

**EXHIBIT B**

**DOWNTOWN IMPROVEMENT AND RENOVATION GRANT PROGRAM  
AGREEMENT**

This Agreement is entered into this twenty first day of September, 2023, by and between the Village of Lombard, Illinois, (hereinafter referred to as the “Village”), and property owner UMJK Holdings LLC, signed by agent Usman “Sid” Siddiqui (hereinafter referred to as “Applicant”) for the property at 10-12 S. Park Avenue, Lombard, Illinois (said location being legally described on Exhibit “1” attached hereto and made part hereof – hereinafter referred to as the “Subject Property”). The Village and the Applicant are sometimes referred to herein collectively as the “Parties.”

**WITNESSETH**

**WHEREAS**, the Village, pursuant to Sections 36.30 through 36.36 of the Lombard Village Code, has established a Downtown Improvement and Renovation Grant Program (hereinafter referred to as the “Program”) and, as such, will provide grants to qualified business owners and property owners in the Eligible TIF Districts (as said term is defined in Section 36.31 of the Lombard Village Code) for exterior renovations; and

**WHEREAS**, the Program compliments and supports the Village's plans to maintain a quality Central Business District; and

**WHEREAS**, exterior renovations are desirable within the Central Business District and contribute to an economically strong Central Business District; a commercial area where the image, appearance, and environment encourage the attraction of shoppers; and

**WHEREAS**, the Applicant wish to participate in this Program for proposed exterior renovations to be located at 10-12 South Park Avenue, Lombard, Illinois; with said exterior and accessibility renovations being more specifically described in Exhibit “2” attached hereto and made part hereof (hereinafter referred to as the “Project”);

**NOW, THEREFORE**, in consideration of the foregoing, and other good and valuable consideration, the receipt of which is hereby acknowledged by the Parties hereto, the Parties agree as follows:

**SECTION 1:** The Village shall provide the Applicant with a grant under the Program in an amount not to exceed fifty thousand dollars (\$50,000), (hereinafter referred to as the “Grant”) for the proposed façade enhancements. Furthermore, the Village shall provide the Applicant an additional grant of up to eighteen thousand, one hundred dollars (\$18,100), pursuant to the Program for the proposed exterior accessibility improvements for the proposed exterior patio area (the cumulatively sum referred to as the “Grant”).

Such Grant shall be available to the Applicant upon the authorization of the Village's Director of Community Development, and after the Applicant has constructed the Project, and complied with the provisions of this Agreement and Sections 36.30 through 36.36 of the Lombard Village Code, as well as paid for the Project. The maximum amount of the Grant, as set forth above, is based upon the Applicant expending no less than one hundred thousand and 00/100 dollars (\$100,000) on the proposed façade modifications as well as no less than thirty-six thousand, two hundred and 00/100 dollars (\$36,200) on the proposed exterior accessibility modifications for the proposed exterior patio area. In the event that the Applicant's expenditures for the Project are less, the Grant shall be reduced such that the maximum amount of the Grant shall not exceed fifty percent (50%) of the amount expended by the Applicant in relation to the Project.

**SECTION 2:** The Applicant shall undertake the following in connection with the Project:

1. Building permits must be received for the applicable work, with completion and passage of all required inspections.
2. Work shall be complete one year from the date of approval by the ECDC.
3. Before the grant can be paid out, UMJK Holdings LLC shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and an IRS W-9 form.
4. After the grant money is paid, UMJK Holdings LLC shall display the Village window sign acknowledging they received a grant.

**SECTION 3:** Upon completion of the Project, the Applicant shall maintain the Subject Property and the business located thereon in accordance with all applicable federal, state and local laws, rules and regulations.


**SECTION 4:** The Applicant hereby consent to the recording of this Agreement to serve as notice to future purchasers, assigns, estate representatives, mortgagees, and all other interested persons of the conditions outlined in this Agreement.

**SECTION 5:** In the event the Village terminates this Agreement as a result of the Applicant failing to comply with any of the terms of this Agreement, the Applicant shall be required to repay any amount of the Grant that has been disbursed by the Village.

**SECTION 6:** This Agreement shall be binding upon the successors and assigns of the Parties hereto.

Resolution No. 48-23  
10-12 S. Park Avenue

VILLAGE OF LOMBARD

  
By: Keith T. Giagnorio, Village President

  
Attest: Elizabeth Brezinski, Village Clerk

APPLICANT

UMJK Holdings LLC/Usman "Sid" Siddiqui

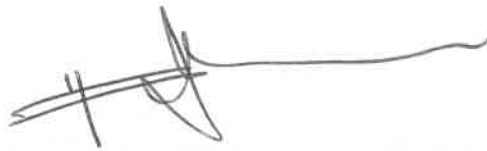
Resolution No. \_\_\_\_\_  
10-12 S. Park Avenue

VILLAGE OF LOMBARD

\_\_\_\_\_  
By: Keith T. Giagnorio, Village President

\_\_\_\_\_  
Attest: Elizabeth Brezinski, Village Clerk

APPLICANT



\_\_\_\_\_  
UMJK Holdings LLC/Usman "Sid" Siddiqui

Resolution No. 48-23  
10-12 S. Park Avenue

STATE OF ILLINOIS        )  
                                          )SS  
COUNTY OF DUPAGE        )

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Keith T. Giagnorio, personally known to me to be the President of the Village of Lombard, and Elizabeth Brezinski, personally known to me to be the Village Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such President and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this 21st day of Sept, 2023.

Commission expires April 1, 2026.



Monika Reszka  
Notary Public



Resolution No. 48-23  
10-12 S. Park Avenue

**EXHIBIT 1**  
**Legal Description**

THAT PART OF BLOCK 1 IN BLOCK 19 IN TOWN OF LOMBARD, DESCRIBED AS COMMENCING IN THE EAST LINE OF SAID LOT, 29.16 FEET NORTH OF THE SOUTHEAST CORNER THEREOF, THE SAME BEING AT THE CENTER OF THE BRICK WALL, AS A POINT OF BEGINNING; THENCE NORTH ALONG THE EAST LINE OF SAID LOT 1, 52.68 FEET TO THE JOINT IN THE BRICK WALL, FOLLOWING THE LOT; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID LOT 54.88 FEET TO A POINT INTERSECTING A STRAIGHT LINE DRAWN WESTERLY FROM THE POINT OF BEGINNING THROUGH THE CENTER OF THE BRICK WALL TO THE WEST LINE OF SAID LOT; THENCE EASTERLY IN A STRIAIGHT LINE 87.57 FEET TO THE POINT OF BEGINNING, BEING A SUBDIVISION IN SECTIONS 5, 6, 7, 8 AND 18 TOWNSHIP 39, NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 23, 1868 AS DOCUMENT 9483 IN DUPAGE COUNTY, ILLINOIS.

PIN 06-07-209-013

ADDRESS: 10-12 SOUTH PARK AVENUE

## **EXHIBIT 2**

The Community Development Department retains a copy of the submittal to the Economic and Community Development Committee. This submittal includes contractor's quotes and a description of the work to be completed. As set forth in the attached building plans, The Applicant proposes to:

- Remove much of the east exterior wall and replacing it with a new frost wall and recessed glass exterior wall with two entrance doors;
- Exterior and stone and stucco cladding removal and replacement of a new brick finish and with metal soffit panels; and
- Demolition of and reconstruction of the existing concrete surface to provide for ADA accessibility into the building and which can also be utilized as a potential outside seating area, if sought by a future tenant.

The estimated façade enhancement component is \$124,550 and is grant eligible up to \$50,000 (i.e., 50% of the \$100,000 Program cap). The concrete accessibility accommodation cost is \$36,200, which makes this project component eligible for up to \$18,100.



# BASE BUILDING UPGRADES

UNIK HOLDINGS LLC  
 10000 UNIVERSITY BLVD  
 SUITE 100  
 FARMERS BRANCH, TX 75438  
 (972) 250-3333

BUILDING DIVISION APPROVED

TRENT FREDRICKSON, R.A.  
 407174033  
 10000 UNIVERSITY BLVD  
 SUITE 100  
 FARMERS BRANCH, TX 75438

CARDINAL SDI  
 11000 UNIVERSITY BLVD  
 SUITE 100  
 FARMERS BRANCH, TX 75438

PAUL GIBSSON, P.E.  
 11000 UNIVERSITY BLVD  
 SUITE 100  
 FARMERS BRANCH, TX 75438



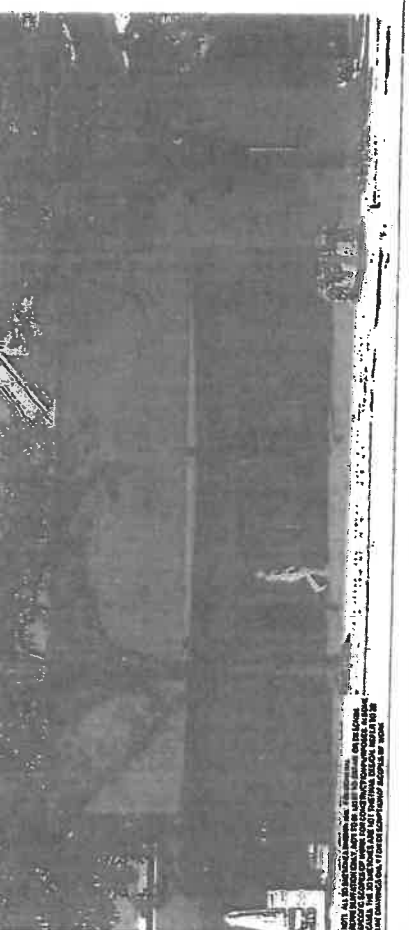
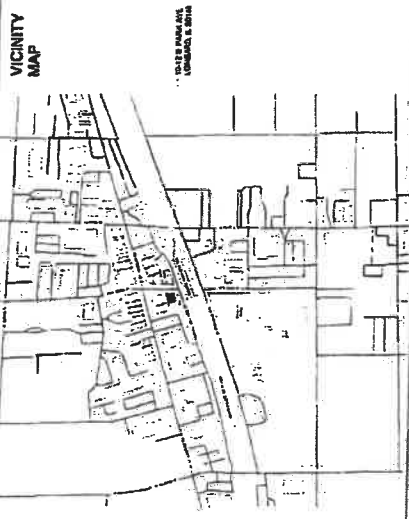
DATE FOR PERMIT: 08/13/2019  
 DATE FOR CONSTRUCTION: 08/13/2019

FOR CONSTRUCTION SET

COPY: 04/13/2019

COVER SHEET

## GO.00



### GENERAL NOTES

- CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY MATERIALS, LABOR, AND EQUIPMENT TO COMPLETE THE WORK. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. ANY OBSTRUCTION SHALL BE REMOVED IMMEDIATELY UPON NOTICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BUILDING DIVISION AND OTHER AFFECTED AGENCIES.
- CONTRACTOR SHALL MAINTAIN RECORDS OF ALL WORK AND MATERIALS USED. THESE RECORDS SHALL BE MADE AVAILABLE TO THE ARCHITECT UPON REQUEST.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
- CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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- CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.

### PROJECT SUMMARY

NO.	DESCRIPTION	DATE
001	PRELIMINARY	08/13/2019
002	SCHEMATIC DESIGN	08/13/2019
003	PRELIMINARY PERMITS	08/13/2019
004	SCHEMATIC DESIGN	08/13/2019
005	PRELIMINARY PERMITS	08/13/2019

### DRAWING LIST

NO.	DESCRIPTION	DATE
001	PRELIMINARY	08/13/2019
002	SCHEMATIC DESIGN	08/13/2019
003	PRELIMINARY PERMITS	08/13/2019
004	SCHEMATIC DESIGN	08/13/2019
005	PRELIMINARY PERMITS	08/13/2019

### MATERIAL & PRODUCT SUBMITTALS

- CONTRACTOR SHALL SUBMIT ALL MATERIAL AND PRODUCT SUBMITTALS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. SUBMITTALS SHALL BE MADE AVAILABLE TO THE ARCHITECT AT THE PROJECT SITE.
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### DELEGATED DESIGN

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### FOR CONSTRUCTION SET

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### COVER SHEET

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**BASE BUILDING  
UPGRADES**

**UNIK HOLDINGS LLC**  
10000 W. CENTRAL EXPRESSWAY  
SUITE 1000  
DALLAS, TEXAS 75243  
PHONE: 972.382.2500

**TRINITY FREDERICKSON, P.A.**  
JAMES B. FREDERICKSON, III  
10000 W. CENTRAL EXPRESSWAY  
SUITE 1000  
DALLAS, TEXAS 75243

**CARDINAL SBI**  
10000 W. CENTRAL EXPRESSWAY  
SUITE 1000  
DALLAS, TEXAS 75243

**PAUL GHASSAN, P.E.**  
10000 W. CENTRAL EXPRESSWAY  
SUITE 1000  
DALLAS, TEXAS 75243



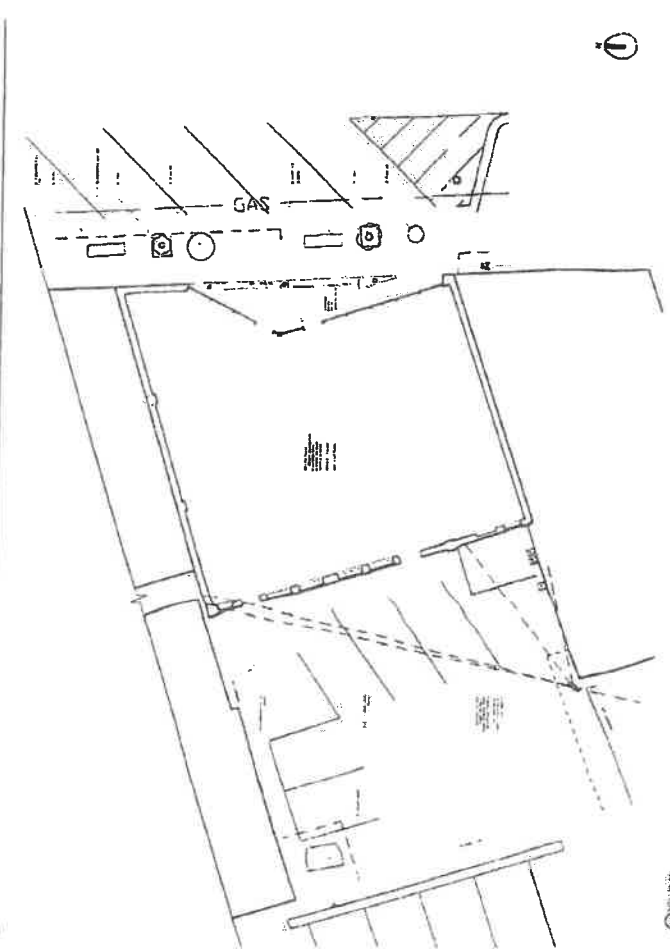
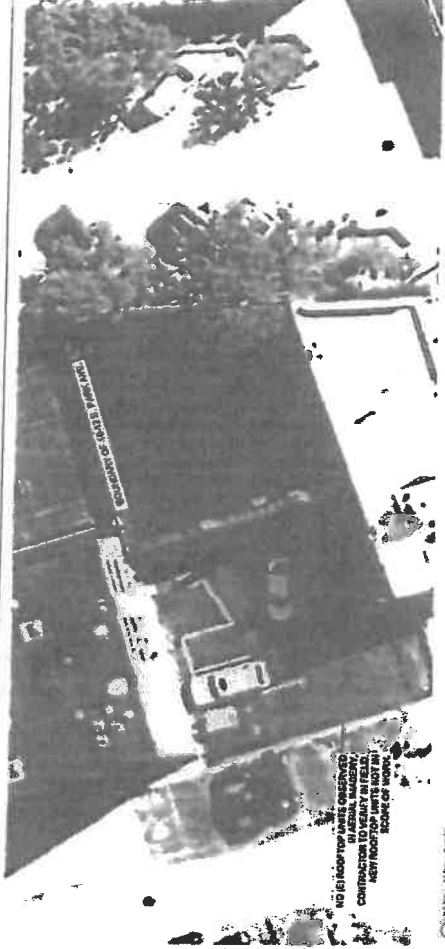
**REVISIONS**  
10/05/2023 (REVISED)  
FOR CONSTRUCTION SET (11/1/2023)

**FOR CONSTRUCTION  
SET**

**SCALE AS SHOWN  
DATE: APRIL 19, 2023**

**SITE PLAN +  
SURVEY**

**G1.03**



**KADAL SURVEYING COMPANY**  
Land Surveying Services  
**ALTA/NSPS Land Title Survey**

**South Main, Apt. P**  
1445 South Main Street  
Dallas, Texas 75215

**Survey Description:**  
This is an ALTA/NSPS Land Title Survey as defined by the International Surveying and Mapping Standards, Inc. (ISMSI) and the National Society of Professional Surveyors (NSPS). The survey includes a detailed plat of the property and its boundaries, as well as a plat of the easements and encroachments affecting the property. The survey also includes a plat of the utility lines and structures shown on the ground. The survey was conducted in accordance with the standards and practices of the profession of land surveying in the State of Texas.

**Survey Data:**  
Date of Survey: 10/05/2023  
Surveyor: Paul Ghassan, P.E.  
Project No.: G1.03

**Scale:** As Shown

**North Arrow:** True North

**Legend:**  
- Solid line: Boundary of the property  
- Dashed line: Easement or encroachment  
- Dotted line: Utility line  
- Circle with cross: Structure shown on the ground

**Notes:**  
1. The survey was conducted in accordance with the standards and practices of the profession of land surveying in the State of Texas.  
2. The survey includes a detailed plat of the property and its boundaries, as well as a plat of the easements and encroachments affecting the property.  
3. The survey also includes a plat of the utility lines and structures shown on the ground.

**Professional Engineer Seal:**  
Paul Ghassan, P.E.  
License No. 10000  
State of Texas

**BASE BUILDING  
UPGRADES**

BY: **MARK HOLDINGS LLC**  
 PROJECT NO: **1501001**  
 SHEET NO: **1501001-01**

PROJECT: **TRENT FREDERICKSON, R.A.**  
 PROJECT NO: **1501001**  
 SHEET NO: **1501001-01**

DATE: **CARDINAL, SDI**  
 PROJECT NO: **1501001**  
 SHEET NO: **1501001-01**

DATE: **PAUL CHASSAN, P.E.**  
 PROJECT NO: **1501001**  
 SHEET NO: **1501001-01**



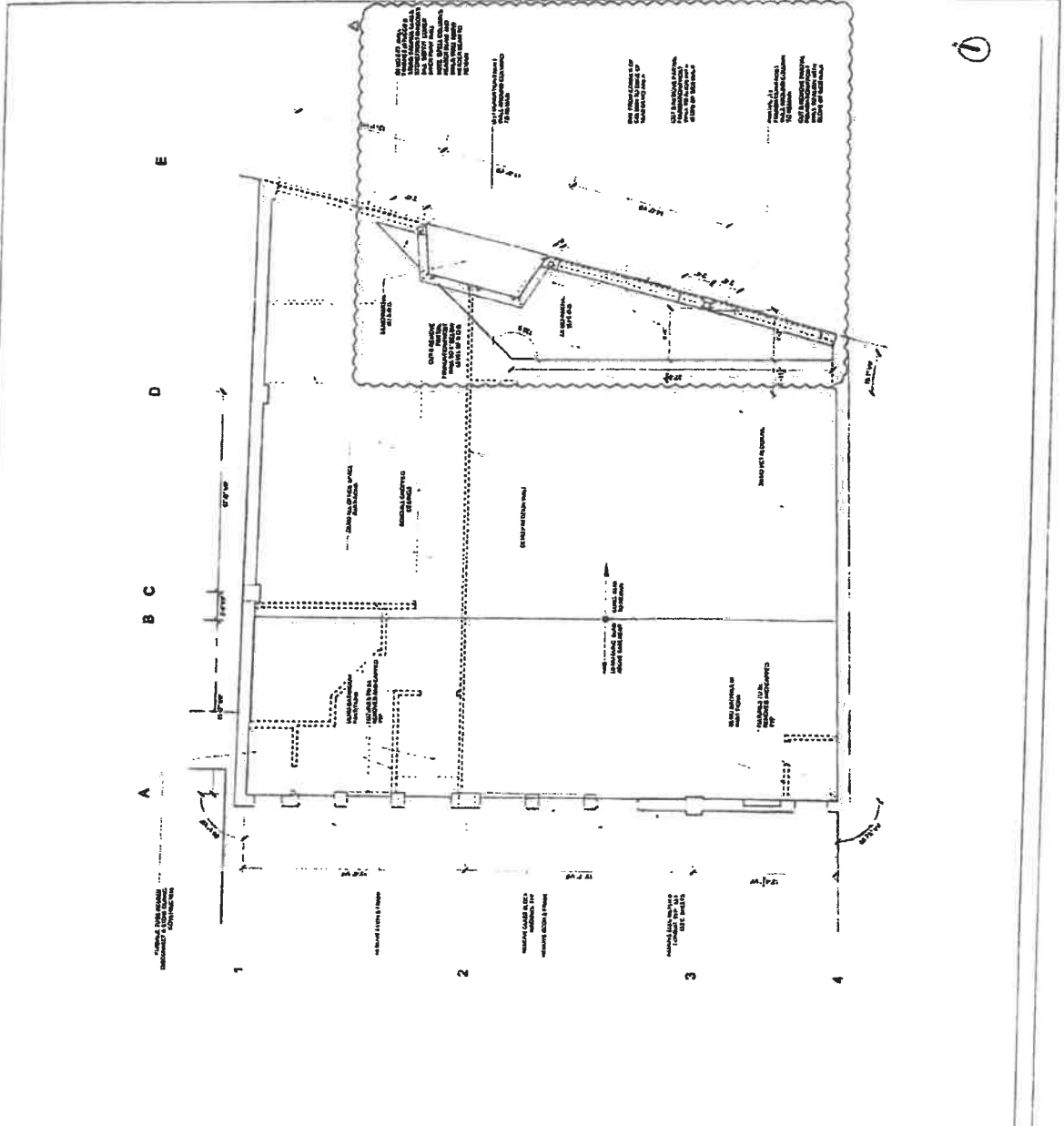
DATE: **REVISIONS**  
 PROJECT NO: **1501001**  
 SHEET NO: **1501001-01**

DATE: **FOR CONSTRUCTION SET**

SCALE: **1/8" = 1'-0"**  
 DATE: **JUN 18, 2023**

**DEMOLITION  
FLOOR PLAN**

**A1.01**



**DEMOLITION PLAN NOTES**

1. GENERAL CONTRACTOR SHALL VERIFY ALL DEMOLITION CONDITIONS FROM 10 DAYS PRIOR TO THE START OF DEMOLITION.
2. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEMOLITION ORDINANCE AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
3. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEMOLITION ORDINANCE AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
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**WALL / DEMO LEGEND**

- 1. EXISTING WALL
- 2. WALL TO BE DEMOLISHED
- 3. WALL TO BE DEMOLISHED WITH REINFORCING BARS
- 4. WALL TO BE DEMOLISHED WITH REINFORCING BARS AND CONCRETE
- 5. WALL TO BE DEMOLISHED WITH REINFORCING BARS AND CONCRETE AND MASONRY
- 6. WALL TO BE DEMOLISHED WITH REINFORCING BARS AND CONCRETE AND MASONRY AND GLASS
- 7. WALL TO BE DEMOLISHED WITH REINFORCING BARS AND CONCRETE AND MASONRY AND GLASS AND METAL
- 8. WALL TO BE DEMOLISHED WITH REINFORCING BARS AND CONCRETE AND MASONRY AND GLASS AND METAL AND CURTAIN WALL
- 9. WALL TO BE DEMOLISHED WITH REINFORCING BARS AND CONCRETE AND MASONRY AND GLASS AND METAL AND CURTAIN WALL AND GLAZING
- 10. WALL TO BE DEMOLISHED WITH REINFORCING BARS AND CONCRETE AND MASONRY AND GLASS AND METAL AND CURTAIN WALL AND GLAZING AND INSULATION



**BASE BUILDING  
UPGRADES**

**UNIK HOLDINGS LLC**  
10000 W. 10th Ave.  
Suite 1000  
Denver, CO 80202  
(303) 750-2000

**TRENT FREDRICKSON, R.A.**  
2000 W. 10th Ave., Suite 1000  
Denver, CO 80202  
(303) 750-2000

**CHARVAL SH**  
10000 W. 10th Ave., Suite 1000  
Denver, CO 80202  
(303) 750-2000

**PAUL GRASSMAN, P.E.**  
10000 W. 10th Ave., Suite 1000  
Denver, CO 80202  
(303) 750-2000



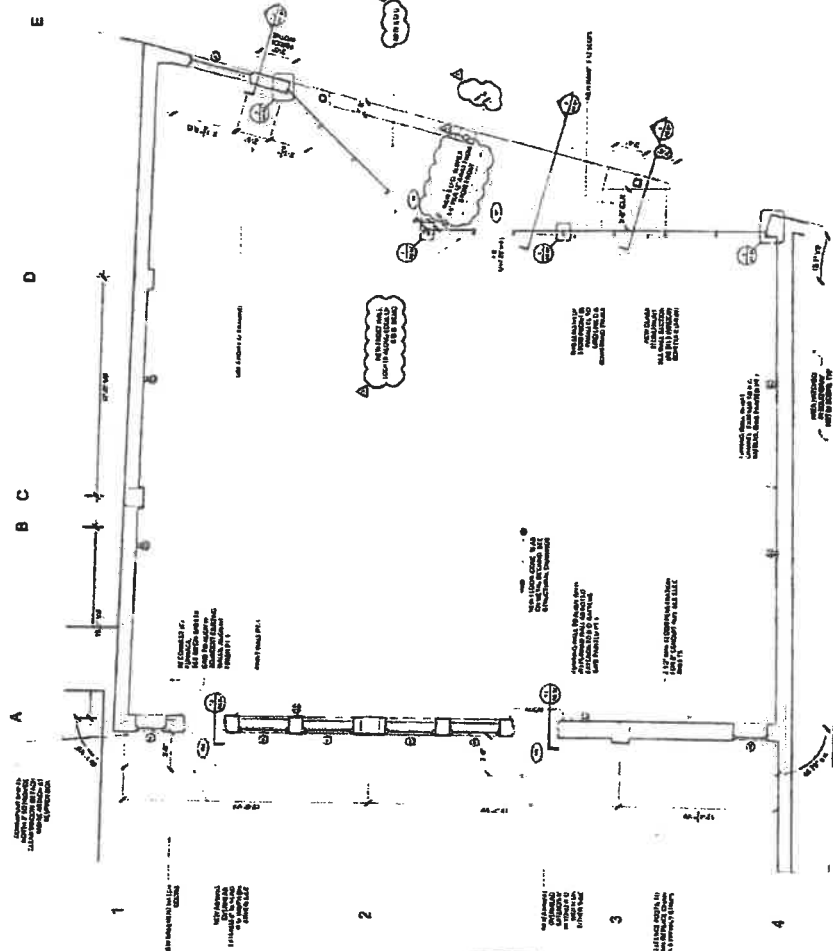
**REVISIONS**  
1. 01/15/2014  
2. 01/15/2014  
3. 01/15/2014

**FOR CONSTRUCTION  
SET**

**DATE: 01/15/2014**

**GROUND  
FLOOR PLAN**

**A2.01**



- GROUND FLOOR PLAN NOTES**
1. REFER TO GENERAL NOTES FOR ALL CONSTRUCTION DETAILS FROM 10000.
  2. SEE ARCHITECTURAL NOTES FOR ALL FINISHES AND MATERIALS.
  3. ALL FINISHES SHALL BE AS SHOWN ON THE FINISH SCHEDULE.
  4. ALL WALLS SHALL BE CONCRETE ON GRADE OR CMU ON GRADE.
  5. ALL INTERIORS SHALL BE FINISHED WITH GYP/DROPTOP.
  6. ALL FLOORS SHALL BE FINISHED WITH POLISHED CONCRETE.
  7. ALL CEILING SHALL BE FINISHED WITH GYP/DROPTOP.
  8. ALL DOORS SHALL BE FINISHED WITH GYP/DROPTOP.
  9. ALL WINDOWS SHALL BE FINISHED WITH GYP/DROPTOP.
  10. ALL STAIRS SHALL BE FINISHED WITH GYP/DROPTOP.
  11. ALL ELEVATOR SHALL BE FINISHED WITH GYP/DROPTOP.
  12. ALL MECHANICAL ROOM SHALL BE FINISHED WITH GYP/DROPTOP.
  13. ALL ELECTRICAL ROOM SHALL BE FINISHED WITH GYP/DROPTOP.
  14. ALL MECHANICAL ROOM SHALL BE FINISHED WITH GYP/DROPTOP.
  15. ALL ELECTRICAL ROOM SHALL BE FINISHED WITH GYP/DROPTOP.
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  18. ALL MECHANICAL ROOM SHALL BE FINISHED WITH GYP/DROPTOP.
  19. ALL ELECTRICAL ROOM SHALL BE FINISHED WITH GYP/DROPTOP.
  20. ALL MECHANICAL ROOM SHALL BE FINISHED WITH GYP/DROPTOP.

**INTERIOR FINISH SCHEDULE**

NO.	FINISH	LOCATION	REMARKS
1	WALL	ALL INTERIORS	GYP/DROPTOP
2	FLOOR	ALL FLOORS	POLISHED CONCRETE
3	CEILING	ALL CEILING	GYP/DROPTOP
4	DOOR	ALL DOORS	GYP/DROPTOP
5	WINDOW	ALL WINDOWS	GYP/DROPTOP
6	STAIR	ALL STAIRS	GYP/DROPTOP
7	ELEVATOR	ALL ELEVATOR	GYP/DROPTOP
8	MECHANICAL ROOM	ALL MECHANICAL ROOM	GYP/DROPTOP
9	ELECTRICAL ROOM	ALL ELECTRICAL ROOM	GYP/DROPTOP

**WALL LEGEND**

1. 01/15/2014

2. 01/15/2014

3. 01/15/2014



**BASE BUILDING UPGRADES**

UJIAN HOLDINGS LLC  
 10000 W. 11th Ave.  
 Suite 1000  
 Aurora, CO 80015

TRENT FREDRICKSON, R.A.  
 10000 W. 11th Ave.  
 Suite 1000  
 Aurora, CO 80015

CARDINAL SCI  
 10000 W. 11th Ave.  
 Suite 1000  
 Aurora, CO 80015

PAUL CHASSAN, P.E.  
 10000 W. 11th Ave.  
 Suite 1000  
 Aurora, CO 80015



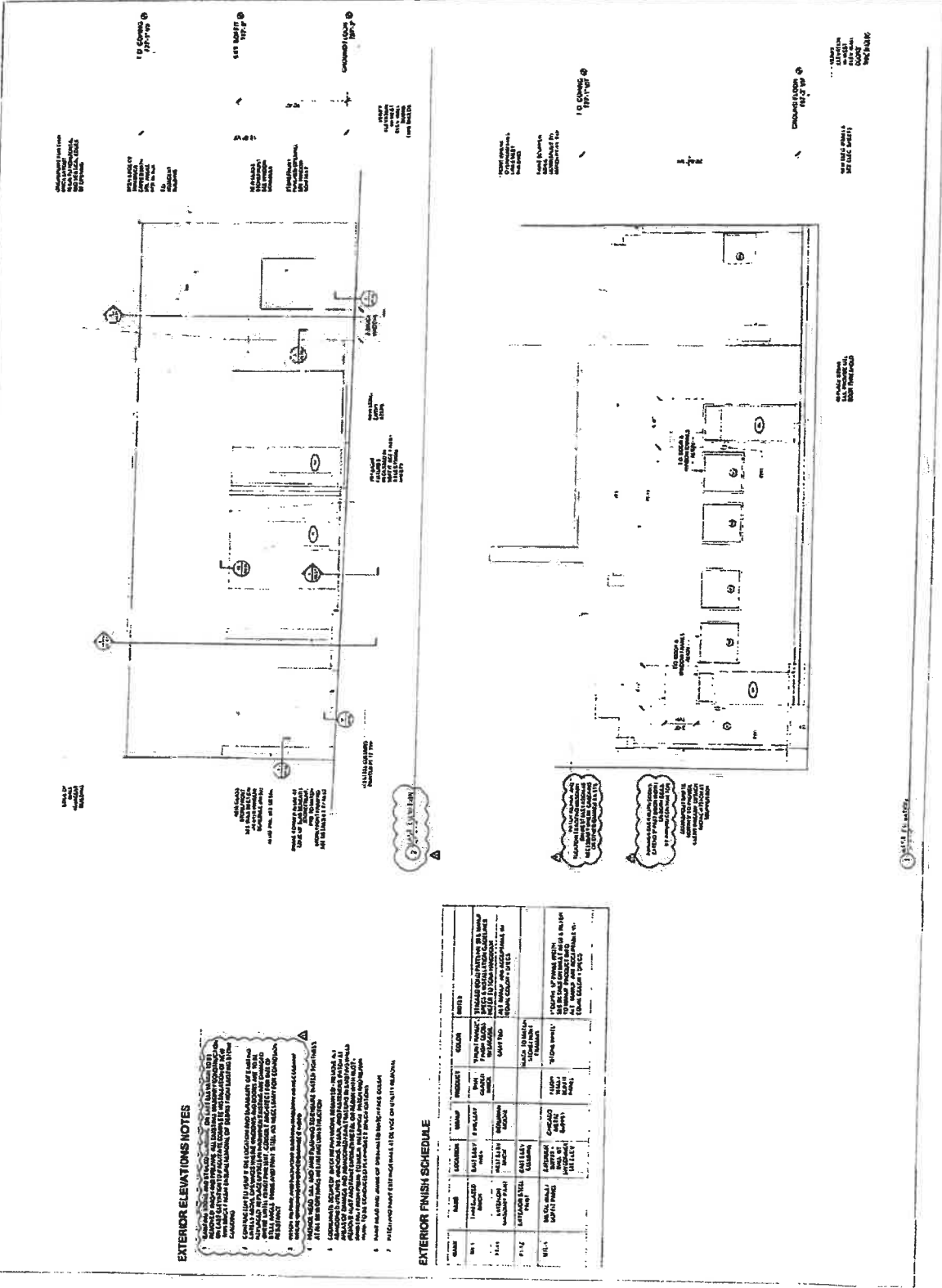
DATE: 01/20/2021  
 PROJECT: BASE BUILDING UPGRADES  
 SHEET: EXTERIOR ELEVATIONS

FOR CONSTRUCTION SET

DATE: JAN 19, 2021

**EXTERIOR ELEVATIONS**

**A4.01**



**EXTERIOR ELEVATIONS NOTES**

1. ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS AND FINISH SCHEDULE. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
2. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE ARCHITECT'S NOTES.
3. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE ARCHITECT'S NOTES.
4. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE ARCHITECT'S NOTES.
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7. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE ARCHITECT'S NOTES.

**EXTERIOR FINISH SCHEDULE**

ITEM	DESCRIPTION	FINISH	COLOR	NOTES
001	EXTERIOR WALLS	CONCRETE	GRAY	CONCRETE SHALL BE FINISHED WITH A BRUSHED FINISH. ALL EXPOSED CONCRETE SHALL BE PAINTED WITH A CONCRETE PAINT.
002	EXTERIOR WALLS	BRICK	REDFIELD	BRICK SHALL BE REDFIELD BRICK. BRICK SHALL BE LAYED IN A COMMON BRICK PATTERN.
003	EXTERIOR WALLS	STONE	NATURAL	STONE SHALL BE NATURAL STONE. STONE SHALL BE LAYED IN A RANDOM PATTERN.
004	EXTERIOR WALLS	GLASS	REFLECTIVE	GLASS SHALL BE REFLECTIVE GLASS. GLASS SHALL BE LAYED IN A RANDOM PATTERN.
005	EXTERIOR WALLS	WOOD	STAINLESS	WOOD SHALL BE STAINLESS WOOD. WOOD SHALL BE LAYED IN A RANDOM PATTERN.
006	EXTERIOR WALLS	ROOFING	ASPHALT/FLY	ROOFING SHALL BE ASPHALT/FLY ROOFING. ROOFING SHALL BE LAYED IN A RANDOM PATTERN.
007	EXTERIOR WALLS	PAINT	WHITE	PAINT SHALL BE WHITE PAINT. PAINT SHALL BE LAYED IN A RANDOM PATTERN.
008	EXTERIOR WALLS	ROOFING	STEEL	ROOFING SHALL BE STEEL ROOFING. ROOFING SHALL BE LAYED IN A RANDOM PATTERN.
009	EXTERIOR WALLS	PAINT	BLACK	PAINT SHALL BE BLACK PAINT. PAINT SHALL BE LAYED IN A RANDOM PATTERN.
010	EXTERIOR WALLS	ROOFING	STEEL	ROOFING SHALL BE STEEL ROOFING. ROOFING SHALL BE LAYED IN A RANDOM PATTERN.



**BASE BUILDING UPGRADES**

**UNIT HOLDINGS LLC**  
 10000 RIVERVIEW BLVD  
 SUITE 1000  
 HOUSTON, TX 77056

**THOMAS FREDRICKSON, R.A.**  
 ARCHITECT  
 10000 RIVERVIEW BLVD, SUITE 400  
 HOUSTON, TX 77056

**CARDINAL SOI**  
 10000 RIVERVIEW BLVD, SUITE 400  
 HOUSTON, TX 77056

**PAUL GIBSON, P.E.**  
 10000 RIVERVIEW BLVD, SUITE 400  
 HOUSTON, TX 77056



**ARCHITECT**  
 10000 RIVERVIEW BLVD, SUITE 400  
 HOUSTON, TX 77056

**FOR CONSTRUCTION SET**

Scale: 1/8" = 1'-0"

**DOOR & WINDOW SCHEDULE**

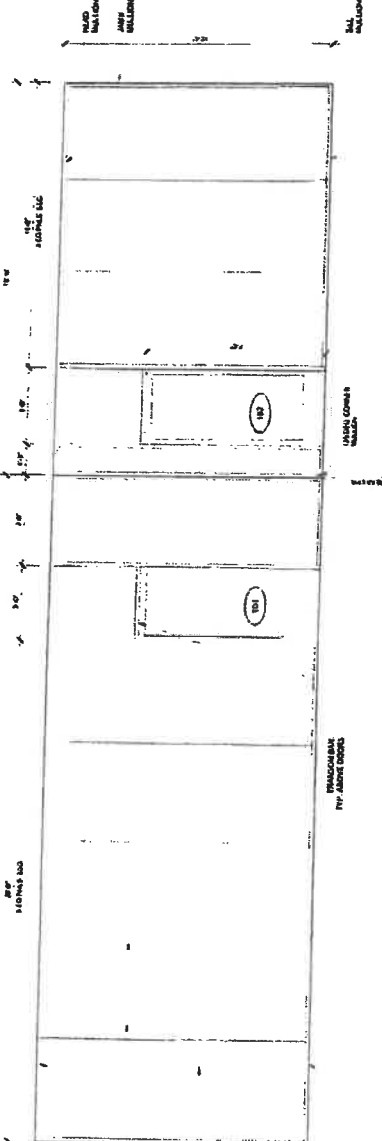
**A9.00**

**STOREFRONT DESIGN NOTES**

1. MATERIALS SHALL BE AS SPECIFIED OR APPROVED BY THE ARCHITECT. ALL MATERIALS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
2. ALL STOREFRONT GLAZING SHALL BE LOW-E, CLEAR, 1/2" THICK, UNHEATED GLASS.
3. ALL STOREFRONT GLAZING SHALL BE SUPPLIED BY THE ARCHITECT'S SELECTED SUPPLIER.
4. ALL STOREFRONT GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. ALL STOREFRONT GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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10. ALL STOREFRONT GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**GL-1 NOTES**

1. ALL STOREFRONT GLAZING SHALL BE LOW-E, CLEAR, 1/2" THICK, UNHEATED GLASS.
2. ALL STOREFRONT GLAZING SHALL BE SUPPLIED BY THE ARCHITECT'S SELECTED SUPPLIER.
3. ALL STOREFRONT GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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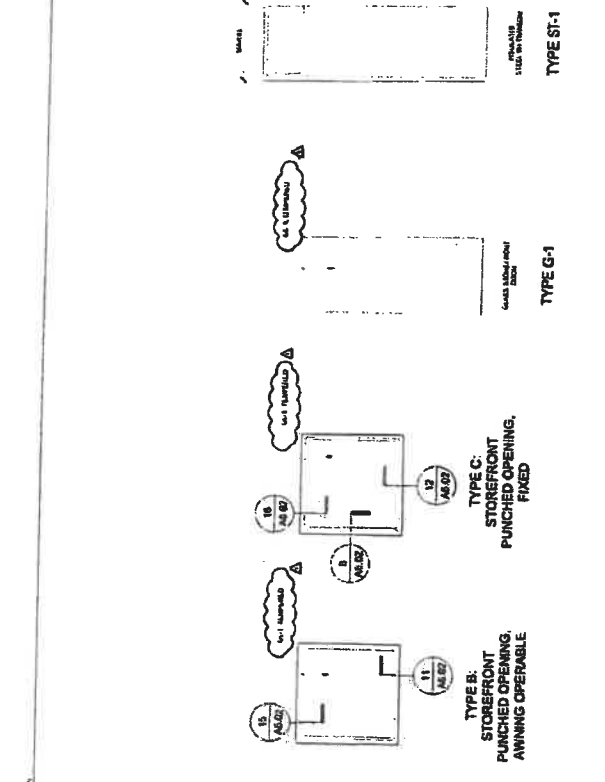


**DOOR SCHEDULE**

NO.	TYPE	FINISH	GLASS	OPERATION	REMARKS
01	1	1	1/2"	SWING	STANDARD DOOR WITH 1/2" GLASS
02	2	2	1/2"	SLIDING	STANDARD SLIDING DOOR WITH 1/2" GLASS
03	3	3	1/2"	SWING	STANDARD DOOR WITH 1/2" GLASS
04	4	4	1/2"	SWING	STANDARD DOOR WITH 1/2" GLASS
05	5	5	1/2"	SWING	STANDARD DOOR WITH 1/2" GLASS
06	6	6	1/2"	SWING	STANDARD DOOR WITH 1/2" GLASS
07	7	7	1/2"	SWING	STANDARD DOOR WITH 1/2" GLASS
08	8	8	1/2"	SWING	STANDARD DOOR WITH 1/2" GLASS
09	9	9	1/2"	SWING	STANDARD DOOR WITH 1/2" GLASS
10	10	10	1/2"	SWING	STANDARD DOOR WITH 1/2" GLASS

**WINDOW SCHEDULE**

NO.	TYPE	FINISH	GLASS	OPERATION	REMARKS
11	1	1	1/2"	AWNING	AWNING OPERABLE WINDOW WITH 1/2" GLASS
12	2	2	1/2"	PUNCHED	PUNCHED OPERABLE WINDOW WITH 1/2" GLASS
13	3	3	1/2"	FIXED	FIXED WINDOW WITH 1/2" GLASS
14	4	4	1/2"	FIXED	FIXED WINDOW WITH 1/2" GLASS
15	5	5	1/2"	FIXED	FIXED WINDOW WITH 1/2" GLASS
16	6	6	1/2"	FIXED	FIXED WINDOW WITH 1/2" GLASS
17	7	7	1/2"	FIXED	FIXED WINDOW WITH 1/2" GLASS
18	8	8	1/2"	FIXED	FIXED WINDOW WITH 1/2" GLASS
19	9	9	1/2"	FIXED	FIXED WINDOW WITH 1/2" GLASS
20	10	10	1/2"	FIXED	FIXED WINDOW WITH 1/2" GLASS



SCALE: 1/8" = 1'-0"

DATE: 10/15/2024



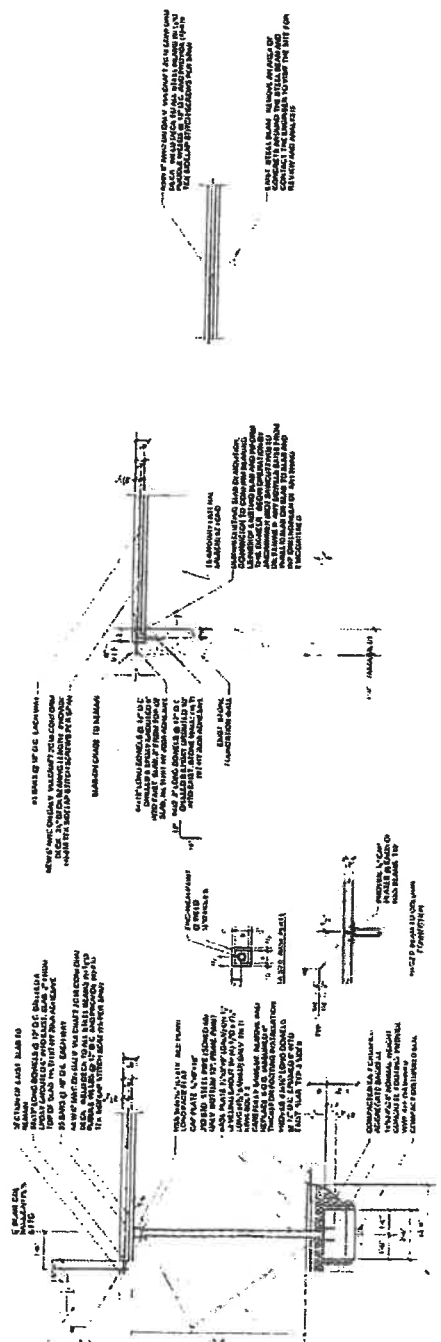
CONTRACT NO. 15-0000000000  
PROJECT NO. 15-0000000000  
DATE: 01/15/2015

1. THE DESIGN OF THIS PROJECT IS BASED ON THE ASSUMPTIONS AND CONDITIONS SET FORTH IN THE CONTRACT DOCUMENTS AND THE SPECIFICATIONS. THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOT CONDUCTED A DETAILED SURVEY OF THE PROJECT SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
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NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.



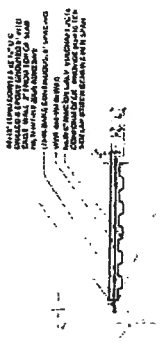
DATE: 01/15/2015	PROJECT NO. 15-0000000000
CONTRACT NO. 15-0000000000	CLIENT NO. 150000
DESIGNER: CARDINAL DESIGN, INC.	PROJECT NAME: ELEVATED SLAB REPLACEMENT DETAILS
CLIENT: UAW HOLDINGS LLC	PROJECT ADDRESS: 1000 W. 10th Street, St. Louis, MO 63102
PROJECT: 1000 W. 10th Street, St. Louis, MO 63102	PROJECT TYPE: ELEVATED SLAB REPLACEMENT
DESIGNER: UAW HOLDINGS LLC	PROJECT NO. 15-0000000000
PROJECT: 1000 W. 10th Street, St. Louis, MO 63102	PROJECT NAME: ELEVATED SLAB REPLACEMENT DETAILS
DESIGNER: UAW HOLDINGS LLC	PROJECT NO. 15-0000000000
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PROJECT: 1000 W. 10th Street, St. Louis, MO 63102	PROJECT NAME: ELEVATED SLAB REPLACEMENT DETAILS



SECTION 10-10 NEW DECK @ EXISTING WALL

SECTION 11-11 NEW DECK @ EXISTING WALL

SECTION 12-12 NEW DECK SUPPORT (TYPE OF FOUNDATION)



SECTION 13-13 NEW DECK @ EXISTING WALL

SECTION 10-10  
SECTION 11-11  
SECTION 12-12  
SECTION 13-13  
SECTION 14-14  
SECTION 15-15  
SECTION 16-16  
SECTION 17-17  
SECTION 18-18  
SECTION 19-19  
SECTION 20-20

SECTION 13-13  
SECTION 14-14  
SECTION 15-15  
SECTION 16-16  
SECTION 17-17  
SECTION 18-18  
SECTION 19-19  
SECTION 20-20