm and the topsoil neatly graded.

E. PROTECTIVE TREATMENT

All concrete driveway pavements in the Village of Lombard shall be cured in accordance with the requirements of Section 1020 of the IDOT "Standard Specification for Road and Bridge Construction". When membrane curing compounds are utilized they shall also be of a type which provides a protective seal which is satisfactory to the Private Engineering Services Division. All membrane products should be applied in accordance with the manufacturer's recommendations.

F. PERMITS AND INSPECTIONS

In accordance with the Village Municipal Code, all driveway pavement contractors must be licensed and the contractor must request an inspection for all work within the public right-of-way.



GENERAL NOTES:

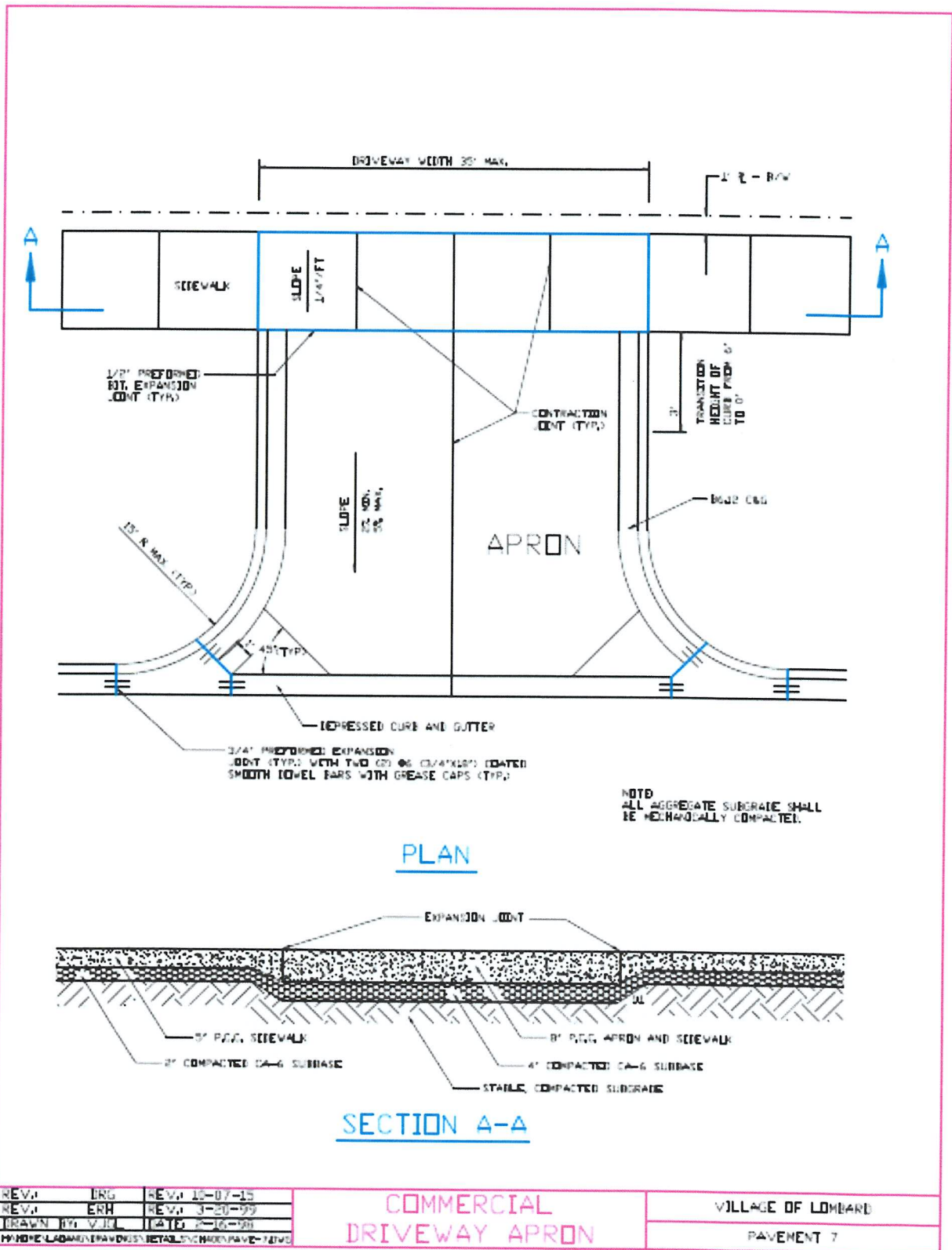
1. APRONS SHALL NOT EXCEED 20 FEET IN WIDTH MEASURED AT THE RIGHT-OF-WAY LINE.
2. ALL AGGREGATE SUB-BASE SHALL BE MECHANICALLY COMPACTED.
3. MINIMUM THICKNESS FOR APRONS: 6" P.C. CONCRETE ON 2' COMPACTED AGGREGATE SUB-BASE (CA-6 GRADATION), OR 3" BITUMINOUS SURFACE ON 6' COMPACTED AGGREGATE SUB-BASE (CA-6 GRADATION).
4. SIDEWALK SHALL EXTEND THROUGH THE DRIVEWAY.
5. DRIVEWAYS SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
6. DRIVEWAY APRONS SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 5%.
7. PATCHES ARE NOT ALLOWED IN NEW APRONS.

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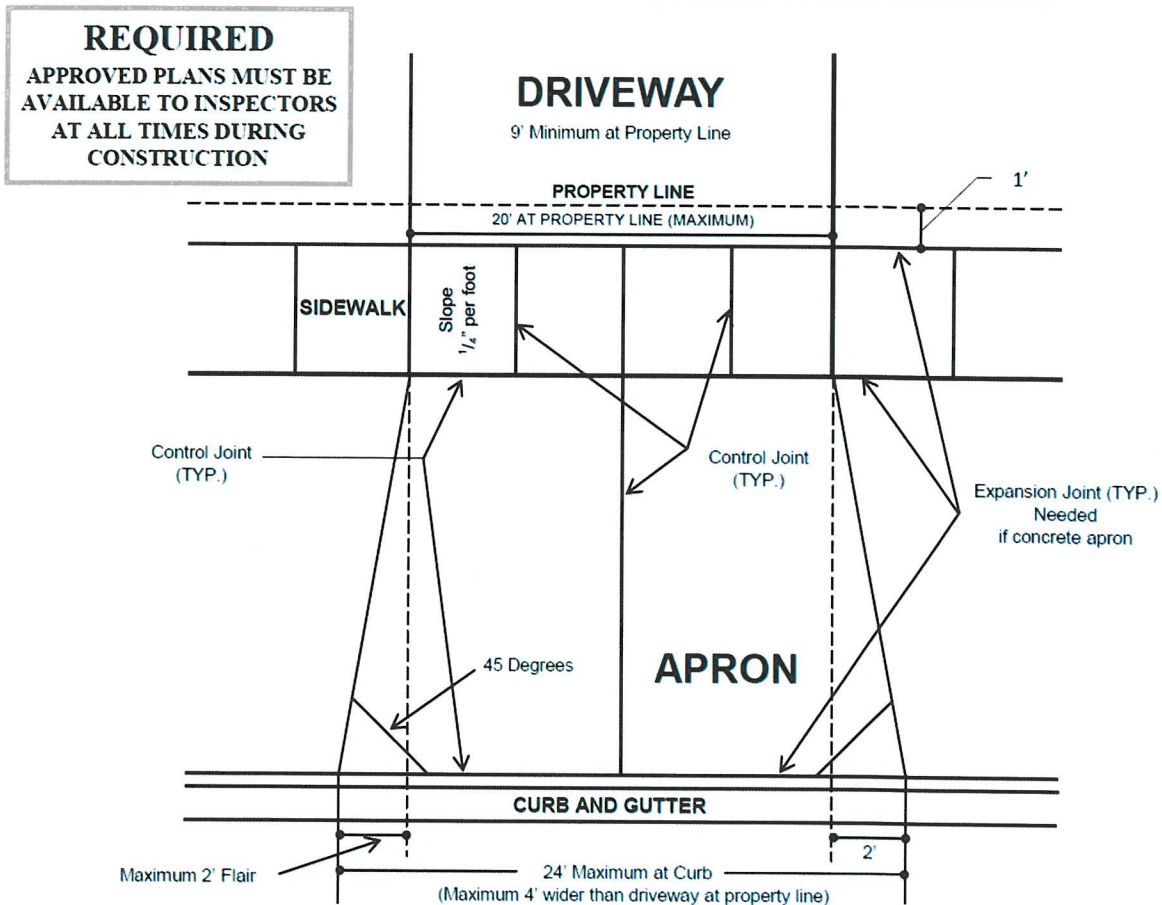
**RESIDENTIAL
DRIVEWAY APRON**

VILLAGE OF LOMBARD

PAVEMENT 6



RESIDENTIAL DRIVEWAY & APRON REQUIREMENTS



GENERAL NOTES

APRONS

1. Aprons shall not exceed 20 feet in width measured at the right-of-way line.
2. No wire mesh allowed in aprons.
3. Minimum thickness for apron: 6" P.C. concrete on 2" compacted aggregate sub-base (CA-6 Gradation), or 3" bituminous surface on 6" compacted aggregate sub-base (CA-6 Gradation).
4. All aggregate sub-base shall be mechanically compacted.
5. Driveway aprons shall have a minimum slope of 2% and a maximum slope of 5%.
6. For New Aprons: The apron flare shall be a minimum 5' away from extended property line.
7. If work is being done on Curb and Gutter, consult Village of Lombard Specifications Manual.

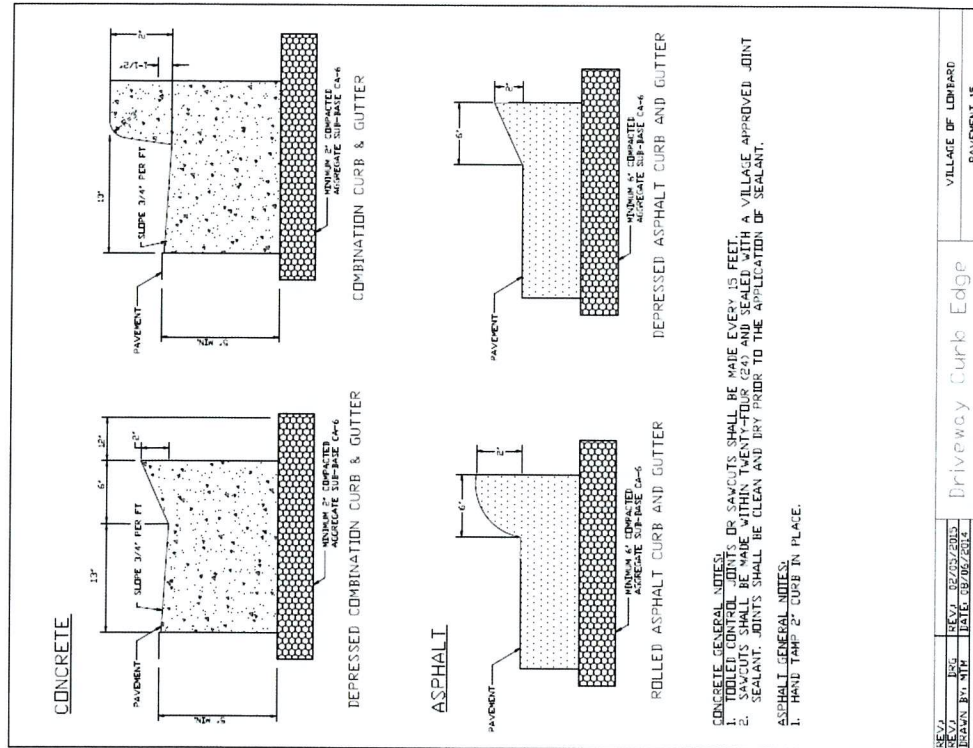
DRIVEWAYS

1. Minimum thickness for driveways: 5" P.C. Concrete on 2" compacted aggregate sub-base (CA-6 Gradation), or 2" bituminous surface on 6" compacted aggregate sub-base (CA-6 Gradation).
2. Driveway to have 6" x 6" wire mesh.
3. Driveway shall have minimum slope of 2% and a maximum slope of 8%.
4. All aggregate sub-base shall be mechanically compacted.
5. Drainage not to adversely affect adjoining properties. (May require swale or curb).
6. 9' minimum width on driveway.

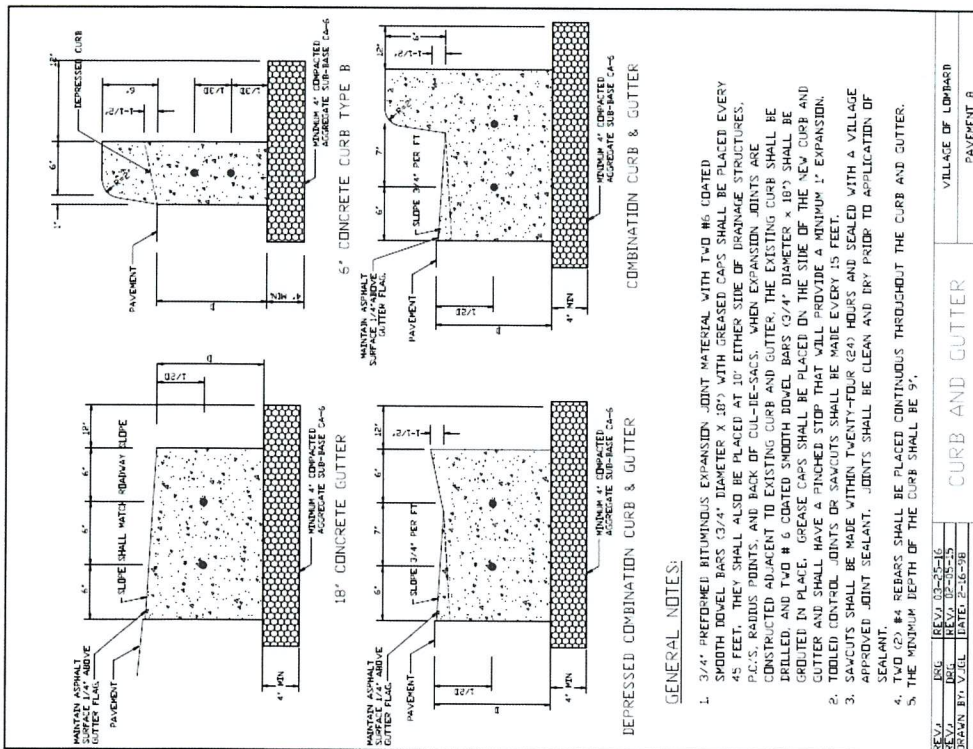
SIDEWALKS

1. Sidewalk 6" thick through driveway and 5" thick outside of driveway.
2. No wire mesh allowed in sidewalk.
3. Sidewalk shall extend through the driveway.

**CURB
 DETAILS
 ON
 REVERSE**



**(FOR DRIVEWAYS/PATIOS ON PRIVATE PROPERTY)
 (REQUIRED WHEN EDGE OF DRIVEWAY/PATIO IS CLOSER
 THAN 5-FT TO THE SIDE PROPERTY LINE)**



(STREET CURB)