

Rezoning Standards (Map Amendment)

Where a map amendment is proposed, the Plan Commission shall make findings based upon the evidence presented to it in each specific case with respect to, but not limited to, the following matters:

Petitioner respectfully requests consideration to rezone the subject property from the existing R-1 classification to B-4 Corridor Commercial Zoning District. The subject property currently operates as an automotive body repair shop and received the R-1 designation only through a default zoning procedure used during the annexation of the subject property. The use remains consistent with both historical use and the existing non-conforming legal status of the property.

The Petitioner additionally submits the response to the following standards in response to its request:

1. Compatibility with existing uses of property within the general area of the property in question;

Crash Champions submits that the existing use of the property is compatible with the general area of the property in question as its has historically been operated as and is presently operated as an automotive body shop. The surrounding uses exist as follows:

To the North:

- 1055 N. Rohlwing: Excavating Company (zoned R1)
- 1025 N. Rohlwing: Nursery and Landscaping Company (zoned R1)

To the East:

- 530 W N Ave.: Comfort Suites Hotel (zoned B4)

To the South:

- 1035 W N Ave: McDonalds Restaurant (zoned B4)
- 55 E N Ave: BP Gas Station (zoned B4)

To the West:

- 600 W N Ave: Shell Gas Station (zoned B4)

2. Compatibility with the zoning classification of property within the general area of the property in question;

Please see response to Rezoning Standard #1

3. The suitability of the property in question to the uses permitted under the existing zoning classification;

Crash Champions submits that the property in question is used in a manner suitable to the uses allowed in the B-4 commercial zoning district, as a conditional use, which has been submitted and approval sought concurrent with this application. Additionally, as previously indicated, the property only exists as a legal non-confirming use as a result of the default annexation zoning classification and is more suitably zoned as B-4, as requested by Petitioner, and presented for consideration.

4. Consistency with the trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification;

The subject property and the general area are well established commercial uses.

5. The compatibility of the surrounding property with the permitted uses listed in the proposed zoning classification;

As indicated in response standard #3 above, the existing use is allowed as a conditional use in the B-4 zoning district, both applications concurrently pending for review and approval.

6. The objectives of the current Comprehensive Plan for the Village of Lombard and the impact of the proposed amendment of the said objectives;

Crash submits that the proposed amendment is not contrary to the objectives of the current Comprehensive Plan for the Village of Lombard and meets the Vision Statements, particularly Vision 1, 3 and 7 as written and is identified as a future growth area for Mixed Industrial and Office uses, consistent with the subject property's present and continued use as an automotive repair facility.

7. The suitability of the property in question for permitted uses listed in the proposed zoning classification;

Crash submits that the rezoning/map amendment will bring the subject property into legal conformity with the appropriate B-4 zoning classification as a permitted conditional use in said district as a result of the default zoning classification of R-1 which was administratively applied upon annexation and did not consider the existing uses of the annexed property. Crash respectfully submits that it is suitable to continue the use of the subject property as it presently operates in addition to the significant investment Petitioner will make to improve the overall appearance and function of the property.

Crash Champions appreciates the consideration of the Plan Commission and Village Board and looks forward to working with staff and the Board to enhance this existing facility to serve the

residents of Lombard. Crash Champions has significant experience in developing these types of facilities.

Respectfully Submitted,

Mark Kehoskie, General Counsel

Conditional Use Standards

The Village of Lombard Zoning Ordinance requires that certain standards must be met before a Conditional Use may be granted. Petitioner seeks a conditional use for a motor vehicle repair business (collision repair shop):

No conditional use shall be recommended by the Plan Commission, unless the conditional use:

- 1. That the establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

Petitioner is requesting a Conditional Use allowing for the continued operation and redevelopment of a first-class auto body repair facility and submits to the honorable Council and Village that the granting of this request will not be detrimental to, or endanger the public's health, safety, morals, comfort or general welfare. Crash Champions presently operates fourteen first-class auto body repair facilities within Illinois and an additional fifty facilities out of state. Crash Champions has experience in redesigning sites, including existing auto body facilities, with a focus on modernization and design aesthetics to better serve our communities. The main parcel has been an existing and operating auto body repair shop to the continued use is consistent with both historical and present existing and grandfathered uses.

- 2. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

The subject property currently operates as an automotive repair facility. The continued use as an auto body repair facility does not effect the use and enjoyment of other property nor diminish or impair property values. Additionally, Crash Champions will undertake a significant rehabilitation of the existing facility and make a significant investment to bring the facility into conformity with its corporate branding. In addition to taking great pride and care in the aesthetics of the building, Crash uses sustainable and high end building products and works closely with municipalities to further ensure compliance within the zoning district. It is the objective of Crash Champions to enhance the investment and interest in the area.

- 3. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

As previously stated, the subject property currently operates as an automotive repair facility and the granting of a conditional use will bring the property into conformity outside of its "grandfathered" existing nonconforming use. Also, the granting of a conditional use will result in a significant investment to the location and it is the objective of Crash Champions to enhance investment and interest in the surrounding area. Crash Champions has engaged with staff prior to submission in efforts to ascertain the continued normal and orderly development of the zoning district.

4. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other facilities presently exist on or near the site as the facility presently operates and any redevelopment of the site will be consistent with all municipal guidelines and requirements to preserve their adequacy.

5. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The subject property presently operates as an autobody repair facility with adequate ingress and egress. Additionally, adequate measures have been taken in considering the redevelopment of the to enhance ingress and egress as well as minimize traffic congestion through internal traffic direction, taking into consideration staff comments and existing cross access easements.

6. That the proposed conditional use is not contrary to the objectives of the current Comprehensive Plan for the Village of Lombard

The proposed conditional use is not contrary to the objectives of the current Comprehensive Plan for the Village of Lombard and meets the Vision Statements, particularly Vision 1, 3 and 7 as written and is identified as a future growth area for Mixed Industrial and Office uses, consistent with the subject property's present and continued use as an automotive repair facility.

7. That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission

The conditional use meets the requirements of the general commercial zoning district, except as may be modified, in each instance, by the recommendation of the Plan Commission.

Crash Champions appreciates the consideration of the Plan Commission and Village Board and looks forward to working with staff and the Board to enhance this existing facility to serve the residents of Lombard. Crash Champions has significant experience in developing these types of facilities.

Respectfully Submitted,

Mark Kehoskie, General Counsel

VARIATION STANDARDS

Petitioner respectfully requests consideration of the following variances:

- A zoning variation from Sections 155.416(J) and 155.707(A)(4) of the Lombard Code of Ordinances to allow a transitional landscape yard with a width of ten feet (10'), where a width of thirty feet (30') is required, along the north property line (hereinafter "Transitional Yard Variance"); and
- A zoning variation from Section 155.205(A)(2)(c)(i) of the Lombard Code of Ordinances to allow a six-foot (6') tall fence in the required front yard, where a maximum height of four feet is allowed (hereinafter "Fence Variance").

The regulations of this ordinance shall not be varied unless findings based on the evidence presented are made in each specific case that affirms each of the following standards:

1. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be applied.

Transitional Yard Variance: If the strict letter of the regulations were applied it would result in a particular hardship, as opposed to a mere inconvenience, as the site has been designed based on the design and development restrictions of the several easements burdening the subject property, including existing ingress and egress cross-access agreements, all of which add to the orderly flow of traffic. In addition, the 30' transitional landscape yard is imposed as a result of the adjacent north property being zoned R-1 while its present use is commercial. The R-1 zoning exists, as with respect to the subject parcel as well, as the "default" zoning classification upon annexation. The variance is not required if the property to the north was treated as a B-4 zoning district which is consistent with its present use and likely any future use as is consistent with the Village's Comprehensive Plan.

Fence Variance: While closer to a convenience, transitioning from a 6' fence to a 4' fence only in the "front yard" would present undesirable aesthetic variation. Additionally, the present use is auto body repair, which requires a 6' fence to screen damaged cars prior to repair and to secure repaired vehicles until delivered back to our customers.

2. The conditions upon which an application for a variation is based are unique to the property for which the variation is sought and are not generally applicable to other property within the same zoning classification.

Transitional Yard Variance: Petitioner submits that the conditions upon which the variation is based are unique to the property and not generally applicable to other property within the same zoning classification as the subject parcel is adjacent to an improperly zoned commercial use, creating a purely regulatory variance request. The adjacent property to the north is a commercial use, zoned R-1 as a result of annexation. Additionally, the subject property is encumbered with numerous utility and access easements which are not generally applicable to other properties.

Fence Variance: Petitioner submits that the conditions upon which the variation is based are unique to the property and not generally applicable to other property within the same zoning classification as the subject parcel as the subject property is encumbered with numerous utility and access easements which are not generally applicable to other properties which present the requirement of a front yard fence. Additionally, a 6' fence is unique to the existing use and intended future use of the subject property as an auto body repair facility.

3. The purpose of the variation is not based primarily upon a desire to increase financial gain.

Transitional Yard Variance. Petitioner submits that the variance request is unrelated to financial gain but requested in conjunction with minimizing variation requests presented in redesigning and developing the property in an orderly and efficient manner consistent with the general characteristics of the surrounding properties. The burdens of the easement restrict certain design elements and the size of the transitional yard was maximized to the greatest extent possible.

Fence Variance. Petitioner submits that the variance request is unrelated to financial gain but requested in conjunction with minimizing variation requests presented in redesigning and developing the property in an orderly and efficient manner consistent with the general characteristics of the surrounding properties. The burdens of the easement restrict certain design elements and the size of the transitional yard was maximized to the greatest extent possible. Petitioner additionally submits that the request for a taller fence increases the redevelopment costs.

4. The alleged difficulty or hardship is caused by this ordinance and has not been created by any person presently having an interest in the property.

Transitional Yard Variance. Petitioner respectfully submits that the alleged difficulty or hardship is caused by this ordinance and not been created by any person presently having an interest in the property. Petitioner recently purchased the subject property which was

encumbered with the easements and access agreements at the time of purchase. Petitioner also has no control over the north property being utilized commercially but zoned R-1.

Fence Variance. Petitioner respectfully submits that the alleged difficulty or hardship is caused by this ordinance and not been created by any person presently having an interest in the property. Petitioner recently purchased the subject property which was encumbered with the easements and access agreements at the time of purchase. Petitioner also has no control over the north property being utilized commercially but zoned R-1.

5. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

Transitional Yard Variance. The variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located as the there is no transitional yard imposed with adjacent B-4 properties and the R-1 zoning classification to the north was created by annexation. There will be a 10' transitional yard where technically no transitional yard would be required providing adequate screening.

Fence Variance. The variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located as the higher fence will be aesthetically consistent and enhance the security of the facility.

6. The granting of the variation will not alter the essential character of the neighborhood;

Transitional Yard Variance. The granting of the variance will not alter the essential character of the neighborhood. Petitioner submits that the redesign and redevelopment of the subject parcel will be consistent with and enhance the character of the neighborhood including cleaning up the existing property line and implementing a 10' transitional yard which will be well manicured.

Fence Variance. The granting of the variance will not alter the essential character of the neighborhood. The fence variance only applies to a small portion of fencing and will remain consistent with the overall design of the facility and enhance the aesthetics by screening damaged vehicles and add security.

7. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

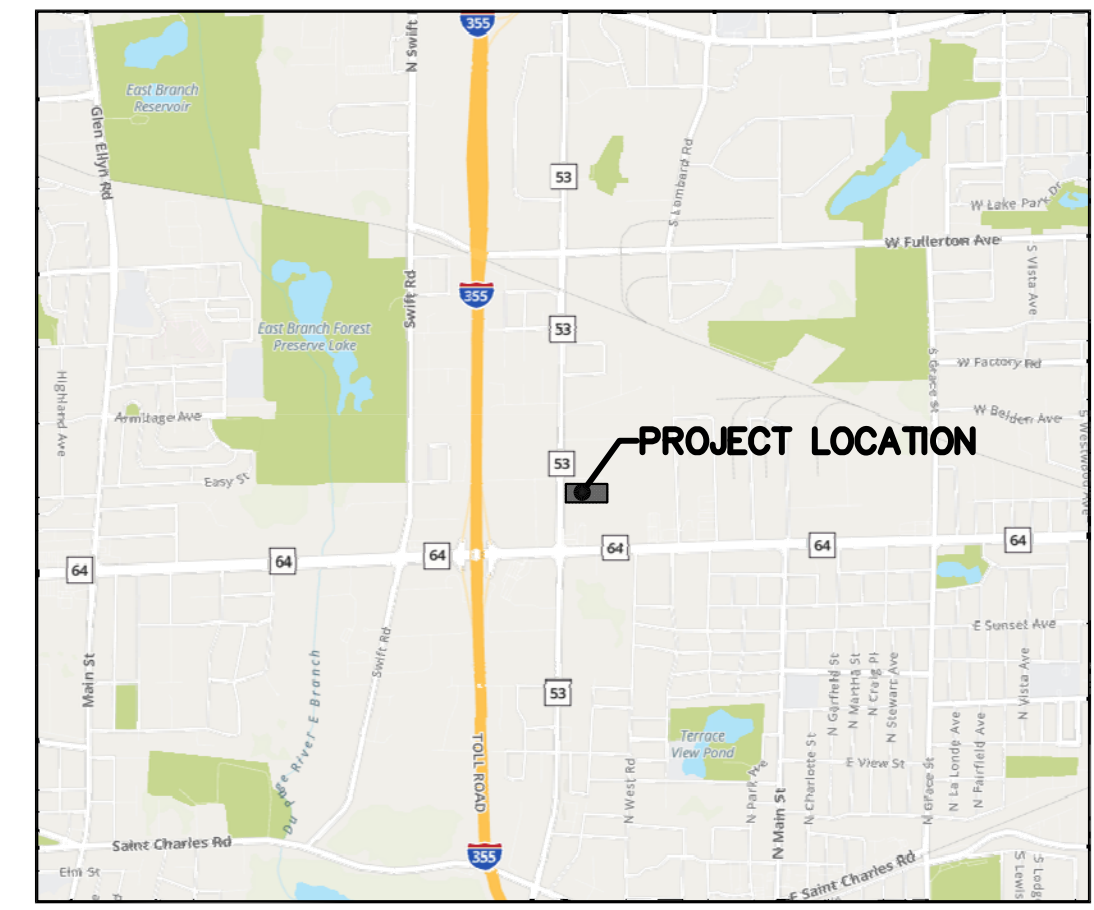
Transitional Yard Variance. The proposed variation allows for the more orderly direction of traffic in and around the facility and is designed to improve traffic flow and congestion. Additionally, the addition of a 10' transitional landscaping yard where none should be required enhances light and air and decreases drainage issues.

Fence Variation. The proposed variation does not conflict with variance standard #7.

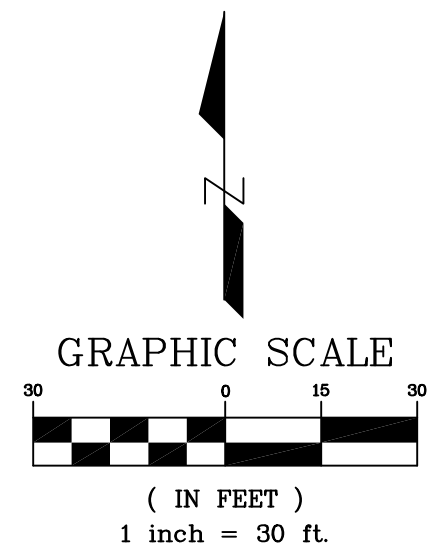
Respectfully Submitted,

Mark Kehoskie, General Counsel

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP NOT TO SCALE



BASIS OF BEARING

THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE

SITE DATA

AREA: 35,533 SQUARE FEET

PARCEL IDENTIFICATION NUMBER

03-31-301-009-0000

LEGAL DESCRIPTION

THE WEST 264.0 FEET (EXCEPT THE NORTHERLY 150.0 FEET THEREOF) OF LOT 2, LYING EAST OF THE EAST LINE OF ROUTE 53, IN GAUGER'S ASSESSMENT PLAT OF A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 13, 1946, AS DOCUMENT NO. 504356, IN DUPAGE COUNTY, ILLINOIS.

PLOTTABLE NOTES FROM SCHEDULE B

- PER CHICAGO TITLE INSURANCE COMPANY ORDER NO. 2003N138008RM, EFFECTIVE DATE: OCTOBER 13, 2020 PROVIDED BY THE CLIENT.
- Existing unrecorded leases and all rights thereunder of the lessors and of any person or party claiming by, through or under the lessors. (No documents furnished to Surveyor).
 - Rights of the public, the State of Illinois and the municipality in and to that part of the Land, if any, taken or used for road purposes. (All streets plotted hereon - none are within the boundaries of the land.)
 - Rights of way for drainage tiles, ditches, feeders, laterals and underground pipes, if any. (None observed)
 - Reference is made to the following:
Notice of pending annexation to the Village of Lombard made to various agencies recorded September 10, 2002 as document no's R2002-23582, R2002-23583, R2002-23593 through R2002-23362, both inclusive.
Notice of Annexation by the Village of Lombard made to various agencies recorded February 18, 2003 as document no.'s R2003-062757 through R2003-062766, both inclusive.
 - Reference is made to the following:
Village of Lombard Ordinance No. 5160 annexing the Northeast corner of North Avenue and Route 53 to the Village of Lombard recorded October 10, 2002 as document R2002-266863.
Ordinance No. 5195 readopting Ordinance 5159 and 5169 recorded as Doc. No. R2002-266866.
Ordinance No. 5237 repealing Ordinance No. 5160, adopted June 20, 2002, amending Ordinance No. 5195, adopted September 5, 2002 and annexing certain properties by the Village of Lombard, DuPage County, Illinois recorded February 18, 2003 as document R2003-068762. (Affects property - see documents for details).
 - Sanitary sewer easement in favor of Village of Lombard, and its/their respective successors and assigns, to install, operate and maintain all equipment necessary for the purpose of serving the Land and other property, together with the right of access to said equipment, and the provisions relating thereto contained in the Plat of Grant of Easement recorded May 16, 2012 as Document No. R2012-063360, affecting the Westerly 27.05 feet of the Land. (Plotted hereon)
 - Easement in favor of land South and adjoining for the purpose of ingress and egress and sign easement contained in the Memorandum of Lease recorded as Document No. R95-040264 and shown the Plat of Grant of Easement recorded as Document No. R2012-063360 affecting the Westerly 40 feet of the Land for ingress and egress and a portion the Westerly 5 feet of the Land, and the terms and provisions contained therein.
 - An encroachment of the fence situated on said Land into or onto the adjoining land on the East, as disclosed by survey. (Fences plotted hereon, no encroachment along the East line, but possible encroachment along the North line.)
 - Rights of utility companies to maintain overhead wires along the west line of the land as disclosed by survey. (Visible utilities and overhead wires shown hereon.)
- ALL OTHER EXCEPTIONS ARE NOT PLOTTABLE.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF WILL } SS

TO: CHICAGO TITLE INSURANCE COMPANY
CRASH CHAMPIONS, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES NO ITEMS OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON NOVEMBER 20, 2020.
DATED THIS 23RD DAY OF NOVEMBER, A.D., 2020.

STEVEN J. LAUB, P.L.S.
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3160
MY LICENSE EXPIRES ON NOVEMBER 30, 2022

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

LEGEND	
ANCHOR	PROPERTY LINE
BENCHMARK	EXISTING RIGHT-OF-WAY LINE
FUEL TANK LID	ADJACENT LOT LINE
GROUND FLOOD LIGHT	CENTERLINE
MAILBOX	EASEMENT LINE
MONITORING WELL	BUILDING SETBACK LINE
PARKING METER	SECTION/QUARTER LINE
POST INDICATOR VALVE	WIRE FENCE
FLAGPOLE	CHAINLINK FENCE
POWER POLE	WROUGHT IRON FENCE
BOLLARD POST	WOOD FENCE
SIGN	GUARDRAIL
SPRINKLER HEAD	OVERHEAD WIRES
SPRINKLER CONTROL VALVE	UNDERGROUND CABLE TV
WELL HEAD	UNDERGROUND ELECTRIC
WETLAND MARKER	UNDERGROUND FIBER OPTIC
HANDHOLE	UNDERGROUND TELEPHONE
ELECTRICAL JUNCTION BOX	PIPELINE
ELECTRIC MANHOLE	WATER MAIN
ELECTRIC VAULT	SANITARY INTERCEPTOR
ELECTRIC SERVICE OUTLET BOX	SANITARY SEWER
TRAFFIC CONTROL BOX	COMBINATION SEWER
TRAFFIC CONTROL VAULT	SANITARY SERVICE
TRANSFORMER PAD	STORM SEWER
CATCH BASIN	SUMP SERVICE
STORM INLET	EDGE OF WATER
FLARED END SECTION	BARRIER CURB
BUBBLER	DEPRESSED CURB
SANITARY CLEANOUT	CURB & GUTTER
CLOSED LID MANHOLE	DEPRESSED CURB & GUTTER
WATER VALVE	CONTOUR LINE
HYDRANT	PROPOSED CONTOUR LINE
WINDOW WELL	NORMAL WATER LINE
GAS VALVE	HIGH WATER LINE
CABLE TV PEDESTAL	RAILROAD TRACKS
ELECTRIC PEDESTAL	
TELEPHONE PEDESTAL	
TEL., ELEC., CABLE PEDESTALS	
ELECTRIC METER	
GAS METER	
GAS VALVE VAULT	
TELEPHONE MANHOLE	
PAINTED ELECTRIC MARKER	
PAINTED GAS MARKER	
PAINTED TELEPHONE MARKER	
PAINTED WATERMAIN MARKER	
FIBER OPTIC MARKER	
PAINTED SANITARY MARKER	
PAINTED STORM MARKER	
PIPELINE MARKER	
FOUND CONCRETE MONUMENT	
FOUND ROW MARKER	
FOUND RAILROAD SPIKE	
FOUND IRON REBAR	
FOUND PK NAIL	
FOUND IRON PIPE	
FOUND IRON BAR	
FOUND BRASS MONUMENT	
FOUND MAG NAIL	
SET MAG NAIL	
SET 5/8" IRON REBAR	
DECIDUOUS TREE	
CONIFEROUS TREE	
CONIFEROUS TREE	
TRAFFIC SIGNAL	
TRAFFIC SIGNAL MAST ARM	
LIGHT POLE W/MAST ARM	
SECTION CORNER	
PARKING LOT LIGHTS (4)	
PARKING LOT LIGHTS (3)	
PARKING LOT LIGHTS (2)	
PARKING LOT LIGHT (1)	
OVERFLOW ROUTE	
OVERLAND FLOW ROUTE	

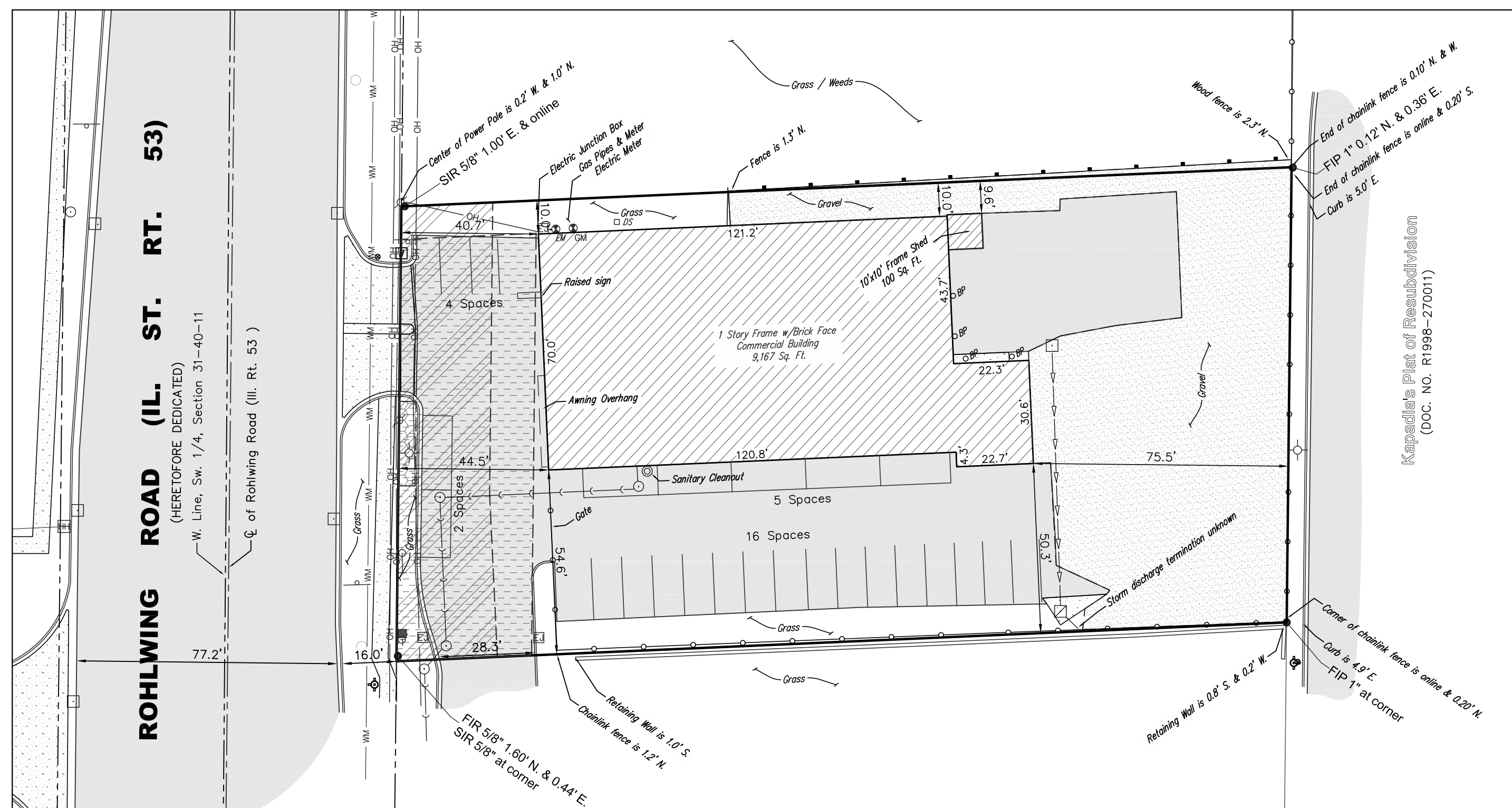
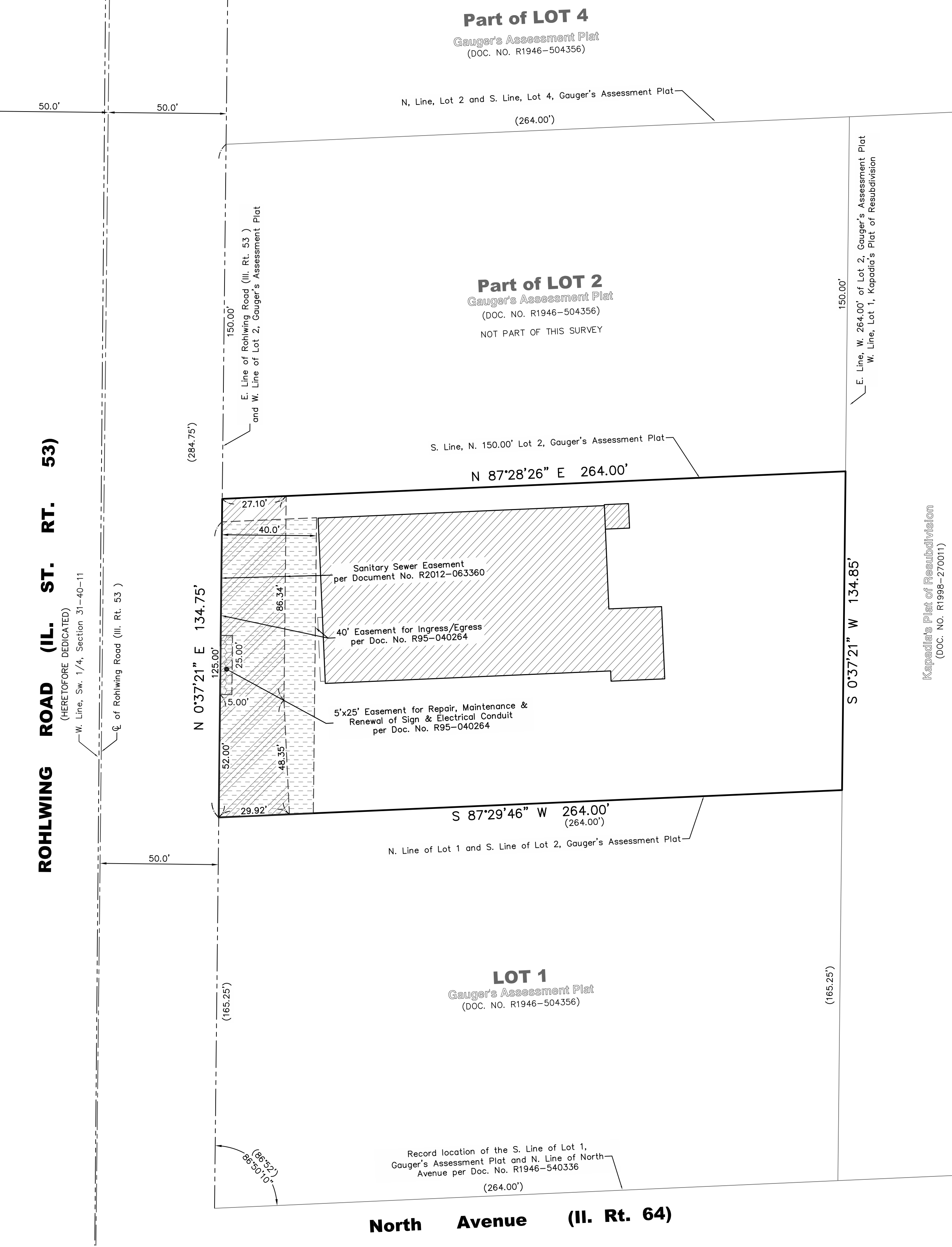
LINE TYPES	
PROPERTY LINE	---
EXISTING RIGHT-OF-WAY LINE	- - - - -
ADJACENT LOT LINE	---
CENTERLINE	---
EASEMENT LINE	---
BUILDING SETBACK LINE	---
SECTION/QUARTER LINE	---
WIRE FENCE	X - X - X
CHAINLINK FENCE	-----
WROUGHT IRON FENCE	-----
WOOD FENCE	-----
GUARDRAIL	-----
OVERHEAD WIRES	-----
UNDERGROUND CABLE TV	-----
UNDERGROUND ELECTRIC	-----
UNDERGROUND FIBER OPTIC	-----
UNDERGROUND TELEPHONE	-----
PIPELINE	-----
WATER MAIN	-----
SANITARY INTERCEPTOR	-----
SANITARY SEWER	-----
COMBINATION SEWER	-----
SANITARY SERVICE	-----
STORM SEWER	-----
SUMP SERVICE	-----
EDGE OF WATER	-----
BARRIER CURB	-----
DEPRESSED CURB	-----
CURB & GUTTER	-----
DEPRESSED CURB & GUTTER	-----
CONTOUR LINE	-----
PROPOSED CONTOUR LINE	-----
NORMAL WATER LINE	-----
HIGH WATER LINE	-----
RAILROAD TRACKS	-----

ABBREVIATIONS	
EXIST. SPOT ELEVATION	###
PROPOSED SPOT ELEVATION	###
BASE FLOOD ELEVATION	###
BOTTOM OF WALL	B/W
BRICK LEDGE	B.L.
CORRUGATED METAL PIPE	CMP
DEPRESSED CURB	DC
DOWNSPROUT	DS
DRAINAGE EASEMENT	D.E.
DUCTILE IRON PIPE	DIP
EDGE OF PAVEMENT	E/P
EXIST. PROPOSED	EXIST. PROP.
FINISHED FLOOR	F.F.
FLARED END SECTION	FES
FLOW LINE	FL
HANDICAP PARKING	H.C.
INVERT	INV
MANHOLE	MH
POINT OF CURVATURE	PC
POINT OF TANGENCY	PT
POINT OF COMMENCEMENT	POC
PUBLIC UTILITY EASEMENT	P.U.E.
LANDSCAPE EASEMENT	L.E.
INGRESS-EGRESS EASEMENT	I.E.E.
REINFORCED CONCRETE PIPE	RCP
SANITARY SEWER	SAN
STORM DRAIN	STD
SUMP DISCHARGE	SD
TOP OF CURB	TC
TOP OF FOUNDATION	T/F
W.O. WALK-OUT	W.O.
LOOK-OUT	L.O.
BOTTOM OF SIDING	B/S
WINDOW WELL	W.W.
TOP OF PIPE	T/P
TOP OF WALL	T/W
UTILITY EASEMENT	U.E.
VITRIFIED CLAY PIPE	VCP
YARD INLET	YIN
SANITARY SERVICE	SS
WATER SERVICE	WS
NORTH	N
SOUTH	S
EAST	E
WEST	W
RECORD/DEED	(###)###
MEASURED	###-###

HATCHING	
ASPHALT SURFACE	Diagonal lines /
ADA DETECTABLE WARNING	Small squares
BRICK SURFACE	Brick pattern
BUILDING LIMITS	Dotted line
CONCRETE SURFACE	Horizontal lines
GRAVEL SURFACE	Diagonal lines \
FIELDSTONE SURFACE	Irregular pattern
SLATE SURFACE	Vertical lines
SANITARY SEWER EASEMENT (DOC. NO. R2012-063360)	Diagonal lines /
INGRESS/EGRESS EASEMENT (DOC. NO. R95-040264)	Diagonal lines \
SIGN/CONDUIT EASEMENT (DOC. NO. R95-040264)	Dotted line

GENERAL NOTES

- COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR.
- DO NOT SCALE DIMENSIONS FROM THIS PLAT.
- THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
- A CURRENT TITLE COMMITMENT ORDER NO. 2003N138008RM, EFFECTIVE DATE: OCTOBER 13, 2020, WAS PROVIDED FOR SURVEYS USE AT THE TIME OF PREPARATION OF THIS SURVEY.
- MANHOLES, INLETS AND OTHER UTILITY RIMS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE. THE LABELING OF THESE MANHOLES (SANITARY, WATER, ETC.) IS BASED SOLELY ON THE "STAMPED" MARKINGS OF THE RIM. NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.
- NO UNDERGROUND UTILITIES, OR DRAIN TILES, IF ANY EXIST, SHOWN HEREON.
- THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRTY, PAVING OR SNOW, AT THE TIME OF THIS SURVEY, SNOW DID NOT COVER THE SITE. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.
- CALL J.U.L.I.E. AT 1-800-892-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.
- PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION. OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.
- FOR BUILDING / ZONING RESTRICTIONS AS ESTABLISHED BY LOCAL ORDINANCES NOT SHOWN HEREON, CONSULT YOUR LOCAL MUNICIPAL AUTHORITIES.
- THE OWNER SHOULD COMPARE THE DESCRIPTION ON THIS PLAT WITH HIS, OR HER DEED ABSTRACT, OR TITLE POLICY AND NOTIFY SURVEYOR OF ANY DIFFERENCES.
- ALL BUILDING DIMENSIONS AND TIES TO PROPERTY LINES ARE MEASURED TO THE FRAMED EXTERIOR UNLESS OTHERWISE NOTED.
- FOUND OR SET MONUMENTS ARE AT ALL CORNERS UNLESS OTHERWISE SPECIFIED ON THE FACE OF THIS SURVEY.



NO.	DATE	REVISIONS	DESCRIPTION	BY

CRASH CHAMPIONS

ALTA/NSPS LAND TITLE SURVEY FOR FOR 1005 N. ROHLWING ROAD LOMBARD, ILLINOIS

DESIGNTEK ENGINEERING, INC. CONSULTING, CIVIL ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4692
IL PROF. LIC. NO.: 184-008740



PROJECT INFORMATION
Project No.: 20-0043
Scale: 1" = 30'
Date: 11/23/2020
Field Date: 11/20/2020
Drawn By: SJL
Checked By: TS

1 OF 1

LAND TITLE SURVEY

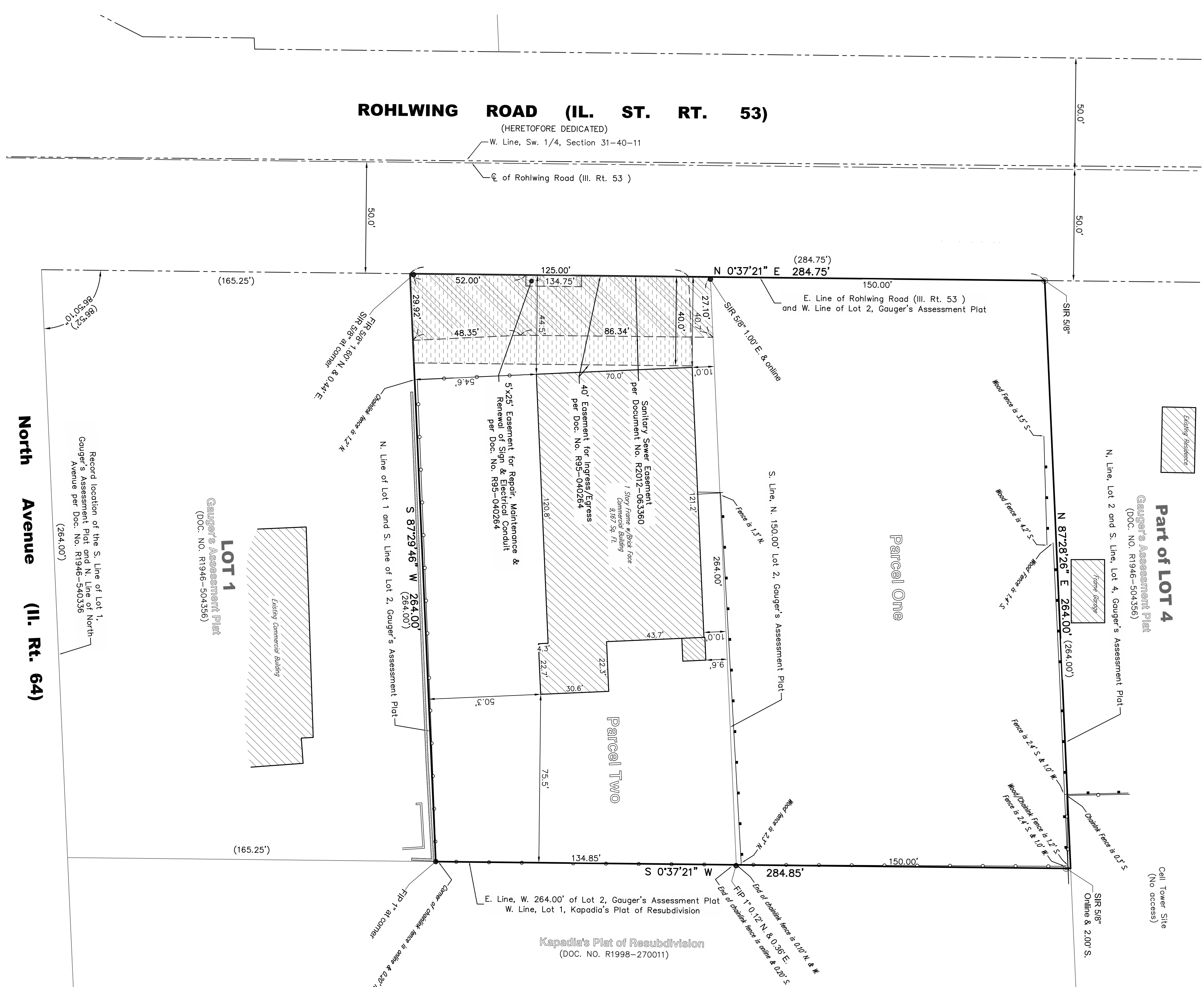
TOPOGRAPHIC SURVEY

LEGEND and LINE TYPES tables listing symbols for features like anchors, benchmarks, easement lines, and property lines.

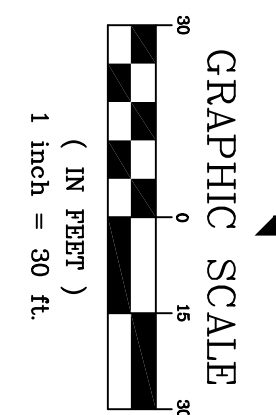
ABBREVIATIONS table listing symbols for features like spot elevations, brick ledges, and various pipe types.

HATCHING table listing patterns for features like asphalt, brick, concrete, and gravel surfaces.

GENERAL NOTES section containing survey details, legal descriptions, and owner responsibilities.



LEGAL DESCRIPTION section providing a detailed legal description of Parcel One and Parcel Two.



Tables for BASIS OF BEARING, SITE DATA, PARCEL IDENTIFICATION, and ADDRESSES.

BENCHMARKS table listing site benchmark information.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS and COUNTY OF WILL text.

Surveyor's signature and name: STEVEN J. LAIB.

DATE: DECEMBER 29, 2020.

REVISIONS table for tracking changes to the drawing.

CRASH CHAMPIONS

TOPOGRAPHIC SURVEY FOR 1005 & 1015 N. ROHLWING ROAD LOMBARD, ILLINOIS

DESIGNTEK ENGINEERING, INC. CONSULTING, CIVIL ENGINEERING & LAND SURVEYING

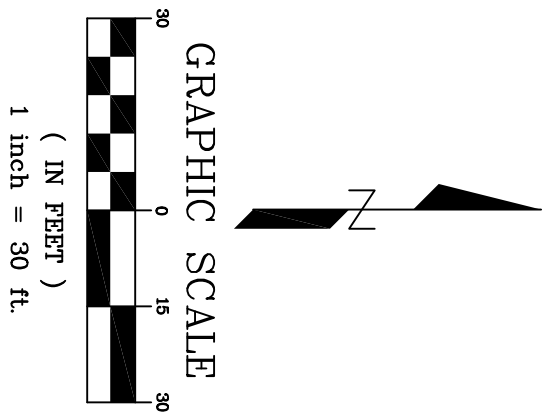
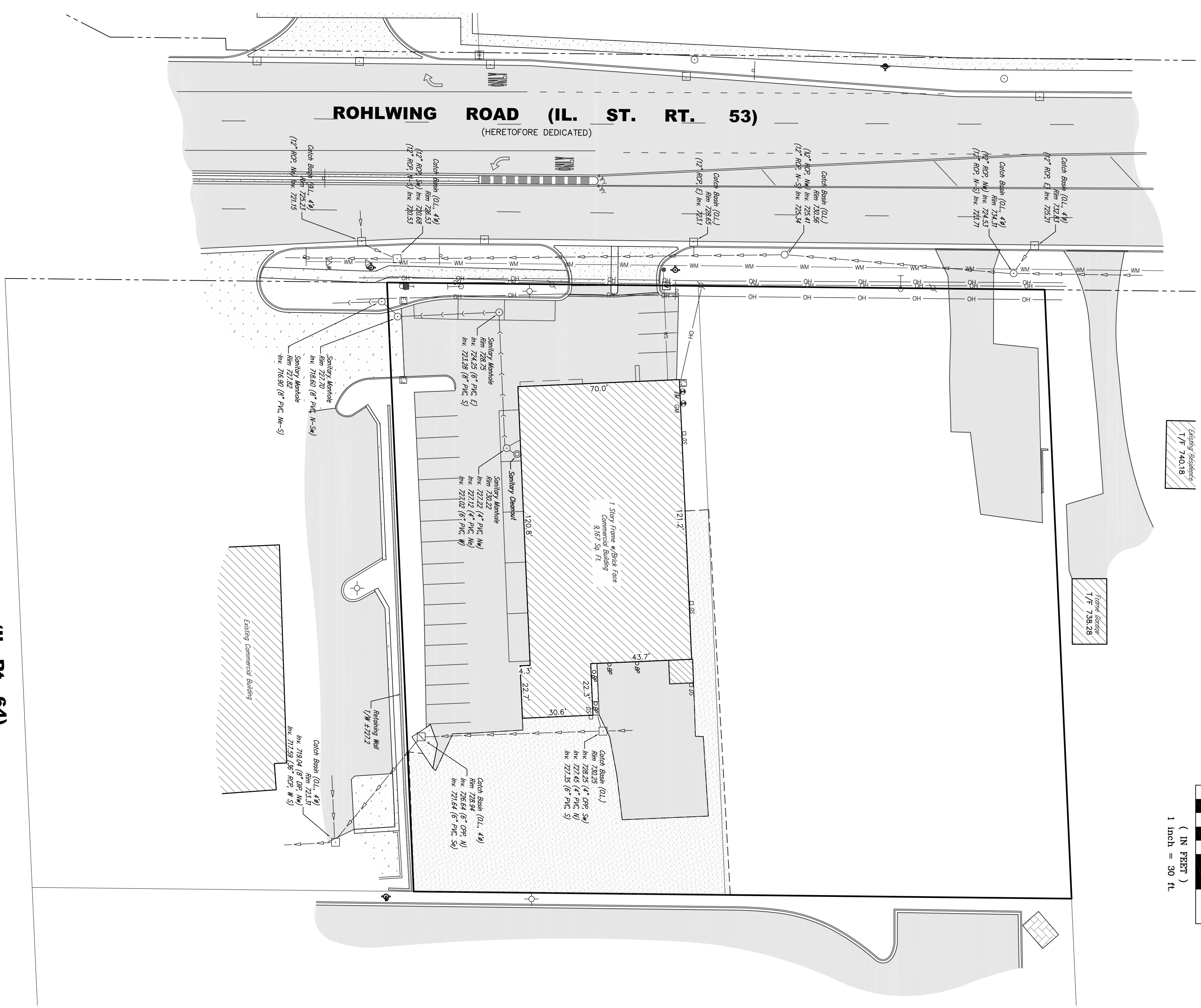


PROJECT INFORMATION table with fields for Project No., Scale, Date, and Drawn By.

Field Date: 12/15/2020, Checked By: SJS, Drawn By: SJS.

BOUNDARY & EASEMENTS

TOPOGRAPHIC SURVEY



REVISIONS			BY
NO.	DATE	DESCRIPTION	

CRASH CHAMPIONS

**TOPOGRAPHIC SURVEY FOR
1005 & 1015 N. ROHLWING ROAD
LOMBARD, ILLINOIS**

DESIGNTEK ENGINEERING, INC.
CONSULTING, CIVIL ENGINEERING & LAND SURVEYING
9930 W. 190TH STREET, SUITE L
MOKENA, ILLINOIS 60448
(708) 326-4961
FAX: (708) 326-4692
IL Prof. Lic. No.: 184-003740

DEI

PROJECT INFORMATION
Project No.: 20-0043
Scale: 1" = 30'
Date: 12/29/2020
Field Date: 12/15/2020
Drawn By: SLL
Checked By: SDS

LEGAL DESCRIPTION

PARCEL ONE
 THE NORTHERLY 150 FEET OF THE WESTERLY 264 FEET OF LOT 2, LYING EAST OF THE EAST LINE OF ROUTE 53, IN GAUGER'S ASSESSMENT PLAT OF A PART OF THE SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 13, 1946 AS DOCUMENT NO. 504356, IN DUPAGE COUNTY, ILLINOIS.

PARCEL TWO
 THE WEST 264.0 FEET (EXCEPT THE NORTHERLY 150.0 FEET THEREOF) OF LOT 2, LYING EAST OF THE EAST LINE OF ROUTE 53, IN GAUGER'S ASSESSMENT PLAT OF A PART OF THE SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 13, 1946, AS DOCUMENT NO. 504356, IN DUPAGE COUNTY, ILLINOIS.

PRELIMINARY ENGINEERING PLANS

FOR

CRASH CHAMPIONS LOMBARD

LOMBARD, ILLINOIS

OWNER:

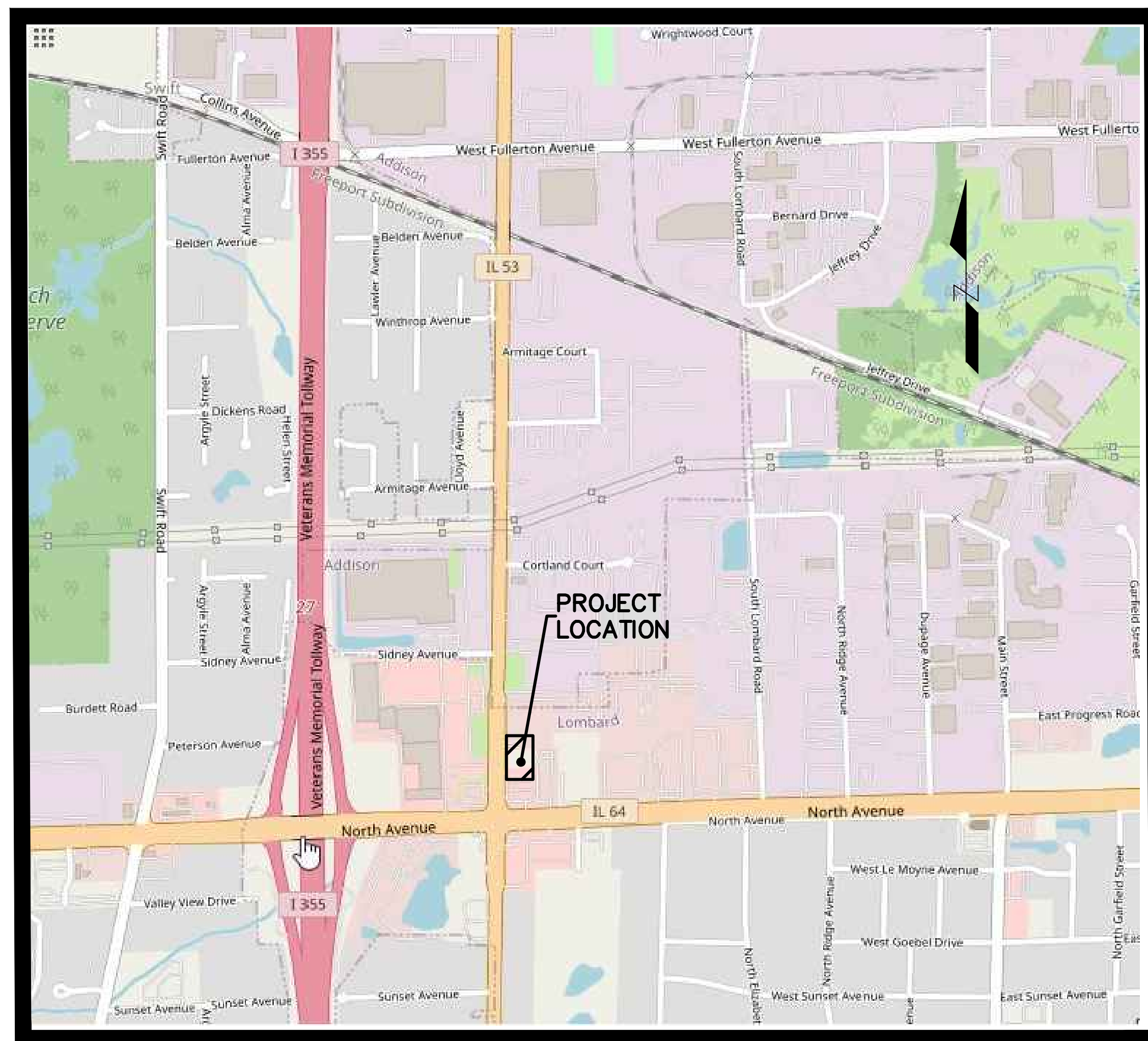
CRASH CHAMPIONS
 14330 S. CICERO AVENUE
 CRESTWOOD, ILLINOIS 60418
 (708) 597-1744

ENGINEER & SURVEYOR:

DESIGNTEK ENGINEERING, INC.
 9930 W. 190TH STREET, SUITE L
 MOKENA, ILLINOIS 60448
 (708) 326-4961

NOTES:

- THE EXACT LOCATION OF UNDERGROUND UTILITIES SUCH AS GAS, TELEPHONE, FIBER OPTIC, ELECTRIC, CABLE TV AND PIPE LINES ARE UNKNOWN. THE CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123 OR 811) AND ALL OTHER UTILITY OWNERS WHICH ARE IN THE PROJECT LIMITS BEFORE COMMENCING EXCAVATION.
- THE SUBSURFACE UTILITY QUALITY INFORMATION IN THIS PLAN IS LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI / ASCE 38-02 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."



LOCATION MAP
 NOT TO SCALE

BENCHMARKS

SITE BENCHMARK: THE SOUTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED NEAR THE SOUTHWEST CORNER OF THE PARCEL TWO OF THE PROJECT SITE.
 ELEVATION: 727.94 (NAVD 88)

SITE BENCHMARK: THE SOUTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED NEAR THE NORTHWEST CORNER OF PARCEL TWO OF THE PROJECT SITE.
 ELEVATION: 731.47 (NAVD 88)

PARCEL IDENTIFICATION NUMBER

PARCEL ONE: 03-31-301-008-0000
 PARCEL TWO: 03-31-301-009-0000

SITE DATA

GROSS AREA: 75,073 SQUARE FEET

ADDRESSES

PARCEL ONE: 1015 N. ROHLWING ROAD
 PARCEL TWO: 1005 N. ROHLWING ROAD

BASIS OF BEARING

THE BASIS OF BEARINGS IS THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE

INDEX OF PLAN SHEETS

- COVER SHEET
- PRELIMINARY EXISTING CONDITIONS & REMOVAL PLAN
- PRELIMINARY SITE PLAN
- PRELIMINARY GRADING PLAN
- PRELIMINARY UTILITY PLAN

SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS
 COUNTY OF DUPAGE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

DATED 21st DAY OF APRIL, 2021



EXISTING	PROPOSED



CALL 1-800-892-0123 or 811
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 WWW.ILLINOISICALL.COM

NO.	DATE	DESCRIPTION	BY
1	04-21-21	PER VILLAGE REVIEW	SOS
2	05-18-21	RT 53 SIDEWALK ADDED	SOS

PRELIMINARY ENGINEERING PLANS FOR
CRASH CHAMPIONS
 14330 S. CICERO AVENUE
 CRESTWOOD, ILLINOIS 60418
 (708) 597-1744

PRELIMINARY ENGINEERING PLANS FOR
CRASH CHAMPIONS LOMBARD
 10005 & 10015 N. ROHLWING RD.
 LOMBARD, ILLINOIS

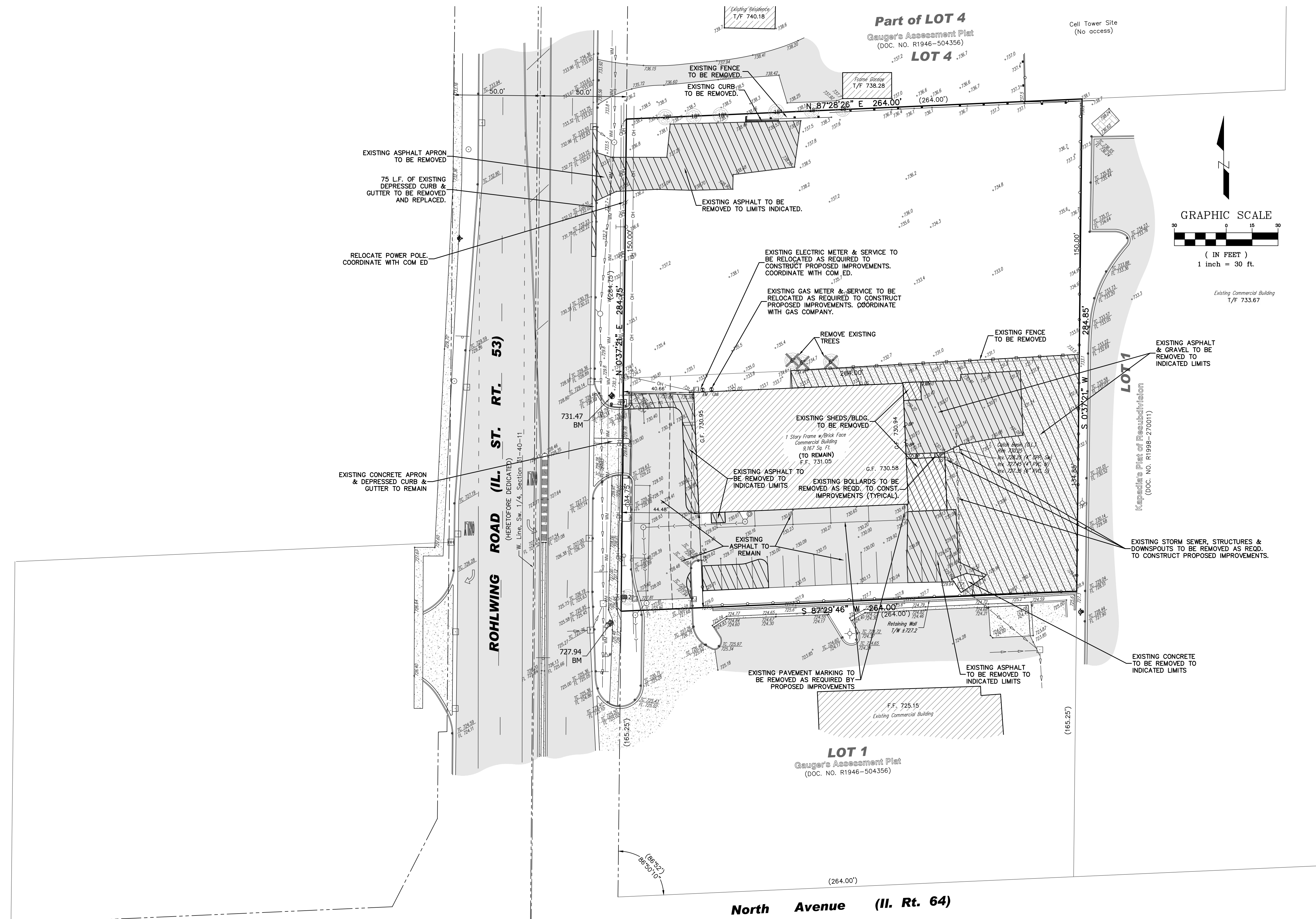
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 MOKENA, ILLINOIS 60448
 (708) 326-4961
 FAX: (708) 326-4962
 ILL. PROF. LIC. NO.: 184 - 003740



PROJECT INFORMATION
 Project No.: 20-0043
 Scale: AS NOTED
 Date: 03-08-2021
 Design By: SDS
 Drawn By: DEI
 Checked By: SDS

1 OF 5
 COVER SHEET

EXISTING CONDITIONS & REMOVAL PLAN



NO.	DATE	DESCRIPTION
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CRASH CHAMPIONS
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PROJECT INFORMATION
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 Checked By: SDS

2
 OF
5

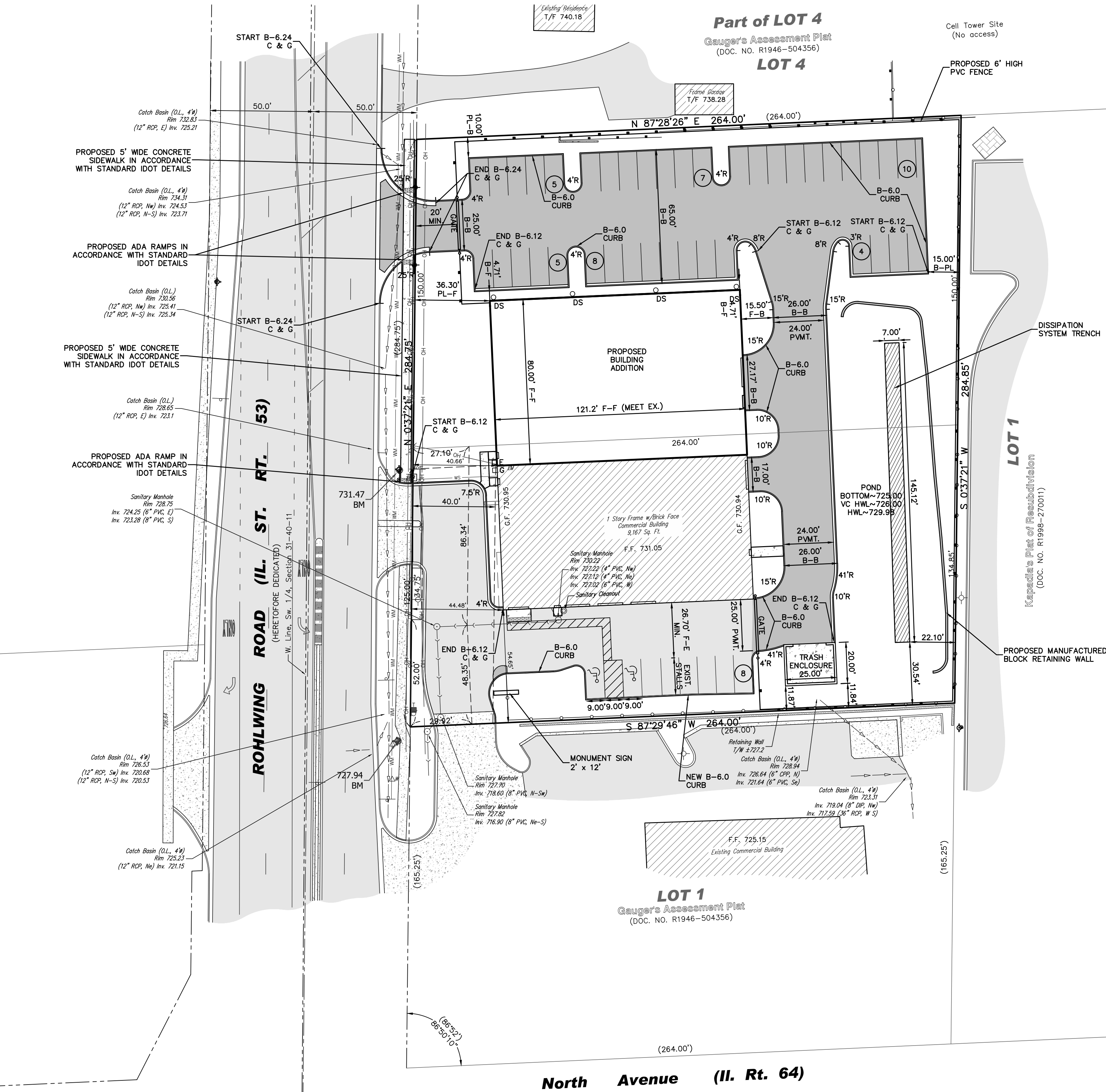
PRELIMINARY EXISTING CONDITIONS & REMOVAL PLAN



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PRELIMINARY SITE PLAN

PROPOSED B-4 ZONING	
PARCEL 1:	39,450 S.F.
PARCEL 2:	35,533 S.F.
LOT AREA (PARCELS 1 & 2):	75,073 S.F.
EXISTING COVERAGE:	
FOUNDATION/SHEDS:	9,273 S.F.
GRAVEL:	9,135 S.F.
ASPHALT:	16,653 S.F.
CONCRETE:	387 S.F.
TOTAL:	35,428 S.F.
PROPOSED:	
EX. FOUNDATION (TO REMAIN):	6,483 S.F.
PROP. FOUNDATION:	9,698 S.F.
ASPHALT TO REMAIN:	9,585 S.F.
CONCRETE TO REMAIN:	196 S.F.
PROP CONCRETE SIDEWALKS:	178 S.F.
PROP TRASH ENCLOSURE:	500 S.F.
PROP ASPHALT PARKING INCLUDES C&G:	20,140 S.F.
TOTAL:	48,807 S.F.
TOTAL EXISTING IMPERVIOUS:	35,422 S.F.
TOTAL PROPOSED IMPERVIOUS:	48,807 S.F.
CHANGE IN IMPERVIOUS:	+13,385 S.F.
EXISTING BUILDING COVERAGE:	9,273 / 75,073 = 12.35%
EXISTING LOT COVERAGE:	35,422 / 75,073 = 47.18%
PROPOSED BUILDING COVERAGE:	18,181 / 75,073 = 24.22%
PROPOSED LOT COVERAGE:	48,807 / 75,073 = 65.01%
PARKING REQUIRED:	
# OF EMPLOYEES:	12
# OF SERVICE BAYS:	11
1 HANDI-CAP/25:	1
TOTAL REQUIRED:	24
PARKING PROVIDED:	
STANDARD STALLS:	45
HANDI-CAP STALLS:	2
TOTAL PROVIDED:	47

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 (708) 326-4961
 FAX: (708) 326-4962
 ILL. PROF. LIC. NO.: 184-003740



PROJECT INFORMATION	
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Scale:	1" = 30'
Date:	03-08-2021
Design By:	SDS
Drawn By:	NSM
Checked By:	SDS

3 OF 5

PRELIMINARY SITE PLAN



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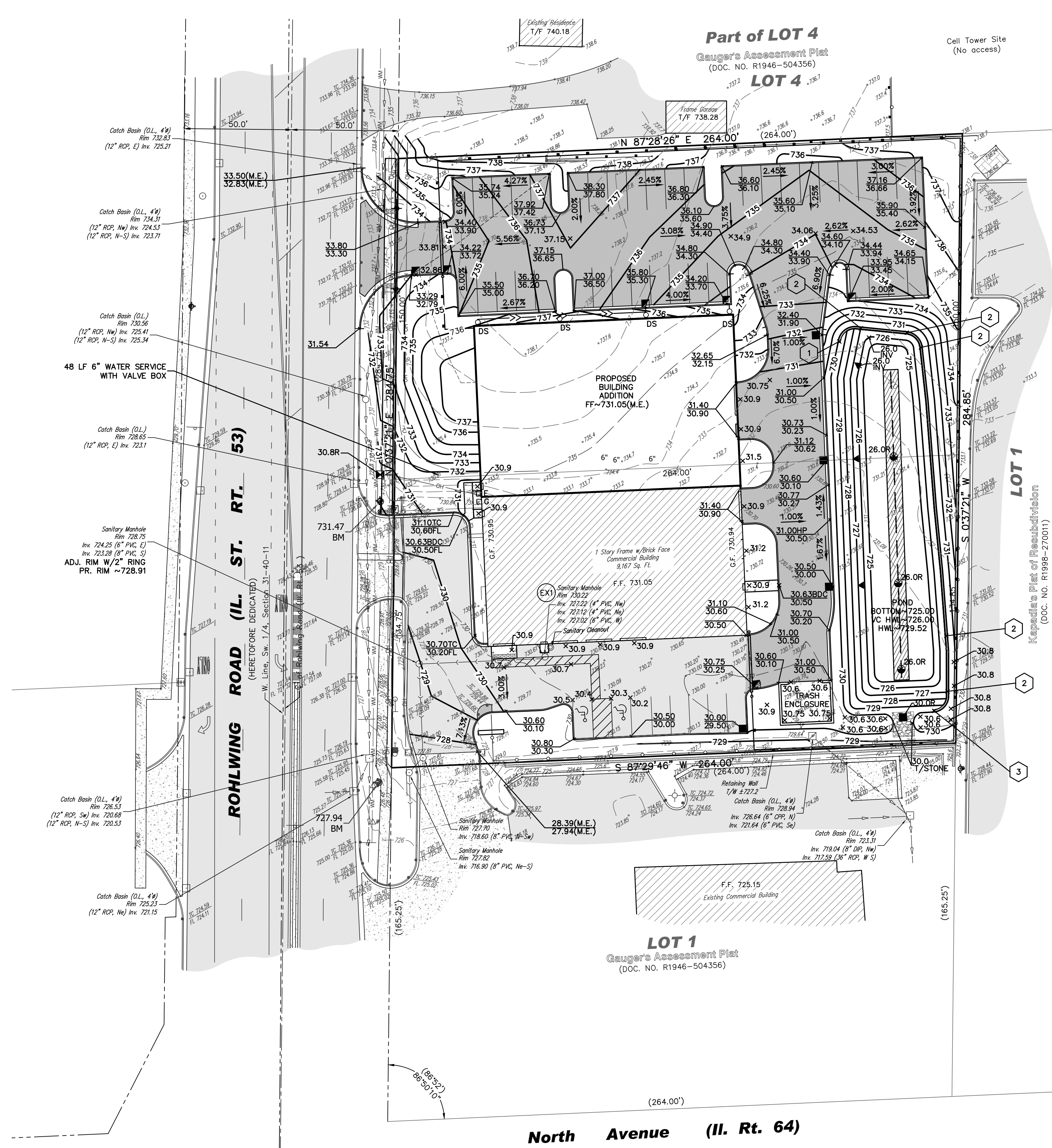
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SITE BENCHMARK: THE SOUTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED NEAR THE NORTHWEST CORNER OF PARCEL TWO OF THE PROJECT SITE.
ELEVATION: 731.47 (NAVD 88)

RETAINING WALL

1 TW=730.00 BW=729.80
2 TW=730.00 BW=727.00
3 TW=730.00 BW=729.80



VOLUME CONTROL CALCULATIONS - VOLUME REQUIRED

Total Impervious Area	1.14	Acres
Total Impervious Area	49,591.00	Sq-Ft
Volume Required	1.25 inch/sq-ft	Per DuPage County
Volume (cu-ft)	5,165.73	Cu-Ft
Volume (ac-ft)	0.119	Ac-Ft

VOLUME CONTROL CALCULATIONS - SURFACE VOLUME PROVIDED

Avg Area 725.00 & 726.00 Contours	4,455.00	Sq-Ft
Pond Bottom Elevation	725.00	
Outlet Elevation	726.00	
Depth of VCBMP	1.00	feet
Volume (cu-ft)	4,455.00	Cu-Ft
Volume Provided (Ac-Ft)	0.102	Acres

VOLUME CONTROL CALCULATIONS - AGGREGATE TRENCH

Trench Dimensions (8x2x145) / Volume	2,320.00	Sq-Ft
Void Space @ 30%	835.20	Cu-Ft
Volume Provided (Ac-Ft)	0.02	Cu-Ft
Total Volume Provided (Ac-Ft)	0.121	Acres

Notes	Pond Elev. (Ft.)	Area (SF)	Depth (Ft.)	Vol. (CF)	Vol. (Ac. Ft.)	Cumulative Vol. (Ac. Ft.)
BOTTOM	725.00	3,898	0.3	1,217	0.03	0.028
	725.30	4,218	0.2	865	0.02	0.048
	725.50	4,438	0.2	910	0.02	0.07
	725.70	4,663	0.2	945	0.02	0.09
NWL	726.00	5,012	0.3	1,451	0.03	0.10
	727.00	6,197	1.0	5,994	0.13	0.23
	728.00	6,839	1.0	6,515	0.15	0.38
	729.00	7,499	1.0	7,166	0.16	0.54
HWL	729.52	7,945	0.5	4,015	0.09	0.64
Wier Elev	730.00	8,369	0.1	843	0.02	0.73
	730.10	8,498	0.1	843	0.02	0.75
T/BERM	730.60	9,159	0.5	4,413	0.10	0.85
	731.00	9,706	0.4	3,773	0.09	0.93
	731.20	9,994	0.2	1,970	0.05	0.98

LEGEND

- 30.60 PROPOSED TOP OF CURB ELEVATION
- 30.10 PROPOSED PAVEMENT OR FLOW LINE ELEVATION
- x28.5 PROPOSED SPOT/GRADE ELEVATION
- x28.5R PROPOSED RIM ELEVATION

PRELIMINARY GRADING PLAN

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	04-21-21	PER VILLAGE REVIEW	SDS
2	05-18-21	RT 53 SIDEWALK ADDED	SDS

CRASH CHAMPIONS
14330 S. CICERO AVENUE
CRESTWOOD, ILLINOIS 60418
(708) 597-1744

SITE IMPROVEMENT PLANS
FOR
CRASH CHAMPIONS LOMBARD
1005 & 10015 N. ROHLWING RD.
LOMBARD, ILLINOIS

DESIGNTEK ENGINEERING, INC.
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(708) 326-4961
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IL PROF. LIC. NO.: 184-003740



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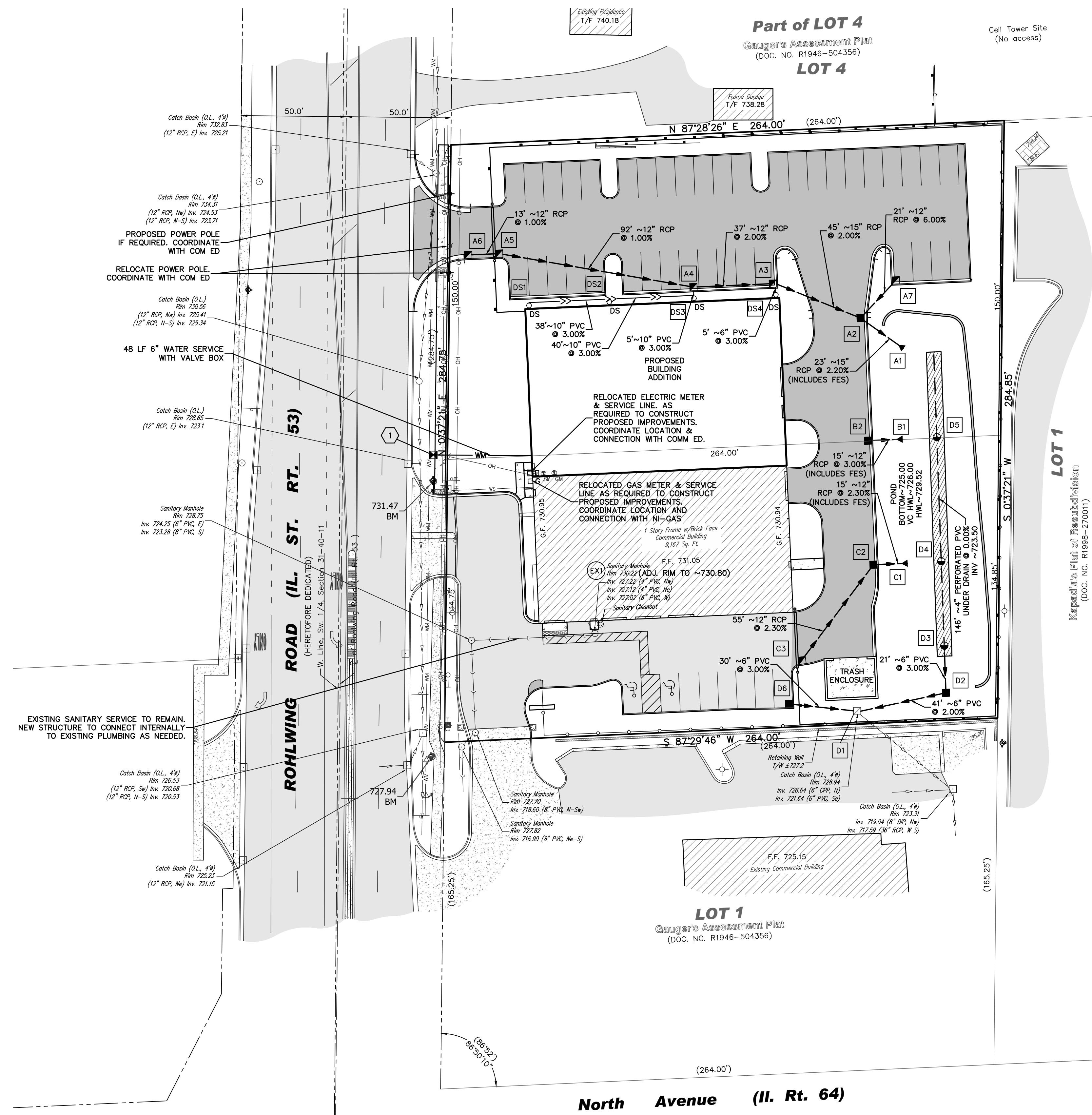
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Scale: 1" = 30'
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Design By: SDS
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Checked By: SDS

4 OF 5



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PRELIMINARY GRADING PLAN



- ### FIRE HYDRANTS
- 1 FIRE HYDRANT ASSEMBLY GRADE @ F.H. BASE ~637.00
 - 2 FIRE HYDRANT ASSEMBLY GRADE @ F.H. BASE ~636.10
 - 3 FIRE HYDRANT ASSEMBLY GRADE @ F.H. BASE ~634.70

- ### SANITARY STRUCTURES
- (EX) SANITARY MH EX. RIM 730.22 EX. INV. 722.22 (4" PVC, NW) EX. INV. 727.12 (4" PVC, NE) EX. INV. 727.02 (6" PVC, W) ADJUST RIM TO 730.80

- ### WATER VALVE STRUCTURES
- 1 6" PRESSURE CONNECTION TO EXIST. 10" MAIN IN VALVE BOX RIM 730.80

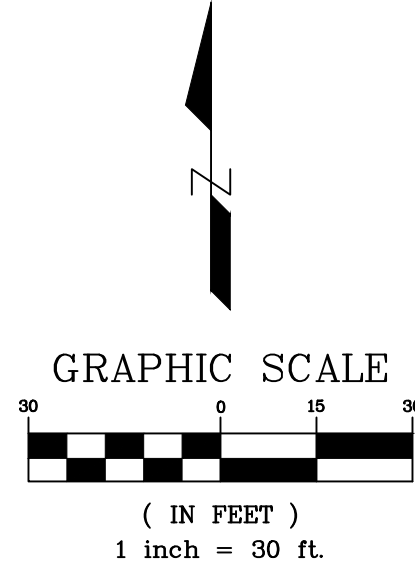
- ### STORM SEWER STRUCTURES
- | | |
|---|---|
| A1 15" FES W/GRATE RIM 726.00 | D1 EX. 48" CATCHBASIN RIM 728.94 EX. INV. 726.64 (NW, 6" CPP TO BE REMOVED & INV. PLUGGED) EX. INV. 721.64 (SE, 6" PVC) PR. INV. 722.05 (NE, 6" PVC) EX. INV. 724.60 (NW, 6" PVC) |
| A2 48" CATCHBASIN, O.L. RIM 731.90 (FL) INV. 726.51 (SE, 15") INV. 727.42 (NW, 15") INV. 727.69 (NE, 12") | D2 60" DIA. CATCHBASIN RIM 730.00 (O.L.) INV. 722.87 (SW, 6" PVC) PROVIDE 1.38" DIA. RESTRICTOR PLATE (SEE DETAIL) INV. 723.37 (N, 6" PVC) |
| A3 24" DIA. INLET RIM 728.32 (SE, 15") INV. 728.57 (W, 12") INV. 729.85 (S, 6") | D3 18" HDPE RISER W/NEENAH R-5901-C GRATE RIM 726.00 INV. 724.00 (S, 6" PVC) INV. 723.50 (N, 6" PERF. PVC) BOTTOM OF RISER 723.50 |
| A4 24" DIA. INLET RIM 735.30 (FL) INV. 729.31 (E & NW, 12") INV. 730.91 (S, 10") | D4 18" HDPE RISER W/NEENAH R-5901-C GRATE RIM 726.00 INV. 723.50 (N & S, 6" PERF. PVC) BOTTOM OF RISER 723.50 |
| A5 24" DIA. INLET RIM 733.39 (FL) INV. 730.23 (W & SE, 12") | D5 18" HDPE RISER W/NEENAH R-5901-C GRATE RIM 726.00 INV. 723.50 (N & E, 6" PERF. PVC) |
| A6 24" DIA. INLET RIM 732.86 (FL) INV. 730.36 (E, 12") | D6 48" DIA. CATCHBASIN, O.L. RIM 729.50 INV. 725.50 (SE, 6" PVC) |
| A7 24" DIA. INLET RIM 733.45 (FL) INV. 728.95 | DS1 10" DIA. DOWNSPOUT PIPE INV. 733.40 (E, 10") |
| B1 12" FES INV. 726.15 | DS2 10" DIA. DOWNSPOUT PIPE INV. 732.26 (E & W, 10") |
| B2 48" DIA. CATCHBASIN RIM 730.10 (FL) INV. 726.60 (E, 12") | DS3 10" DIA. DOWNSPOUT PIPE INV. 731.06 (W & N, 10") |
| C1 12" FES W/GRATE INV. 726.14 | DS4 6" DIA. DOWNSPOUT INV. 730.00 (N, 6") |
| C2 48" DIA. CATCHBASIN RIM 730.00 (FL) INV. 726.49 (SW & E, 12") | |
| C3 24" DIA. INLET RIM 730.25 (FL) INV. 727.75 (NE, 12") | |

- ### STORM SEWER GRATES
- PAVEMENT (NOT IN CURB): NEENAH R-1713, TYPE D GRATE FOR OPEN LID STRUCTURES.
- PAVEMENT (IN CURB LINE): NEENAH R-3520A, (SEE DETAILS ON SHEET 12) FOR OPEN LID STRUCTURES.
- GRASS: NEENAH R-4340-B
- (UNLESS OTHERWISE NOTED ON PLANS)

- ### UTILITY CROSSING INFORMATION
- MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN WATERMAIN AND STORM/SANITARY SEWERS.
 - DEPTHS OF EXISTING WM ARE ASSUMED AND MUST BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
 - WHEN THE WM CROSSES BELOW A SEWER, THE SEWER MUST BE CONSTRUCTED WITH WM QUALITY PIPE & JOINTS THAT COMPLY WITH 35 IAC 853.119 OR ELSE EITHER PIPE MUST BE INSTALLED IN A CASING. THE PROTECTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WM TO THE SEWER IS AT LEAST 10 FEET. IN ADDITION, THE WM MUST BE LOCATED AT LEAST 18 INCHES BELOW THE SEWER. THIS 18 INCHES IS A STRUCTURAL PROTECTION TO PREVENT THE SEWER FROM SETTLING AND BREAKING THE WM.
 - WHEN THE WM CROSSES ABOVE A SEWER AND IT IS NOT 18 INCHES ABOVE THE CROWN OF THE SEWER WHERE THE PIPE CROSSES, THE SEWER MUST BE CONSTRUCTED WITH WM QUALITY PIPE & JOINTS (COMPLIANCE SAME AS ABOVE) OR A CASING PIPE CAN BE INSTALLED AROUND THE WM OR THE SEWER. THE CASING PIPE MUST BE A MATERIAL THAT IS APPROVED FOR USE AS WM. CONCRETE IS NOT AN ACCEPTABLE ENCASEMENT.
 - WHEN THE ENCASEMENT OPTION IS USED, IT SHALL BE ONE CONTINUAL SECTION (NO JOINTS).

PRELIMINARY UTILITY PLAN

- ### NOTES:
- ANY EXISTING WATER SERVICE LINES MUST BE LOCATED AND ABANDONED IN ACCORDANCE WITH VILLAGE OF LOMBARD REQUIREMENTS.
 - CONTRACTOR/OWNER TO NOTIFY VILLAGE OF LOMBARD WATER DEPT. 48 HOURS PRIOR TO WATER SERVICE LINES BEING ABANDONED OR TAPPED SO THAT A VISUAL INSPECTION CAN BE SCHEDULED.
 - ANY EXCAVATION PITS NEEDED FOR UTILITY DISCONNECTS/INSTALLATIONS SHALL BE FILLED WITH FLOWABLE FILL AND PATCHED IN ACCORDANCE WITH I.D.O.T. SPECIFICATIONS WITHIN ROHLWING RD. R.O.W.
 - ALL PIPE LENGTHS ARE APPROXIMATE. THOSE WHICH INCLUDE A FLARED END SECTION ARE TO THE END OF THE SECTION.
 - UNDERGROUND UTILITIES SHALL RECEIVE FULL DEPTH TRENCH BACKFILL WHERE INDICATED PER UNDERGROUND UTILITIES SPECIFICATIONS ON SHEET XX.
- = TRENCH BACKFILL

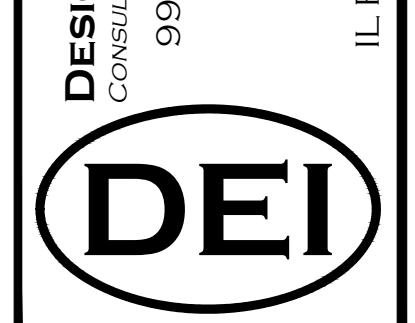


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 Design By: SDS
 Drawn By: NSM
 Checked By: SDS

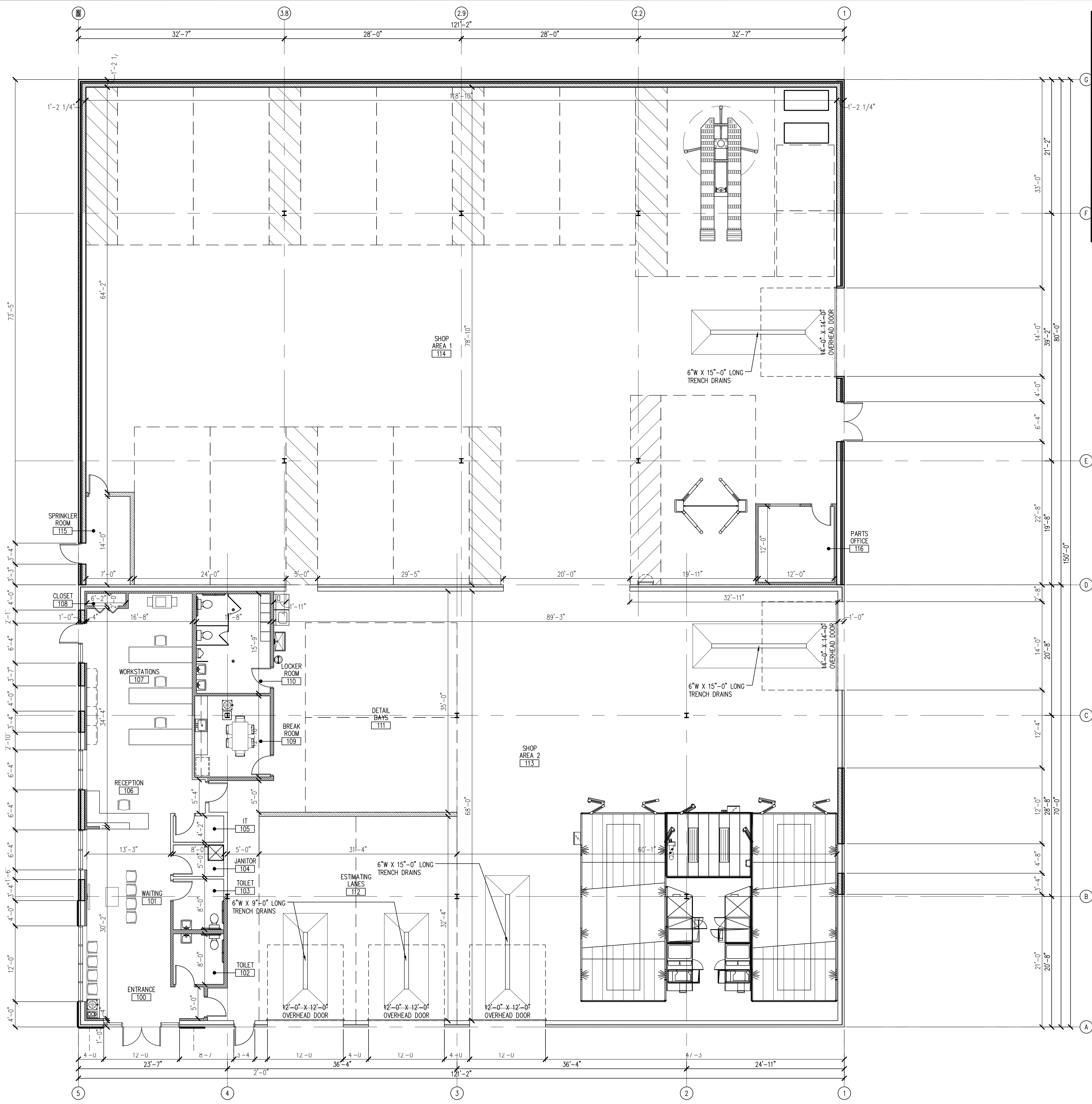


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PRELIMINARY UTILITY PLAN

GENERAL CONSTRUCTION NOTES

- ALL CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND MATERIALS IN THE FIELD, AND REVIEW ALL PROPOSED NEW CONSTRUCTION PRIOR TO SUBMITTING BIDS AND STARTING CONSTRUCTION OR DEMOLITION. NOTIFY OWNER IN WRITING OF ANY DISCREPANCIES. FAILURE TO MEET THIS REQUIREMENT SHALL NOT BE CAUSE FOR ANY ADDITIONAL COMPENSATION.
- ALL DIMENSIONS SHALL BE VERIFIED. WRITTEN DIMENSIONS, AND/OR LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE. DO NOT SCALE THE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER. ALL MATERIALS AND EQUIPMENT SHALL BE USED AND INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, REGULATIONS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST AND ACQUISITION OF ALL NECESSARY BUILDING PERMITS. PERMITS SHALL BE POSTED ON THE JOBSITE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- ALL CONTRACTORS SHALL FURNISH AND INSTALL ALL NEW MATERIALS, FIXTURES, EQUIPMENT, ETC. AS INDICATED AND/OR SPECIFIED, AND AS REQUIRED TO COMPLETE THE WORK, WHETHER SPECIFICALLY CALLED FOR OR NOT. ANY DETAILS NOT SPECIFICALLY INDICATED ON THE DRAWINGS SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL NOT BE EXECUTED WITHOUT THE OWNER'S APPROVAL.
- THE CONTRACTOR SHALL SUBMIT TO THE OWNER, FOR APPROVAL, A LIST OF MATERIALS, FIXTURES, AND EQUIPMENT, INCLUDING TYPE AND QUALITY TO BE USED IN THE CONSTRUCTION OF THIS WORK. COLORS AND FINISHES SHALL BE SELECTED BY THE OWNER, UNLESS NOTED OTHERWISE.
- ALL MATERIALS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. THESE RECOMMENDATIONS SHALL TAKE PRECEDENCE OVER CONFLICTING DETAIL DRAWINGS FOUND WITHIN.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE UNLOADING, STORAGE, INSPECTION, AND LOSS OR DAMAGE OF MATERIALS AFTER RECEIPT, WHETHER PURCHASED BY THE CONTRACTOR OR SUPPLIED BY THE OWNER.
- ALL CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH OTHER TRADES. WORK SHALL BE PROPERLY SEQUENCED TO AVOID DELAYS OR CONFLICTS WITH THE INTERCONNECTED WORK OF OTHERS.
- APPROPRIATE CONTRACTORS SHALL SUBMIT (1) REPRODUCIBLE COPY AND (4) COPIES OF SHOP DRAWINGS OF ALL NEW CONSTRUCTION (DOORS, DOOR FRAMES, CASEWORK, EQUIPMENT CUTS, HARDWARE SCHEDULE, MECHANICAL/ELECTRICAL/AND PLUMBING ITEMS, SAMPLES OF ALL FINISHES, ETC.) TO THE OWNER/ARCHITECT FOR FINAL REVIEW PRIOR TO ANY PURCHASE, FABRICATION, OR INSTALLATION. THE GENERAL CONTRACTOR SHALL REVIEW THE SHOP DRAWINGS PRIOR TO SUBMITTING THEM TO THE OWNER/ARCHITECT FOR REVIEW. THE SHOP DRAWINGS SHALL INDICATE ALL DIMENSIONS, MATERIALS, AND DETAILS OF FABRICATION, CONSTRUCTION, CONNECTIONS, AND INSTALLATION FOR PROPER FIT AND COORDINATION WITH RESPECT TO RELATED OR ADJACENT WORK.
- SEE PLUMBING, FIRE PROTECTION, ELECTRICAL, AND ROOM FINISH DRAWINGS FOR COORDINATION, ADDITIONAL INFORMATION, AND DETAILS.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.
- PROVISIONS FOR, AND LOCATIONS OF, FIRE EXTINGUISHERS, FIRE HOSES, SMOKE DETECTORS, SECURITY SYSTEMS, TEMPERATURE CONTROLS, EMERGENCY SYSTEMS, ETC. SHALL BE MADE JOINTLY BETWEEN THE OWNER, CONTRACTOR, AND THE AUTHORITY HAVING JURISDICTION, IF THE EQUIPMENT IS NOT ALREADY INDICATED ON THE DRAWINGS.
- ALL REQUIRED FIRESTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- ALL FINISHES SHALL BE CLASS 1, APPROVED BY A RECOGNIZED THIRD PARTY TESTING AGENCY.
- THERMAL AND SOUND INSULATING MATERIALS IN EXPOSED OR CONCEALED INSTALLATIONS SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS, AND A SMOKE DEVELOPED RATINGS OF 450 OR LESS WHEN TESTED IN ACCORDANCE WITH ASTM-E84.
- ALL ANGLES WALL ARE INDICATED AT 45° UNLESS NOTED OTHERWISE.
- NO ALTERATION TO WORK OR SUBSTITUTION OF MATERIALS WILL BE ACCEPTED UNLESS APPROVED BY OWNER IN ADVANCE.
- ALL DEFECTIVE OR INFERIOR MATERIALS, SLOPPY WORKMANSHIP, AND OTHER DEFICIENCIES SHALL BE CORRECTED AND/OR REPLACED BY THE APPROPRIATE CONTRACTORS AT THEIR EXPENSE.
- ALL CONTRACTORS SHALL BE RESPONSIBLE TO RESTORE OR REPLACE ALL DAMAGED OR REMOVED WORK (EXISTING OR NEW) TO THE SAME CONDITION AS ORIGINAL AT THEIR EXPENSE.
- IF THE DAMAGE IS NOT REPAIRED, THE OWNER SHALL HAVE THE RIGHT TO HAVE THE DAMAGE REPAIRED, AND SHALL HOLD LIABLE THE PARTY FOUND RESPONSIBLE FOR THE DAMAGE, WHETHER DIRECT OR INDIRECT. THE OWNER RETAINS THE RIGHT TO COLLECT DAMAGES IN ANY LEGAL MANNER.
- ALL CONTRACTORS SHALL COORDINATE HOURS OF WORK, REMOVAL, AND DELIVERY OF MATERIALS WITH THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE SITE CLEAN AT ALL TIMES, AND DISPOSING OF DEBRIS PER BUILDING REQUIREMENTS.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE BUILDING AND SITE CLEAN UPON COMPLETION OF WORK.
- ALL WORK MUST MEET THE OWNER'S APPROVAL BEFORE FINAL PAYMENT IS MADE.
- ALL WORK SHALL BE GUARANTEED FOR NOT LESS THAN ONE YEAR.
- THE COMPLETED PROJECT SHALL BE TURNED OVER TO THE OWNER IN COMPLETE OPERATING CONDITION, REGARDLESS OF THE DRAWINGS, REFERENCE NOTES, OR SPECIFICATIONS, WHICH MAY NOT COVER EVERY DETAIL.
- THE OWNER SHALL HAVE CONTROL OF ALL OPERATIONS AND SHALL ACCEPT OR REJECT THE SCHEDULE AND PERFORMANCE OF THE CONTRACTOR.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL PROVIDE AS-BUILTS (ELECTRICAL, PLUMBING, FIRE PROTECTION, ETC.) AND OPERATING MANUALS FOR ALL EQUIPMENT AND SYSTEMS INSTALLED.



LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING INTERIOR WALL TO REMAIN
- NEW INTERIOR GYPSUM BOARD WALL
- NEW INTERIOR MASONRY WALL
- NEW EXTERIOR MASONRY WALLS
- PARTITION TYPE TAG - SEE SHEET A-303
- DOOR TYPE TAG - SEE SHEET A-601
- WINDOW TYPE TAG - SEE SHEET A-601

1 FLOOR PLAN
 A-101 SCALE: 1/8"=1'-0"
 NORTH
 0 2' 4' 8' 16' 24'

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**NEW ADDITION
 CRASH CHAMPIONS**
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DESIGN FIRM REG. NO.	184.006972
EXP. DATE	4-30-21

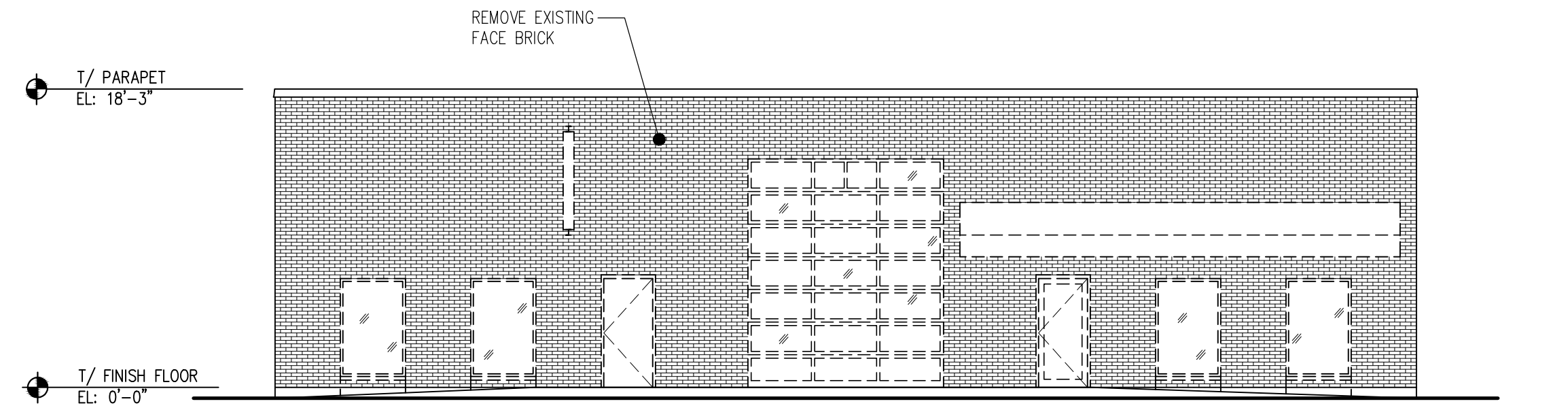
REVISIONS
REV # DATE: REV. PER:

DATE
05-18-21
 DRAWN BY: JMH
 PROJECT NO.
21015
 SHEET NAME
 FLOOR PLAN

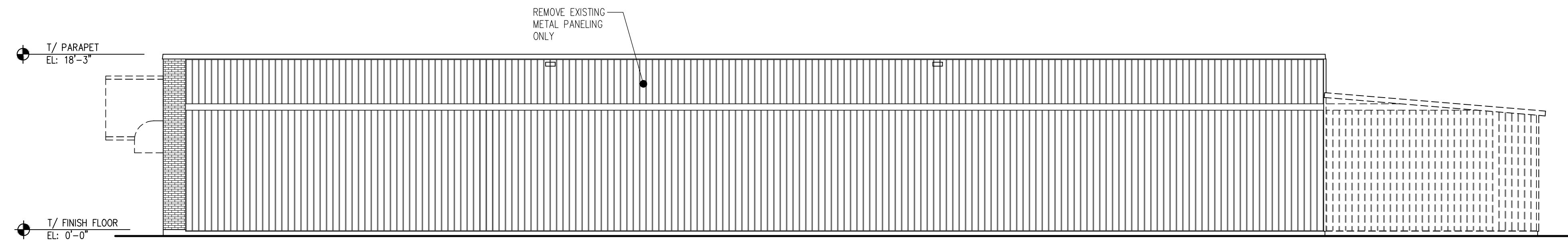
SHEET NUMBER
A-101



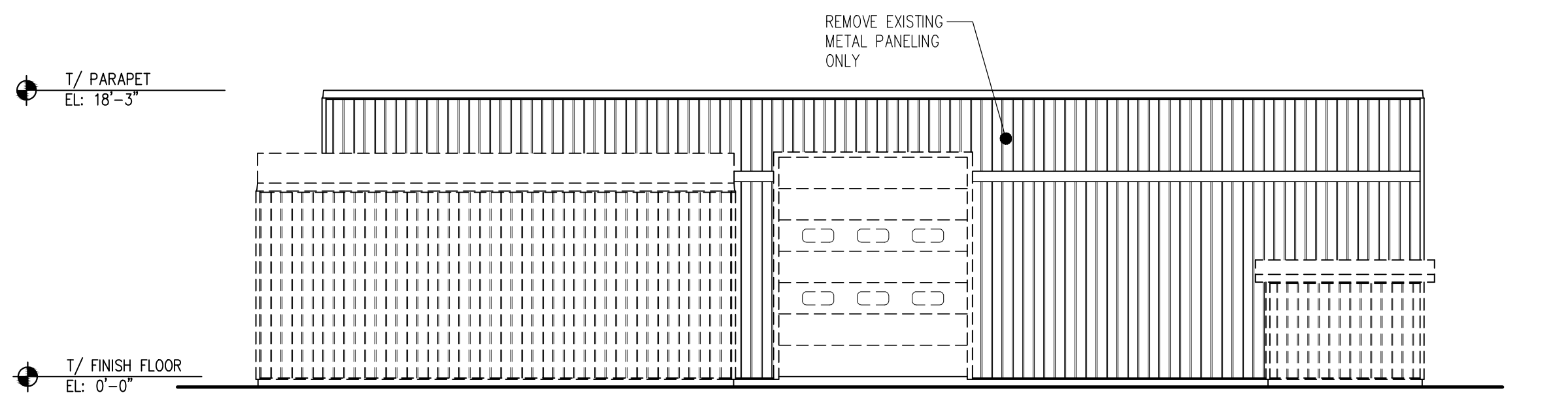
DEMOLITION LEGEND	
	EXISTING TO REMAIN
	TO BE REMOVED



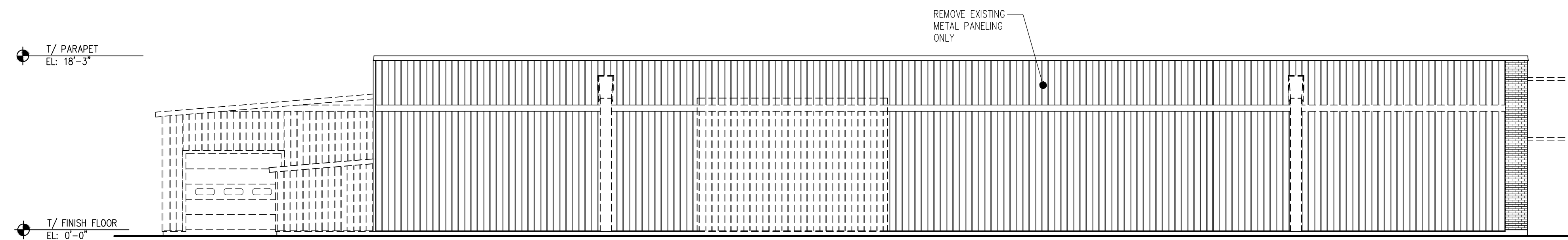
4 EXISTING WEST ELEVATION
A-201 SCALE: 1/8"=1'-0"



3 EXISTING SOUTH ELEVATION
A-201 SCALE: 1/8"=1'-0"



2 EXISTING EAST ELEVATION
A-201 SCALE: 1/8"=1'-0"



1 EXISTING NORTH ELEVATION
A-201 SCALE: 1/8"=1'-0"

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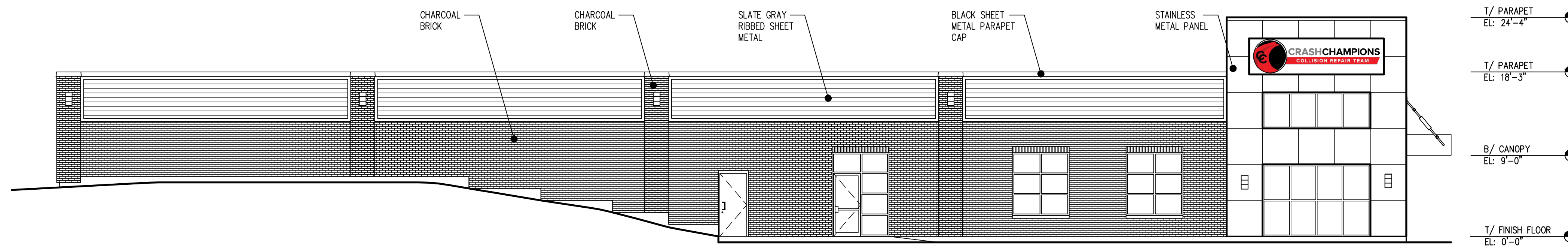
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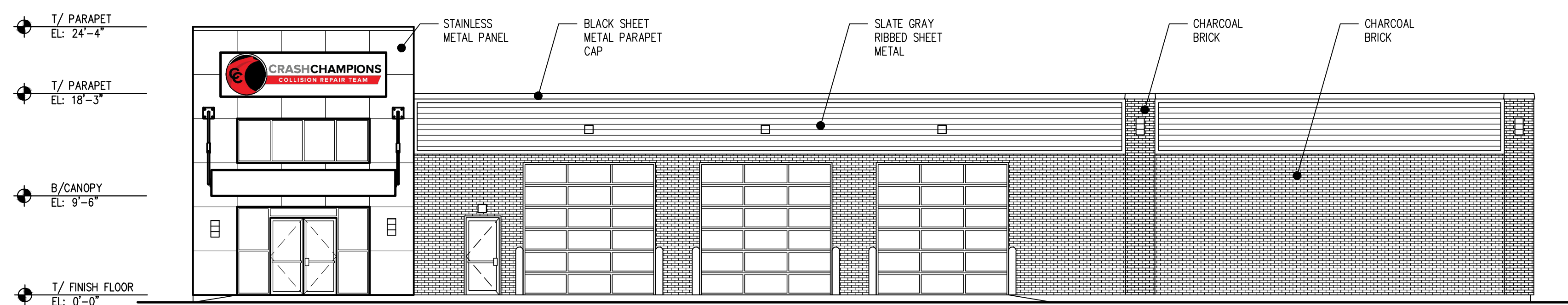
SHEET NAME
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER
A-201

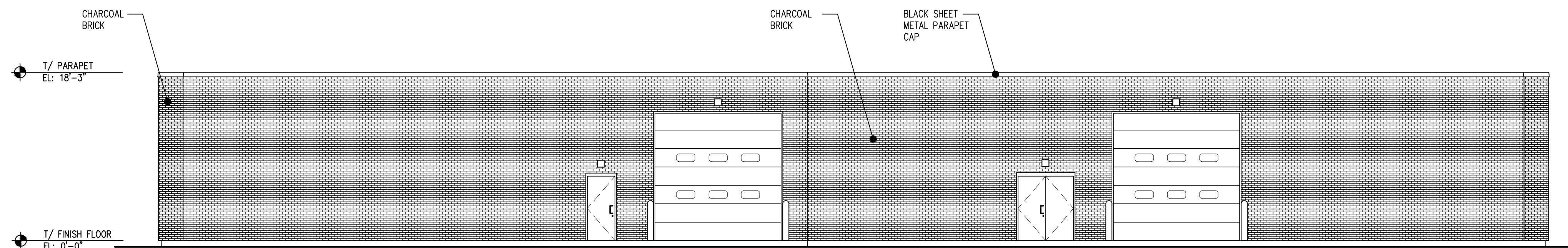
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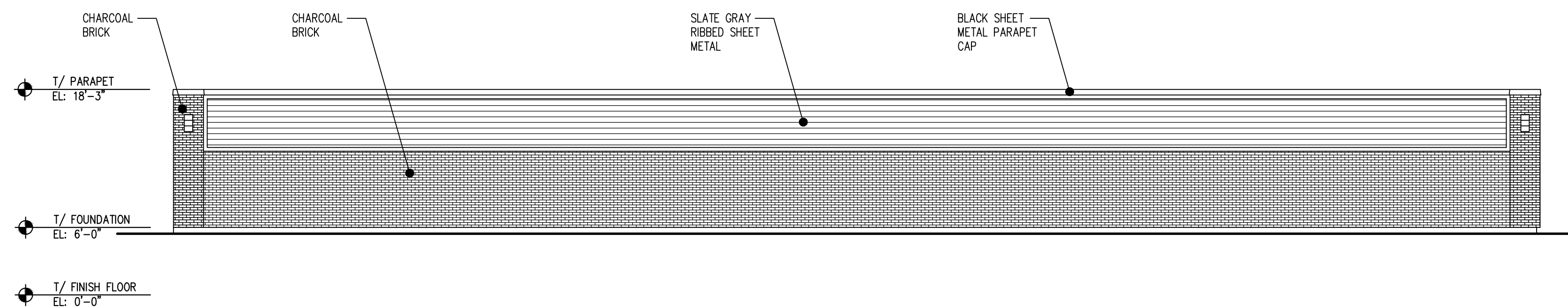
4 PROPOSED WEST ELEVATION
A-201 SCALE: 1/8"=1'-0" 0 2' 4' 8' 16' 24'



3 PROPOSED SOUTH ELEVATION
A-201 SCALE: 1/8"=1'-0" 0 2' 4' 8' 16' 24'



2 PROPOSED EAST ELEVATION
A-201 SCALE: 1/8"=1'-0" 0 2' 4' 8' 16' 24'



1 PROPOSED NORTH ELEVATION
A-201 SCALE: 1/8"=1'-0" 0 2' 4' 8' 16' 24'

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REV #	DATE	REV. PER:

DATE

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PROJECT NO.

21015

SHEET NAME

PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A-202



2 PROPOSED SOUTH ELEVATION RENDERING
A-900 SCALE: N.T.S



1 PROPOSED WEST ELEVATION RENDERING
A-900 SCALE: N.T.S

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SHEET NAME

PROPOSED EXTERIOR
ELEVATION
RENDERINGS

SHEET NUMBER

A-900



1
A-900 PROPOSED SITE PLAN RENDERING
SCALE: N.T.S

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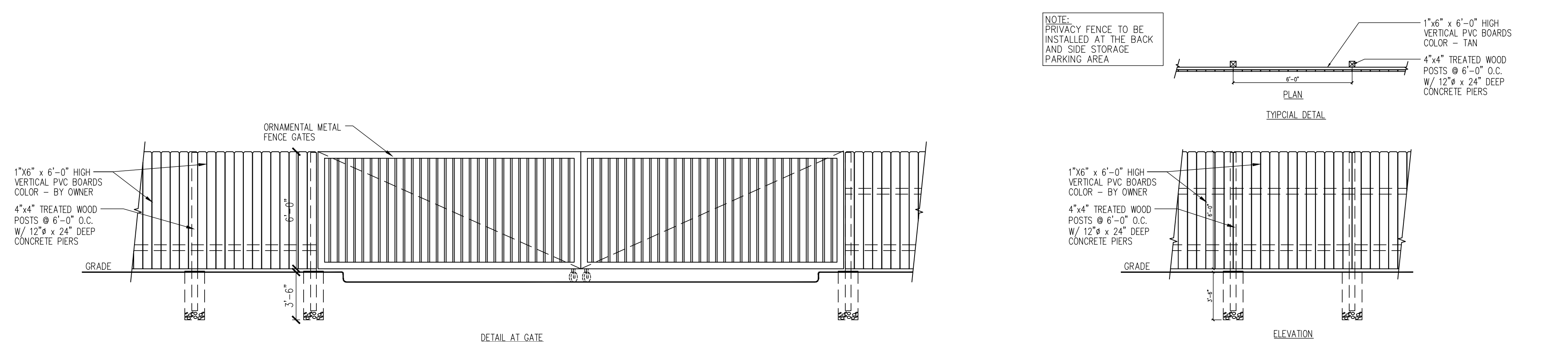
PROJECT NO.
21015

SHEET NAME

PROPOSED SITE
PLAN RENDERING

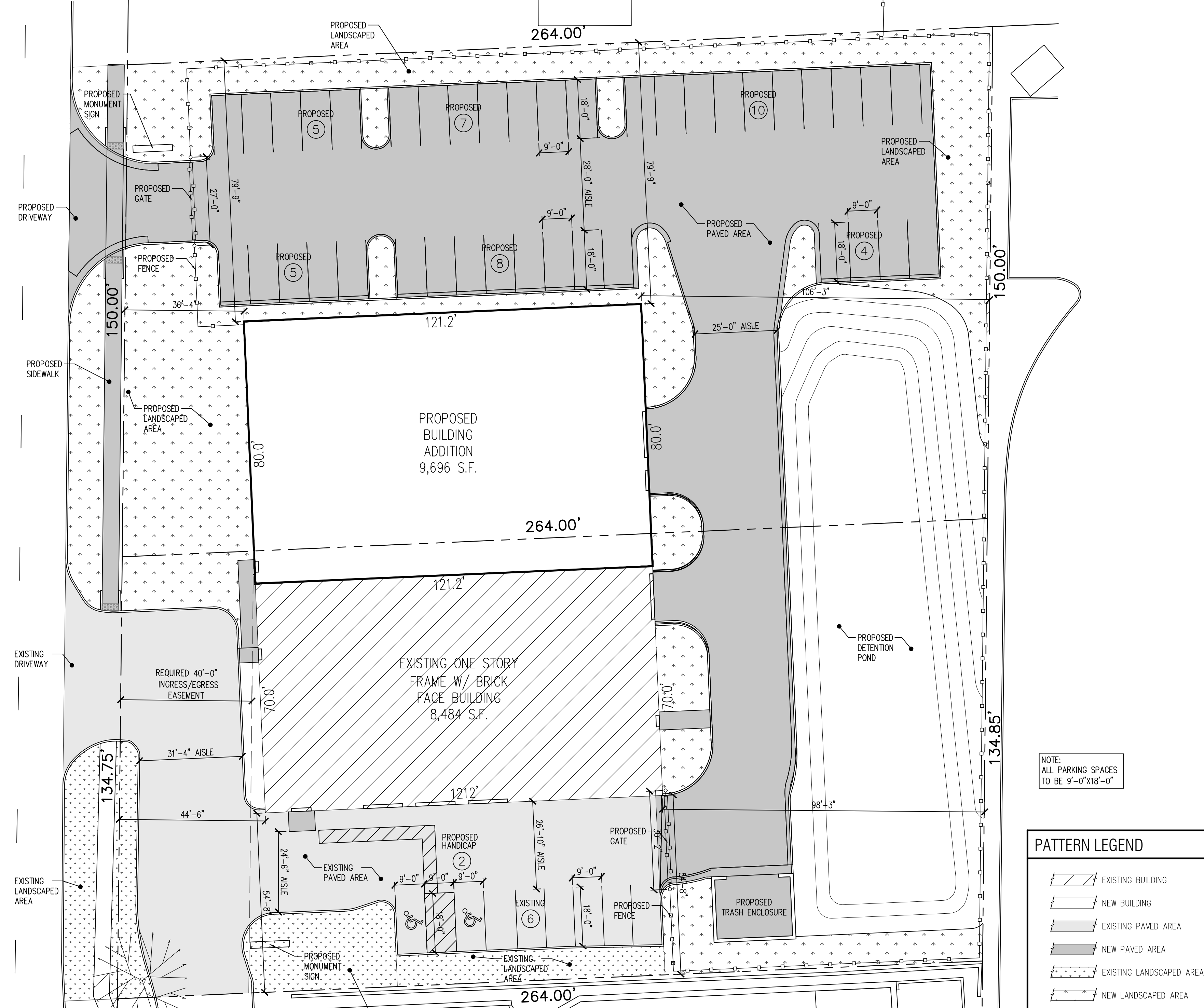
SHEET NUMBER

A-901

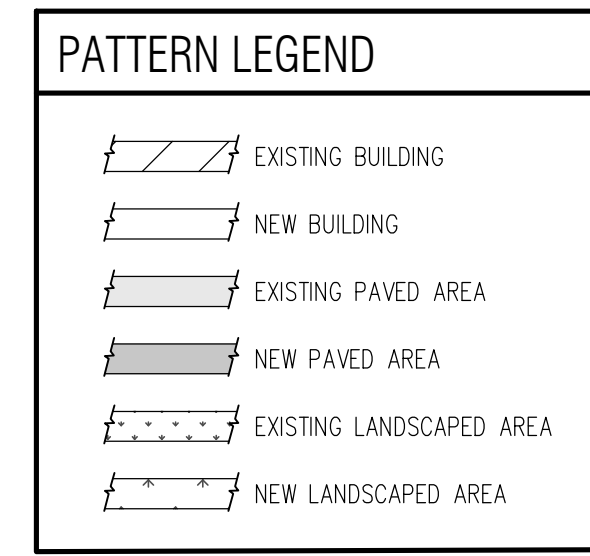


3 PRIVACY FENCE GATE DETAIL
AS-101 SCALE: 1/2"=1'-0"

2 PRIVACY FENCE DETAILS
AS-101 SCALE: 1/2"=1'-0"



1 SITE PLAN
AS-101 SCALE: 1"=20'-0"



BUILDING CODES	
2018 INTERNATIONAL BUILDING CODE (IBC)	CURRENT FEDERAL ADA
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)	(CURRENT) ILLINOIS ACCESSIBILITY CODE
(CURRENT) ILLINOIS ENERGY CONSERVATION CODE	2018 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
(CURRENT) ILLINOIS STATE PLUMBING CODE (ISPC)	NFPA 101 LIFE SAFETY CODE
2017 NATIONAL ELECTRICAL CODE (NEC)	2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)	
2018 INTERNATIONAL FUEL GAS CODE (IFGC)	

ZONING DATA			
ZONING DISTRICT:	B4 - CORRIDOR COMMERCIAL DISTRICT		
	ALLOWABLE	ACTUAL	COMPLY
LOT AREA:	40,000 S.F. MIN.	75,073 S.F.	YES
LOT WIDTH:	150 FT.	284'-10"	YES
OPEN SPACE:	7,507 S.F. (10% MIN.)	56,394 S.F. (75%)	YES
BUILDING FOOTPRINT:	-	18,180 S.F. TOTAL (8,484 S.F. EXISTING - 9,696 S.F. NEW)	-
BUILDING HEIGHT:	3 STORIES & 40'-0" MAX.	1 STORY & 26'-3"	YES

SETBACKS			
YARD	REQUIRED MINIMUM	ACTUAL	COMPLY
FRONT YARD (WEST)	10'-0"	36'-4"	YES
INTERIOR SIDE YARD (NORTH)	40'-0" (ABUTS RESIDENTIAL DIST.)	79'-9"	YES
INTERIOR SIDE YARD (SOUTH)	10'-0" (ABUTS COMMERCIAL DIST.)	54'-8"	YES
REAR YARD (EAST)	30'-0"	98'-3"	YES

PARKING DATA			
USES	OFF-STREET PARKING		
	REQUIRED MINIMUM	ACTUAL	COMPLY
OFFICE AREA	5 SPACES (4 SPACES PER 1,000 SF - 1,308/1000X4)	47 SPACES (45 REGULAR & 2 HANDICAP)	YES
MOTOR VEHICLE REPAIR AREA	19 SPACES (1 SPACE PER 1 EMPLOYEE, PLUS SPACES PER SERVICE BAY - 8 EMPLOYEES + 11 SERVICE BAYS)		
	24 SPACES TOTAL		

CODE DATA			
USE GROUP:	S-1 MODERATE-HAZARD STORAGE, B BUSINESS (NON-SEPARATED MIXED USE OCCUPANCY - SPRINKLERED)		
OCCUPANCY:	MOTOR VEHICLE REPAIR, OFFICE		
CONST. TYPE:	II-B NEW (II-B EXISTING)		
	ALLOWABLE	ACTUAL	COMPLY
HEIGHT LIMITATIONS (TABLE 504.3)			
BUILDING STORIES:			
MOTOR VEHICLE REPAIR AREA	3 STORIES (SPRINKLERED)	1 STORY	YES
OFFICE AREA	4 STORIES (SPRINKLERED)	1 STORY	YES
BUILDING HEIGHT:			
VEHICLE REPAIR AREA	75'-0" (SPRINKLERED)	24'-4"	YES
OFFICE AREA	75'-0" (SPRINKLERED)	24'-4"	YES
AREA LIMITATIONS (TABLE 506.2)			
MOTOR VEHICLE REPAIR AREA	70,000 S.F.	16,751 SF (6,994 S.F. EXISTING - 9,757 S.F. NEW)	YES
OFFICE AREA	92,000 S.F.	1,429 S.F.	YES
	70,000 S.F. TOTAL (MORE STRINGENT S.F. IS USED)	18,180 S.F. TOTAL (8,423 S.F. EXISTING - 9,757 S.F. NEW)	YES
OCCUPANT LOAD (TABLE 1004.5)			
MOTOR VEHICLE REPAIR AREA	84 PEOPLE (200 SF PER PERSON)	8 PEOPLE	YES
OFFICE AREA	9 PEOPLE (150 S.F. PER PERSON)	4 PEOPLE	YES
	93 PEOPLE TOTAL	12 PEOPLE TOTAL	YES
EXIT DISTANCE (TABLE 1017.2)			
MOTOR VEHICLE REPAIR AREA	250 FT. MAX	186' FT.	YES
OFFICE AREA	300 FT. MAX	82 FT.	YES

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21015
SHEET NAME

ARCHITECTURAL
SITE PLAN

SHEET NUMBER
AS-101

PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
ACE AU2	ACER FREEMANTII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE	B 4 B	25" CAL	4
CEL OCC	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B 4 B	25" CAL	3
GLE I1B	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' / THORNLESS SKYLINE HONEYLOCUST	B 4 B	25" CAL	4
QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK	B 4 B	25" CAL	3
TIL RED	TILIA AMERICANA 'REDMOND' / REDMOND AMERICAN LINDEN	B 4 B	25" CAL	3
UNDERSTORY TREES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
AME AU2	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	B 4 B	6' CLUMP	6
CRA VAR	CRATAEGUS CRUS-GALLI INERMIS TM / THORNLESS COCKSPUR HAWTHORN	B 4 B	2" CAL	3
SYR IVO	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B 4 B	6' CLUMP	5
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
COR ISA	CORNUS SERICEA 'ISANTI' / ISANTI REDOSIER DOGWOOD	B 4 B	36" HT.	10
COT ACU	COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER	B 4 B	30" HT.	16
PHY N12	PHYSOCARPUS OPULIFOLIUS / NINEBARK	B 4 B	36" HT.	16
RHU GRO	RIBUS AROMATICUS 'GRO-LOW' / GRO-LOW FRAGRANT SUIAG	B 4 B	24" HT.	9
RIB GRE	RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT	B 4 B	30" HT.	15
ROS FL3	ROSA X FLOREN CARPET CORAL / ROSE	#5	24" SPREAD	6
SYR MEY	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC	B 4 B	30" HT.	6
SYR VUL	SYRINGA VULGARIS / COMMON LILAC	B 4 B	36" HT.	7
VIB LUS	VIBURNUM DENTATUM 'CHICAGO LUSTER' / CHICAGO LUSTER ARROWWOOD	B 4 B	36" HT.	14
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
JUN BRO	JUNIPERUS SABINA 'BROADMOOR' / BROADMOOR JUNIPER	B 4 B	24" HT.	6
PIN CO2	PINUS MUSO 'COMPACTA' / DWARF MUSO PINE	B 4 B	30" HT.	3
TAX DEN	TAXUS X MEDIA 'DENSIFORMIS' / DENSE YEW	B 4 B	24" HT.	17
THU GR2	THUJA STANDISHII X FLICATA 'GREEN GIANT' / GREEN GIANT ARBORVITAE	B 4 B	6' HT.	8
GRASSES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
CAL KAR	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER / FEATHER REED GRASS	CONT.	#1	28
SPO TAR	SPOROBOLUS HETEROLEPIS TARA / PRAIRIE DROPSIED	CONT.	#1	14
GROUND COVERS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
HEM OR2	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	CONT.	QUART	28
NEP WA2	NEPETA X FAASSENI 'WALKERS LOW' / WALKERS LOW CATMINT	CONT.	QUART	46
PER LIT	PEROVSKIA ATRIFOLIOLATA 'LITTLE SPIRE' TM / LITTLE SPIRE RUSSIAN SAGE	CONT.	QUART	52
TURF	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
TUR SEE	TURF SEED / BLUEGRASS SEED MIX	SEED	S.F.	27,904 SF

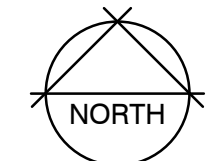
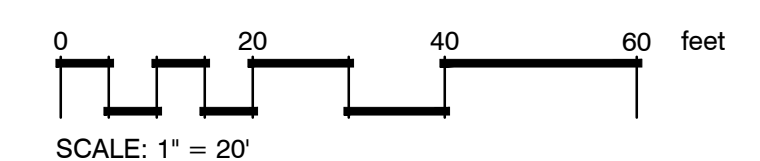
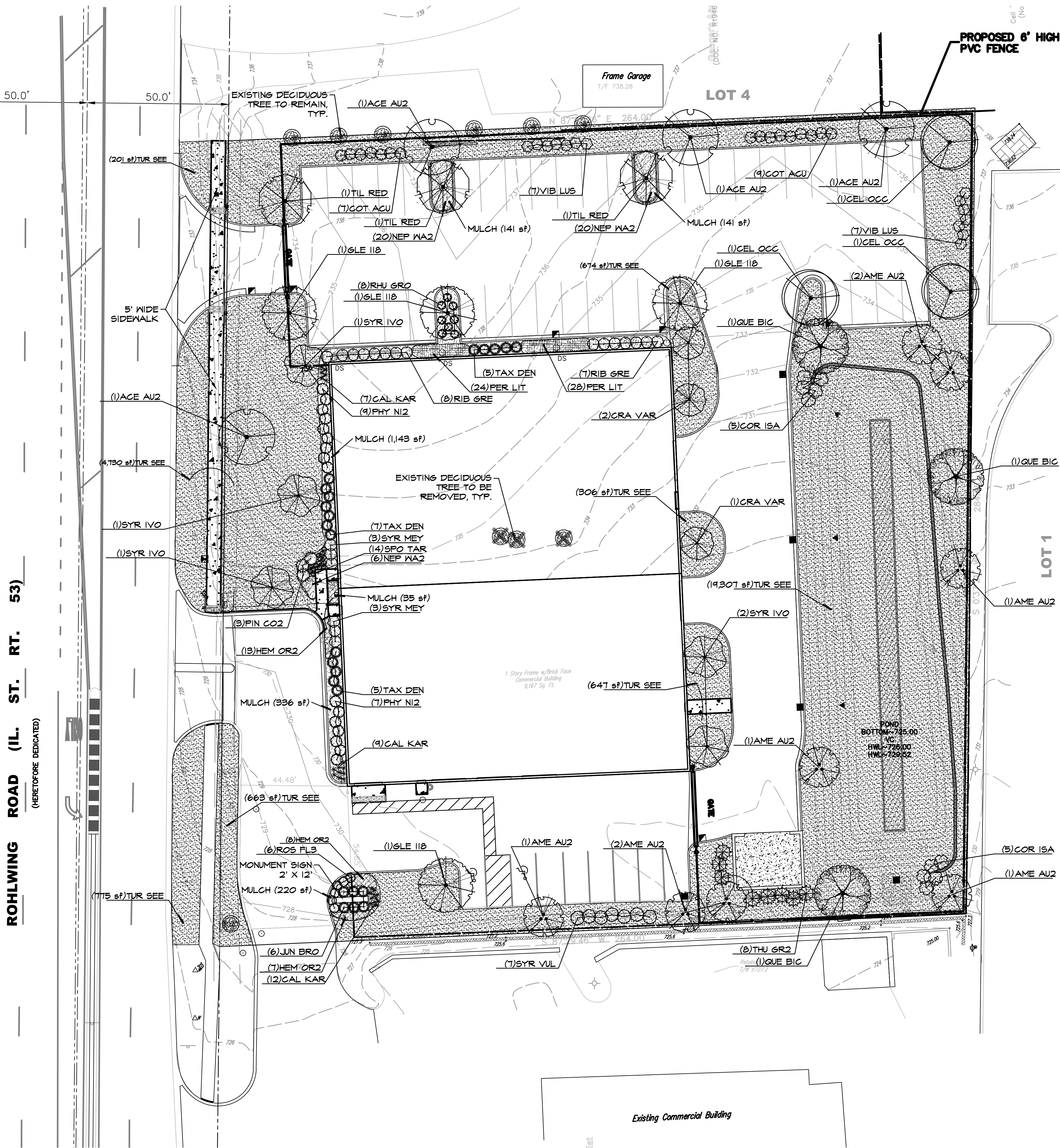
MULCH SCHEDULE

MULCH	2016 SF
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LANDSCAPE NOTES:

- PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISSIPATED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC., ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPAL REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- ANY AREAS TO BE LOAMED AND SEEDING WHICH HAVE NOT BEEN DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 1"-2" OF LOAM OVER SCARIFIED EXISTING SOILS. CARE SHOULD BE GIVEN TO NOT PLACE GREATER THAN 1" SOIL OVER EXPOSED ROOTS OF EXISTING TREES IN SUCH AREAS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS FOR PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE NEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE SOD AS A GROUND COVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SOD UNLESS OTHERWISE NOTED.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- TREES SHALL BE STAKED AND GUYED, AND HAVE A WATERING SAUCER AT BASE.
- ALL BEDS TO BE BERMED 12" TO 24" ABOVE GRADE AND MEET DRAINAGE REQUIREMENTS.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PRUNE AND FERTILIZE ALL EXISTING VEGETATION TO REMAIN ON SITE.
- ANY CHANGES TO THE PLAN AFTER FINAL DEVELOPMENT APPROVAL REQUIRE REVIEW AND APPROVAL BY THE PLANNING & ZONING ADMINISTRATOR.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER THAN TEN (10) FEET TO FIRE HYDRANTS, TRANSFORMERS OR OTHER ABOVE GROUND UTILITIES.
- BARE ROOT PLANTS ARE NOT ALLOWED.

ROHLWING ROAD (IL ST. RT. 53)
(HEREFORE DEDICATED)



Qty 2
 Channel Letters
 Mounted Flush to 3" Fabricated Aluminum Pan
 Grey, Red, Black, Burgundy on White Acrylic Faces
 White LED Illumination
 UL Listed



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- i have reviewed the layout of all artwork elements (logos, fonts, etc.), copy, spelling and punctuation
- graphics shown are for approximate color and positioning only
- if a specific color match is required, the appropriate pantone color code must be used
- changes during production and/or final application may occur
- **by signing below, i approve this artwork to be produced and take full responsibility for any errors**

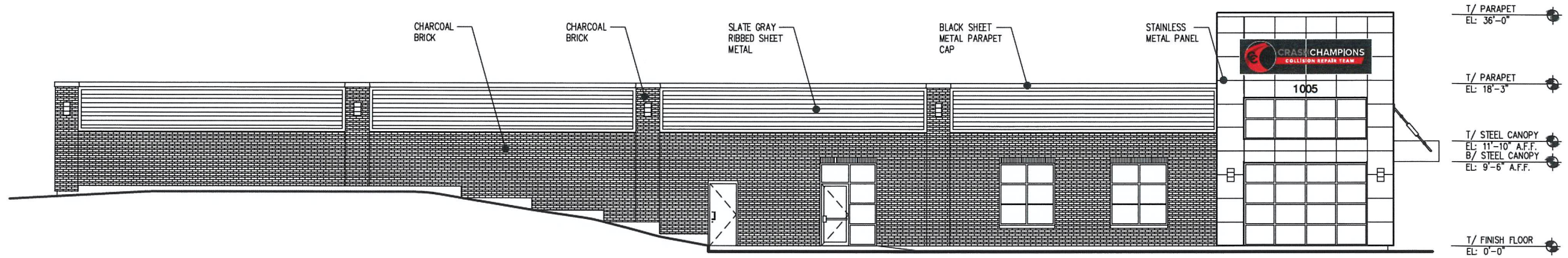
Pertaining only to vehicle graphic orders that require installation:

Your vehicle must be cleaned prior to dropping off for installation.
 If your vehicle has not been cleaned, a \$30 fee will be added to your invoice.

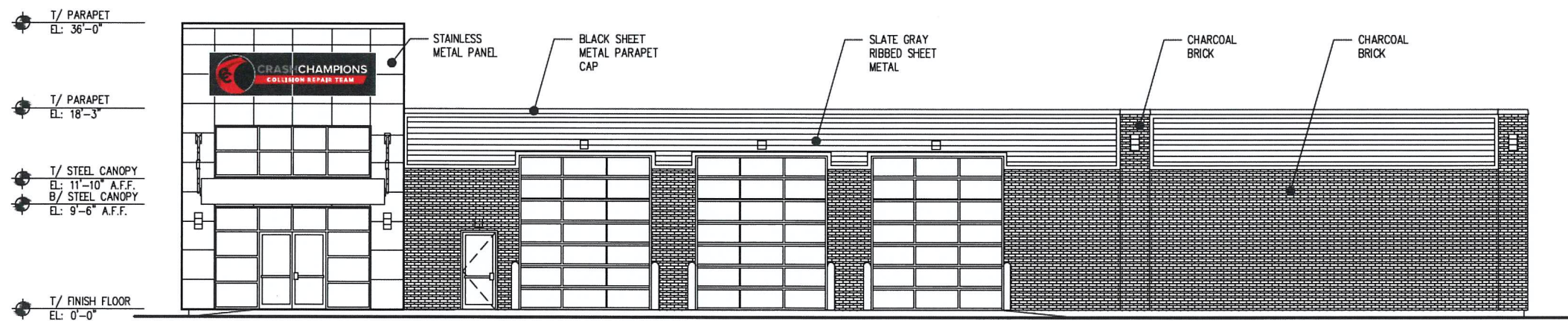
By signing below, I acknowledge that my vehicle will be clean at the time of drop off, or will pay the additional fee.

approval

date



4 PROPOSED WEST ELEVATION
A-201 SCALE: 1/8"=1'-0" 0 2' 4' 8' 16' 24'



3 PROPOSED SOUTH ELEVATION
A-201 SCALE: 1/8"=1'-0" 0 2' 4' 8' 16' 24'

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approval

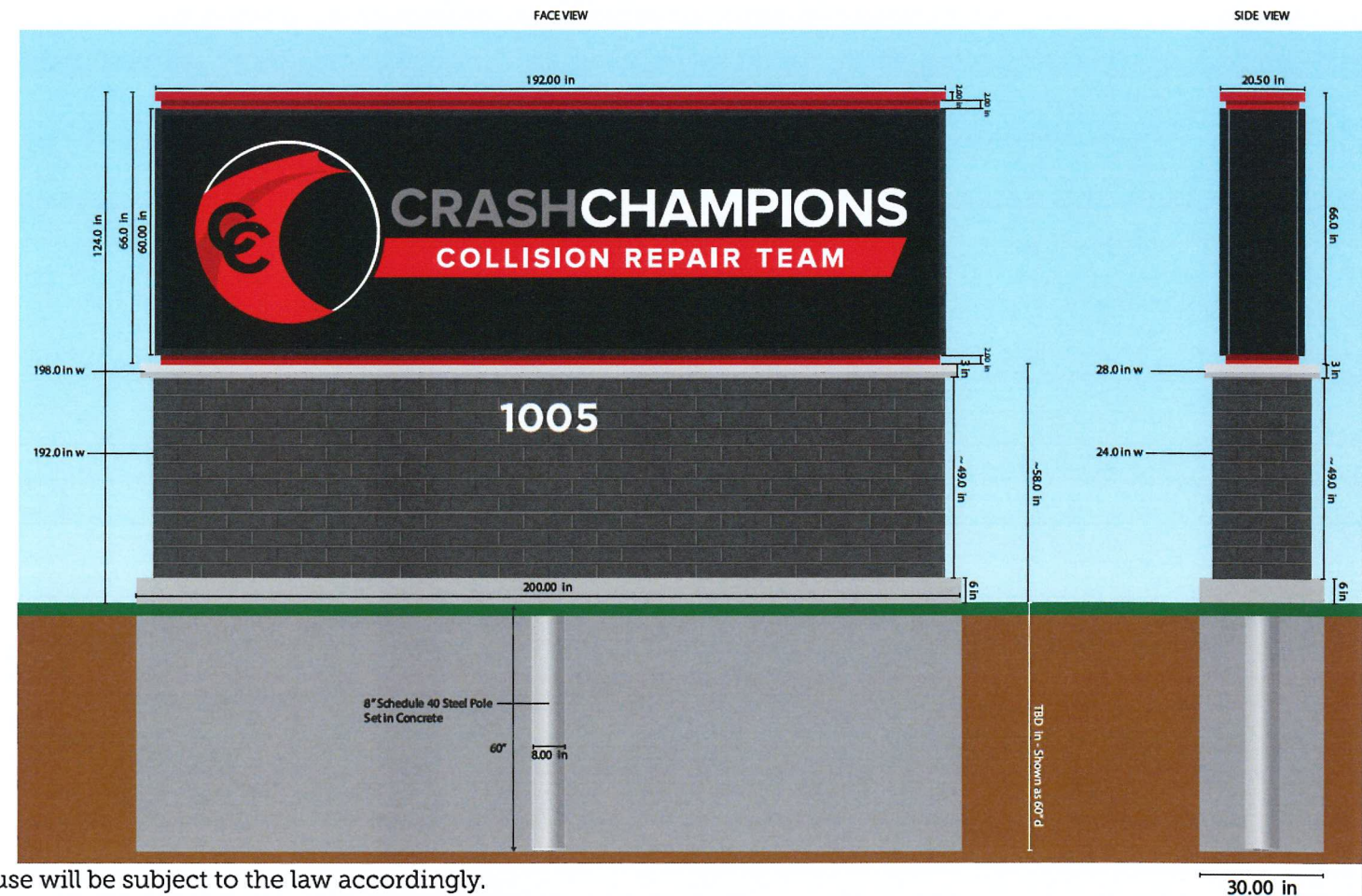
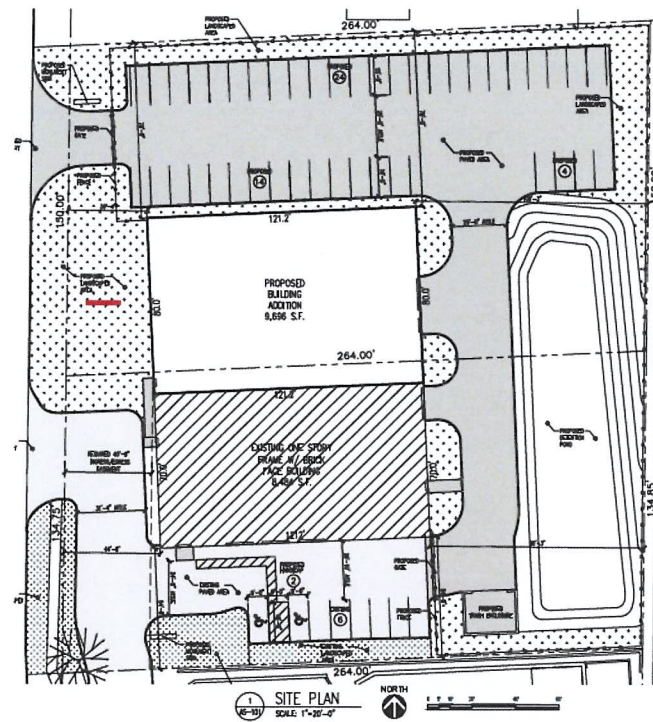
date

60"H x 192" W Extruded Aluminum Sign Cabinet
 Double Sided
 8" Round Steel Pipe -184" Length (.322" Wall - 7.981" ID/8.625"OD)
 Brick Masonry Base on Foundation
 Polycarbonate Faces
 with 3M Cast Vinyl and Cast Translucent Vinyl.
 LED Illumination
 UL Listed

Topper
 192"w x 20.5"d x 2"h

Reveal
 189"w x 17.5"d x 2"h

Address
 .5" Routed White Acrylic



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