

**VILLAGE OF LOMBARD**  
**REQUEST FOR BOARD OF TRUSTEES ACTION**  
**For Inclusion on Board Agenda**

Resolution or Ordinance (Blue)      Waiver of First Requested  
 Recommendations of Boards, Commissions & Committees (Green)  
 Other Business (Pink)

**TO :**            PRESIDENT AND BOARD OF TRUSTEES

**FROM:**        Scott R. Niehaus, Village Manager

**DATE :**        May 11, 2021                            **(BOT) Date:** May 20, 2021

**SUBJECT: Downtown Improvement & Renovation Grant; 135 S. Main Street  
(Brust Funeral Home)**

**SUBMITTED BY:** William J. Heniff, AICP, Director of Community Development

**BACKGROUND/POLICY IMPLICATIONS:**

The Community Development Department received an application for the Downtown Improvement and Renovation Grant Program (also known as the Facade Grant Program) for 135 S. Main Street, Brust Funeral Home. The Applicant is seeking to install parking lot improvements and storm sewer improvements. The property is located in the Downtown TIF. The total cost of project is \$109,972 and is grant eligible up to **\$50,000** (up to 50% of the eligible project costs; not to exceed \$50,000, unless specifically approved by the Village Board).

The ECDC recommended approval of this grant request by a unanimous vote. Please place the attached Resolution on the May 20, 2021 Board of Trustees agenda for approval.

**Fiscal Impact/Funding Source:**

Review (as necessary):  
Finance Director \_\_\_\_\_ Date \_\_\_\_\_  
Village Manager \_\_\_\_\_ Date \_\_\_\_\_

**NOTE:**        **All materials must be submitted to and approved by the Village  
Manager's Office by 12:00 noon, Wednesday, prior to the  
agenda distribution.**



## MEMORANDUM

**TO:** Scott R. Niehaus, Village Manager

**FROM:** William J. Heniff, AICP, Director of Community Development 

**MEETING DATE:** May 20, 2021

**SUBJECT:** **Downtown Improvement & Renovation Grant; 135 S. Main Street Road (Brust Funeral Home)**

Please find the following items for Village Board consideration as part of the May 20, 2021 Board meeting:

1. Economic and Community Development Committee (ECDC) memo; and
2. A Resolution Approving a Downtown Improvement and Renovation Grant for the Property Commonly Known As 135 S. Main Street.

The Community Development Department received an application for the Downtown Improvement and Renovation Grant Program (also known as the Facade Grant Program) for 135 S. Main Street, Brust Funeral Home. The Applicant is seeking to install parking lot improvements and storm sewer improvements. The property is located in the Downtown TIF. The total cost of project is \$109,972 and is grant eligible up to **\$50,000** (up to 50% of the eligible project costs; not to exceed \$50,000, unless specifically approved by the Village Board).

The ECDC recommended approval of this grant request by a unanimous vote. Please place the attached Resolution on the May 20, 2021 Board of Trustees agenda for approval.





## MEMORANDUM

**TO:** **Trustee Puccio, Chairperson**  
Economic and Community Development Committee

**FROM:** Jennifer Ganser, AICP, Assistant Director of Community Development

**MEETING DATE:** May 10, 2021

**SUBJECT:** **Downtown Improvement & Renovation Grant; 135 S. Main Street  
(Brust Funeral Home)**

The Community Development Department received an application for the Downtown Improvement and Renovation Grant Program (also known as the Façade Grant Program) for Brust Funeral Home located at 135 S. Main Street. The property is located in the Downtown TIF. Brust Funeral Home owns the property.

The applicant is seeking to install exterior improvements. There are two components to the project: parking lot improvements and storm sewer improvements. As the ECDC may know, this property is adjacent to 101-109 S. Main Street. Brust is proposing to use the contractor for the Lilac Station project for this work. Due to the Lilac Station building, Brust will lose some parking on the north side on the 109 S. Main Street parcel. Therefore, Brust is hoping to add parking north of their building to make up for what will be lost. The storm sewer improvements will help with past flooding on the property and assist with overall stormwater management.

The total cost of project is \$61,225 for the parking lot improvements and \$48,747 for the storm sewer improvements, for a total of \$109,972. It is grant eligible up to **\$50,000** (up to 50% of the eligible project costs; not to exceed \$50,000, unless specifically approved by the Village Board).

CivWorks Consulting, LLC (parking) and Thomas Engineering Group, LLC (storm sewer) completed the engineering plans for the project. CivWorks Consulting, LLC is the engineer for the Lilac Station project. Thomas Engineering Group, LLC provides consulting services to the Village.

The ECDC will notice there is only one quote submitted for the project. This is due to the nature of the project, the Village's third-party consultant work, and that the Lilac Station contractor (Ground Crew Excavation and Demolition) is slated to do the work. Holladay Properties assisted Brust in asking CivWorks to draw the parking design and obtain a quote from Ground Crew Excavation and Demolition. There is an economy of scale to have Ground Crew Excavation and Demolition and Holladay Properties subcontractors complete the work for the Brust property. Therefore, staff is recommending the ECDC waive the grant requirement to obtain three (3) quotes.

May 10, 2021  
135 S. Main Road  
Page 2

Staff is supportive of the request for the following reasons:

1. Ties in with a neighboring project (Lilac Station)
2. Addresses stormwater management in the downtown

**COMMITTEE ACTION REQUESTED**

This item is being placed on the May 10, 2021 ECDC agenda for consideration. Staff recommends that the ECDC recommend approval to the Village Board of the requested Downtown Renovation and Improvement Grant for the property at 135 S. Main Street up to \$50,000 and waive the requirement of providing three (3) quotes. Said recommendation is subject to the following conditions:

1. Permits shall be applied for and received. Any required inspections shall pass.
2. Work shall be complete one year from the date of approval by the Village Board.
3. Before the grant can be paid out, Brust Funeral Home shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and an IRS W-9 form.

**DOWNTOWN IMPROVEMENT AND RENOVATION GRANT  
PROGRAM PRE-APPLICATION**

1. A. Building Address and Description: 135 S. Main Street, Lombard, IL  
Brust Funeral Home  
B. Property Identification Number: 06-08-111-034  
C. Legal Description of Property: Lot 1 in Brust's Plat of Consolidation, of part of the west 1/2 of the northwest 1/4 of Section 8, Township 39 North, Range 11, east of the third principal meridian, according to the plat thereof recorded April 26, 1999 as document R99-093886, in DuPage County, Illinois
  
2. A. Owners Name: Brust Family Lombard  
  
B. Owners Address: 135 S. Main Street, Lombard, IL 60148  
  
C. Phone (day time): ( 630 ) 629 - 0094
  
3. Current Tenant, Building Address, Lease Terms, and Description of Business: (use additional paper if necessary)  
A. N/A  
  
B.   
  
C.
  
4. Proposed Improvements and Renovations:   
Proposed Parking Lot Improvements as shown on the plans by CivWorks Consulting, LLC  
Proposed Storm Sewer Improvements as shown on the plans by Thomas Engineering Group, LLC



5. Plans/Drawings prepared by:

A. Name: CivWorks Consulting, LLC Thomas Engineering Group, LLC

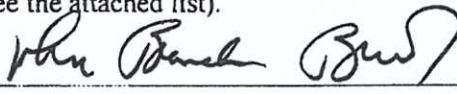
B. Address: 3343 N. Neva Ave. 55 W. 22nd Street, Suite 300  
Chicago, IL 60634 Lombard, IL 60148

C. Phone (day time): (312) 637-9570 (855) 533-1700

D. Estimated Cost of the Improvement and Renovation: \$ Parking Lot : \$54,859.00  
Storm Sewer : \$57,832.50

6. Statement of Understanding.

- A. The applicant (undersigned) agrees to comply with the guidelines and procedures of the Downtown Improvement and Renovation Grant Program and the specific design recommendation of the Director of Community Development.
- B. The applicant must submit detailed cost documentation, copies of building permits, and all contractors waivers of lien upon completion of work.
- C. The applicant, owners, and all contractors must comply with all federal and local regulations (see the attached list).

Business Owner Signature  (Date) 4/27/21

Property Owner Signature  (Date) 4/27/21

Return application to:

Village of Lombard  
Community Development Department  
255 E. Wilson Ave., Lombard, IL 60148  
630-620-5746



PROJECT # 18014-1  
 DATE: 04/26/2021

**BRUST FUNERAL HOME PAVING IMPROVEMENTS  
 VILLAGE OF LOMBARD  
 SITE IMPROVEMENTS PER PLAN SET DATED 04/26/2021  
 ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COST**

ITEM	ITEM DESCRIPTION	UNITS	QUANTITY	UNIT COST	TOTAL COST
<b>SITE DEMOLITION</b>					
1	Pavement Removal	SY	717	\$12.00	\$8,604.00
2	Curb & Gutter Removal	LF	261	\$12.00	\$3,132.00
<b>SUBTOTAL SITE DEMOLITION</b>					<b>\$11,736.00</b>
<b>GRADING AND EROSION CONTROL IMPROVEMENTS</b>					
1	Excavation and Hauling	CY	132	\$20.00	\$2,640.00
2	Site Restoration and Landscaping Complete	LUMP SUM	1	\$2,500.00	\$2,500.00
<b>SUBTOTAL GRADING AND EROSION CONTROL IMPROVEMENTS</b>					<b>\$5,140.00</b>
<b>PAVING IMPROVEMENTS</b>					
1	Subgrade Preparation - Fine Grading	SY	655	\$2.20	\$1,441.00
2	Aggregate Base Course - 14"	SY	655	\$27.35	\$17,914.25
3	Bituminous Concrete Binder Course - 2.0"	SY	655	\$11.55	\$7,565.25
4	Bituminous Concrete Surface Course - 1.5"	SY	655	\$9.90	\$6,484.50
5	Concrete Curb and Gutter	LF	240	\$15.95	\$3,828.00
6	Pavement Markings	LUMP SUM	1	\$750.00	\$750.00
<b>SUBTOTAL PAVING IMPROVEMENTS</b>					<b>\$37,983.00</b>
<b>TOTAL SITE IMPROVEMENT COST</b>					<b>\$54,859.00</b>

COSTS ARE IN ANTICIPATED 2021 DOLLARS AND ARE LIMITED TO THOSE ITEMS STATED HEREIN AND DO NOT INCLUDE PERMIT FEES, RECAPTURE COSTS, CONSULTANT FEES, DEWATERING, MAINTENANCE, BONDS OR THE LIKE.

NOTE: THIS ENGINEER'S OPINION OF PROBABLE COST IS MADE ON THE BASIS OF THE ENGINEER'S EXPERIENCE AND QUALIFICATIONS USING PLAN QUANTITIES AND REPRESENTS THE ENGINEER'S BEST JUDGMENT AS AN EXPERIENCED AND QUALIFIED PROFESSIONAL ENGINEER GENERALLY FAMILIAR WITH THE CONSTRUCTION INDUSTRY. HOWEVER, SINCE THE ENGINEER HAS NO CONTROL OVER THE COST OF LABOR, MATERIALS, EQUIPMENT OR SERVICES FURNISHED BY OTHERS, OR OVER THE CONTRACTOR'S METHODS OF DETERMINING PRICES, OR OVER COMPETITIVE BIDDING OR MARKET CONDITIONS, OR OVER QUANTITIES OF WORK ACTUALLY PERFORMED, THE ENGINEER CANNOT AND DOES NOT GUARANTEE THAT PROPOSALS, BIDS OR ACTUAL CONSTRUCTION COST WILL NOT VARY FROM OPINIONS OF PROBABLE COST PREPARED BY THE ENGINEER.

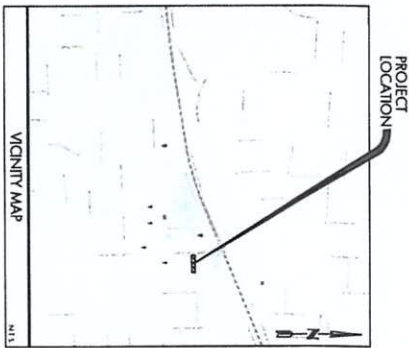
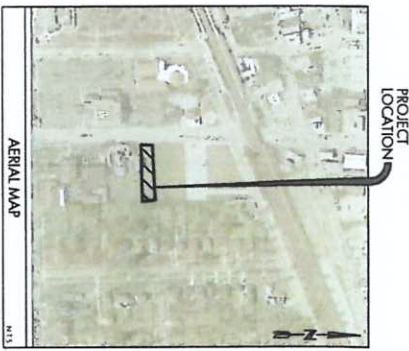


# BRUST FUNERAL HOME PAVING IMPROVEMENTS

135 S. MAIN STREET  
LOMBARD, IL 60148

## FINAL SITE DEVELOPMENT PLANS

EXISTING	PROPOSED	DESCRIPTION
1	1	EXISTING ASPHALT DRIVE
2	2	PROPOSED ASPHALT DRIVE
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INDEX OF DRAWINGS	
SHEET NO.	DRAWING TITLE
C1.0	CIVIL ENGINEERING COVER SHEET
C2.0	EXISTING CONDITIONS AND SITE DEMOLITION
C3.0	SITE DIMENSIONAL AND PAVING PLAN
C4.0	SITE GRADING PLAN
C5.0	GENERAL CONDITIONS, SPECIFICATIONS, AND SITE CONSTRUCTION DETAILS

### ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	EXISTING ASPHALT DRIVE	1	EXISTING ASPHALT DRIVE
2	PROPOSED ASPHALT DRIVE	2	PROPOSED ASPHALT DRIVE
3	PROPOSED ASPHALT DRIVE	3	PROPOSED ASPHALT DRIVE
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### BENCHMARKS

BENCHMARK 1  
 BRUST FUNERAL HOME  
 135 S. MAIN STREET, LOMBARD, IL 60148  
 BENCHMARK 2  
 BRUST FUNERAL HOME  
 135 S. MAIN STREET, LOMBARD, IL 60148  
 BENCHMARK 3  
 BRUST FUNERAL HOME  
 135 S. MAIN STREET, LOMBARD, IL 60148

**CONTACT: JEFF AT 811**  
 OR 800-892-0123  
 48 HOURS (2 working days) BEFORE YOU DIG

**CivWORKS Consulting, LLC**  
 ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-005714

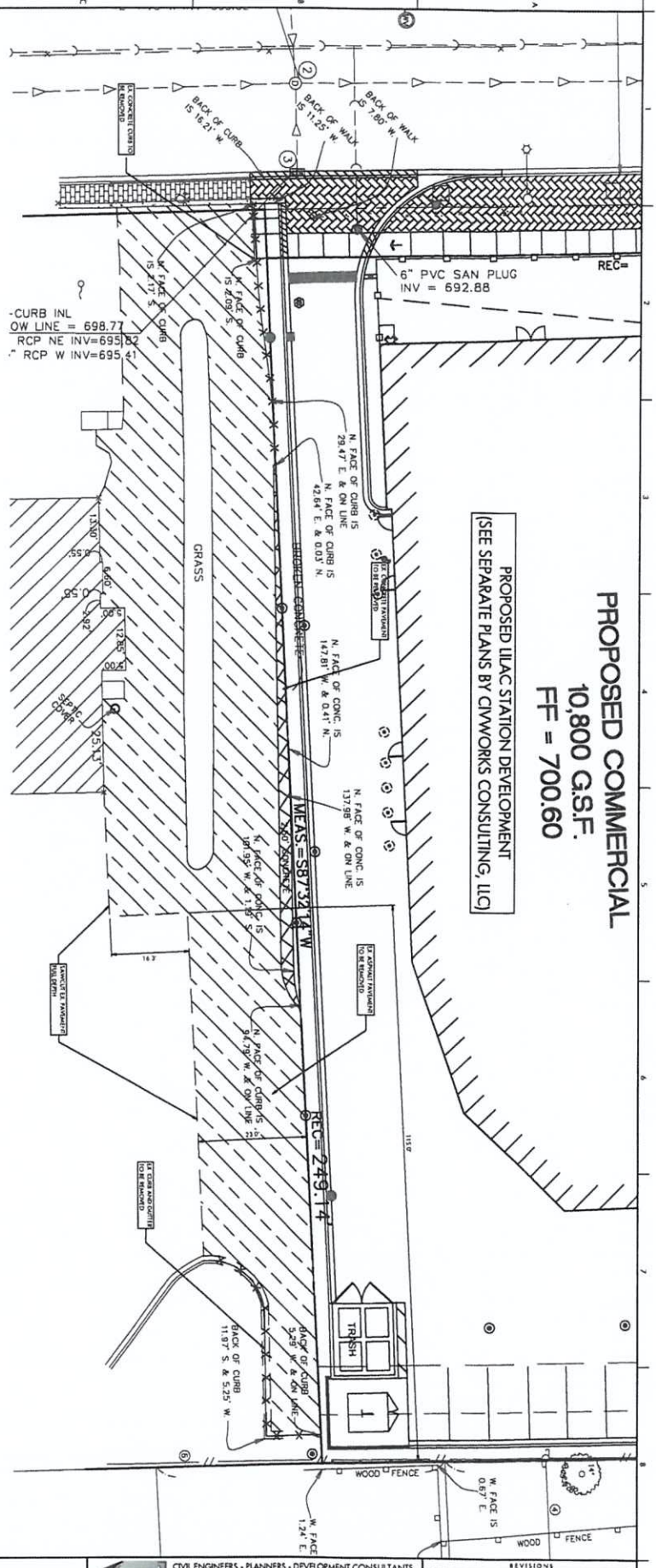
JEFF AT 811  
 CIVIL ENGINEER  
 STATE OF ILLINOIS  
 NO. 184-005714

<p><b>CIVIL ENGINEERING COVER SHEET</b>                  BRUST FUNERAL HOME PAVING IMPROVEMENTS                  135 S. MAIN STREET, LOMBARD, IL 60148</p>	<p><b>CIVIL ENGINEERS - PLANNERS - DEVELOPMENT CONSULTANTS</b>  <b>CivWORKS Consulting, LLC</b>                  334 N. MEVA AVENUE                  SUITE 200                  CHICAGO, IL 60610                  Tel: (312) 637-9426                  Email: jeff@cwworks.com                  Web: www.cwworks.com                  888-888-8888</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION						
NO.	DATE	DESCRIPTION									



**PROPOSED COMMERCIAL**  
**10,800 G.S.F.**  
**FF = 700.60**

PROPOSED ULAC STATION DEVELOPMENT  
 (SEE SEPARATE PLANS BY CIVWORKS CONSULTING, LLC)



**DEMOLITION LEGEND**

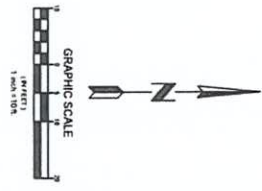
	EXISTING CONCRETE TO BE DEMOLISHED
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**DEMOLITION NOTES**

1. ALL EXISTING CONCRETE SHALL BE DEMOLISHED TO A MINIMUM OF 4\"/>

**DEMOLITION NOTES**

1. EXISTING CONCRETE SHALL BE DEMOLISHED TO A MINIMUM OF 4\"/>



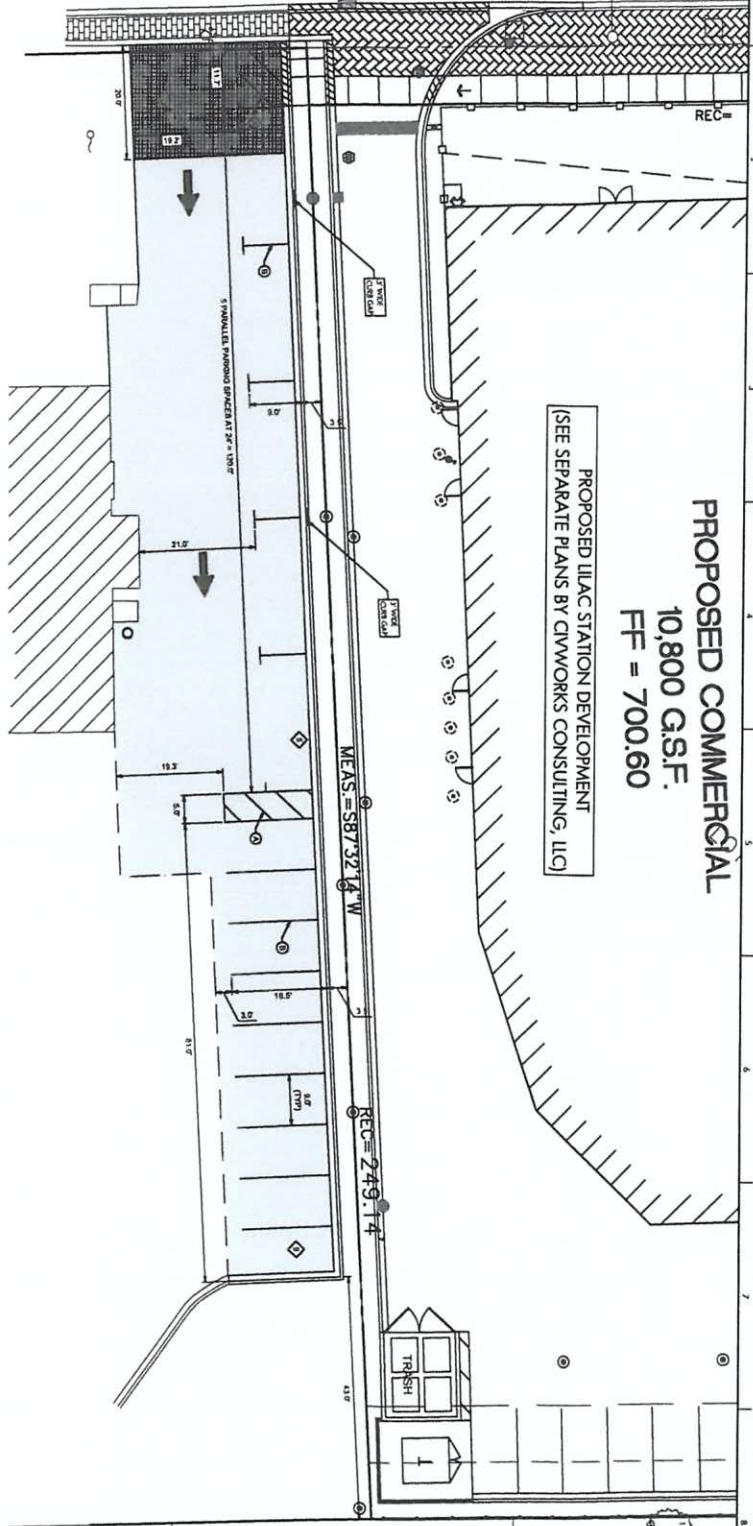
<p><b>EXISTING CONDITIONS AND SITE DEMOLITION</b></p> <p>BRUST FUNERAL HOME PAVING IMPROVEMENTS          135 S. MAIN STREET, LOMBARD, IL 60148</p>	<p><b>CIVIL ENGINEERS - PLANNERS - DEVELOPMENT CONSULTANTS</b></p> <p><b>CivWORKS Consulting, LLC</b></p> <p>3113 N. NEVA AVENUE          CHICAGO, IL 60634          TEL: (773) 637-9172          FAX: (773) 637-9434          EMAIL: info@civworks.com          WWW: www.civworks.com</p>
--	--

# PROPOSED COMMERCIAL

## 10,800 G.S.F.

### FF = 700.60

PROPOSED ILLAC STATION DEVELOPMENT  
 (SEE SEPARATE PLANS BY CIWORKS CONSULTING, LLC)

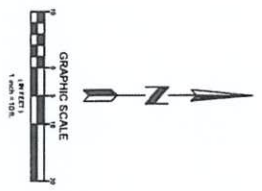


	CONCRETE PAVING 2.5" PORTLAND CEMENT CONCRETE, 1" MAX F.S. 1365 4" AGGREGATE BASE COURSE, TYPE B (BOTH GRANULAR)
	BRICK PAVING 1.5" PORTLAND CEMENT CONCRETE, 1" MAX F.S. 1365 4" AGGREGATE BASE COURSE, TYPE B (BOTH GRANULAR)
	AGGREGATE PAVING 1.5" PORTLAND CEMENT CONCRETE, 1" MAX F.S. 1365 4" AGGREGATE BASE COURSE, TYPE B (BOTH GRANULAR)

1.	All dimensions and data have been taken from the approved site plan.
2.	All other data shall be as shown and correct.
3.	Refer to the associated drawings for details.

	PAVED SURFACE MARKING (AS SHOWN)
	PAVED SURFACE MARKING (AS SHOWN)

TOTAL DEVELOPED AREA = 7,114 SF
BRICK PAVING = 1,114 SF
CONCRETE PAVING = 4,400 SF
AGGREGATE PAVING = 1,600 SF
TOTAL PAVING = 7,114 SF

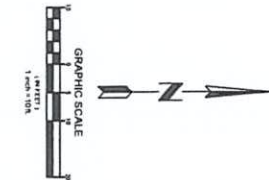
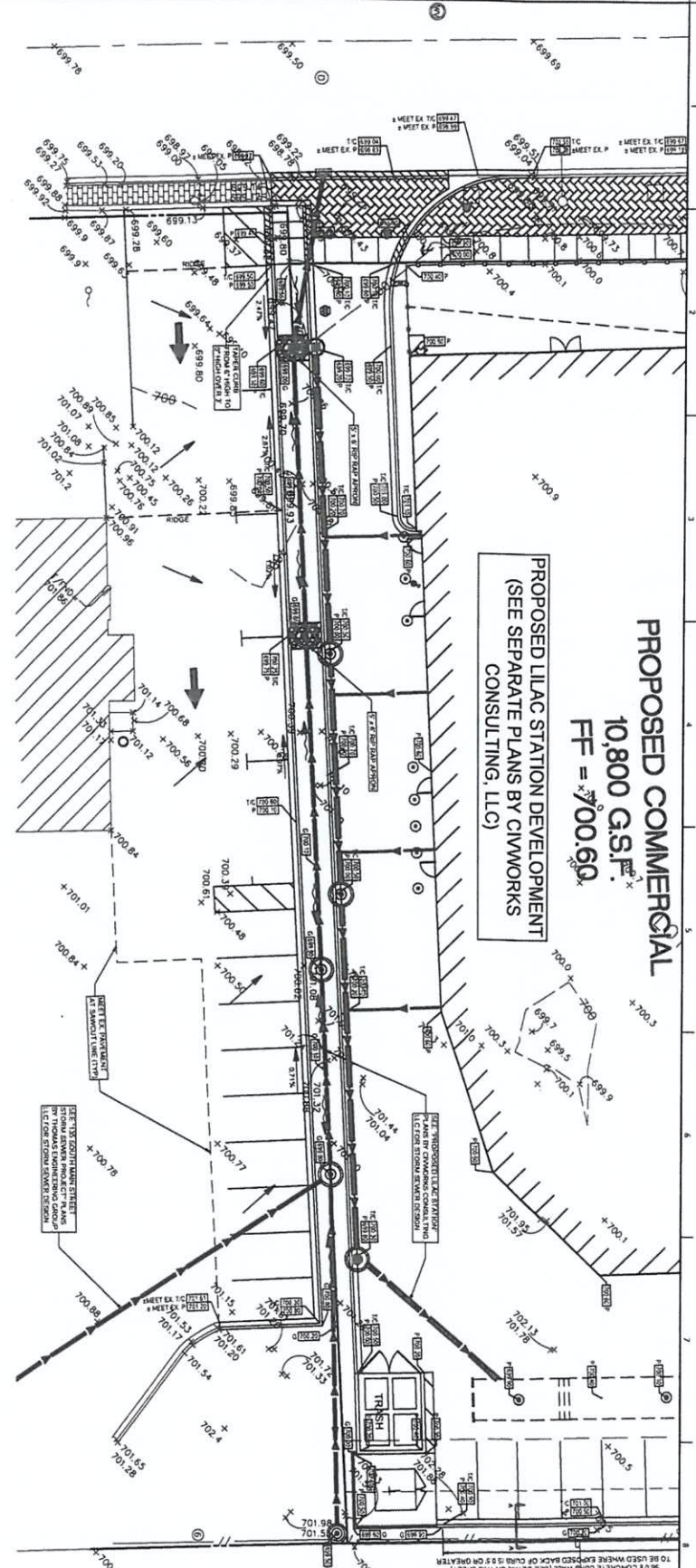


<b>C3.0</b> SHEET NO. 10/11/17	<b>SITE DIMENSIONAL AND PAVING PLAN</b> BRUST FUNERAL HOME PAVING IMPROVEMENTS 135 S. MAIN STREET, LOMBARD, IL 60148	CIVIL ENGINEERS - PLANNERS - DEVELOPMENT CONSULTANTS  <b>CivWorks Consulting, LLC</b> 3342 N. NEVA AVENUE CHICAGO, ILLINOIS 60644 P: (312) 637-9570 F: (312) 637-9574 E: info@civworks.com Web: www.civworks.com www.civworks.com	REVISIONS <table border="1"> <tr> <td>NO.</td> <td>DATE</td> <td>DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION			
	NO.	DATE	DESCRIPTION						
SHEET TITLE SHEET NO. SHEET NO.	PROJECT 135 S. MAIN STREET, LOMBARD, IL 60148	DATE 10/11/17	DRAWN BY CHECKED BY						

© CIWORKS CONSULTING, LLC. THIS PLAN IS THE PROPERTY OF CIWORKS CONSULTING, LLC. NO REPRODUCTION OR PART OF THIS PLAN IS PERMITTED WITHOUT THE WRITTEN CONSENT OF CIWORKS CONSULTING, LLC.



- GRADING NOTES**
1. ALL EXISTING SPOT GRADE ELEVATIONS AND FIN ELEVATIONS WITHIN OR ADJACENT TO THE PROJECT TO BE MAINTAINED UNLESS OTHERWISE NOTED.
  2. ALL EXISTING SPOT GRADE ELEVATIONS AND FIN ELEVATIONS WITHIN OR ADJACENT TO THE PROJECT TO BE MAINTAINED UNLESS OTHERWISE NOTED.
  3. PROPOSED 2" MIN. CONC. CURBS TO BE 1" ABOVE FIN GRADE.
  4. EXISTING TOPOGRAPHIC SURVEY WAS PREPARED BY GIFFELS, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTIFIED TO THE CIVIL ENGINEER OF ANY DISCREPANCIES.



SHEET NO. C4.0

**SITE GRADING PLAN**  
 BRUST FUNERAL HOME PAVING IMPROVEMENTS  
 135 S. MAIN STREET, LOMBARD, IL 60148

**CIVIL ENGINEERS - PLANNERS - DEVELOPMENT CONSULTANTS**

**CivWORKS Consulting, LLC**

3343 N. NEVA AVENUE  
 CHICAGO, ILLINOIS 60644  
 TEL: (312) 467-9470  
 FAX: (312) 437-9434  
 E-MAIL: info@civworks.com  
 WWW: www.civworks.com

NO.	DATE	REVISIONS

**GENERAL CONDITIONS**

**SECTION 01100 - GENERAL NOTES**

1. **CONTRACT DOCUMENTS**

- a. The Contract Documents shall include the following:
  - 1. CONTRACT AGREEMENT
  - 2. SPECIFICATIONS
  - 3. DRAWINGS
  - 4. GENERAL NOTES
- b. The CONTRACTOR shall be responsible for the procurement of all materials, labor, and equipment necessary for the completion of the work.
- c. The CONTRACTOR shall be responsible for obtaining all necessary permits and licenses for the work.
- d. The CONTRACTOR shall be responsible for maintaining the site and protecting the property of others during the construction.
- e. The CONTRACTOR shall be responsible for the safety of all workers and the public during the construction.
- f. The CONTRACTOR shall be responsible for the cleanup of the site at the end of the construction.
- g. The CONTRACTOR shall be responsible for the removal of all debris and materials from the site.
- h. The CONTRACTOR shall be responsible for the maintenance of the site during the construction.
- i. The CONTRACTOR shall be responsible for the coordination of the work with other contractors on the site.
- j. The CONTRACTOR shall be responsible for the communication of all changes to the owner.
- k. The CONTRACTOR shall be responsible for the completion of the work in accordance with the Contract Documents.

**SECTION 01200 - SITE PREPARATION**

1. **UTILITIES**

- a. The CONTRACTOR shall locate and mark all existing utilities on the site.
- b. The CONTRACTOR shall protect all existing utilities during the construction.
- c. The CONTRACTOR shall be responsible for the relocation of any utilities that are in the way of the work.
- d. The CONTRACTOR shall be responsible for the installation of any new utilities required for the work.
- e. The CONTRACTOR shall be responsible for the maintenance of all utilities during the construction.
- f. The CONTRACTOR shall be responsible for the removal of any damaged utilities at the end of the construction.

2. **GRADING**

- a. The CONTRACTOR shall establish the existing ground conditions on the site.
- b. The CONTRACTOR shall prepare a grading plan for the site.
- c. The CONTRACTOR shall be responsible for the execution of the grading work.
- d. The CONTRACTOR shall be responsible for the maintenance of the site during the grading work.
- e. The CONTRACTOR shall be responsible for the cleanup of the site at the end of the grading work.

**SECTION 02000 - CONCRETE**

1. **CONCRETE**

- a. The CONTRACTOR shall be responsible for the procurement and delivery of all concrete materials to the site.
- b. The CONTRACTOR shall be responsible for the placement and consolidation of all concrete.
- c. The CONTRACTOR shall be responsible for the curing of all concrete.
- d. The CONTRACTOR shall be responsible for the maintenance of the site during the concrete work.
- e. The CONTRACTOR shall be responsible for the cleanup of the site at the end of the concrete work.

2. **FORMS**

- a. The CONTRACTOR shall be responsible for the design and construction of all forms.
- b. The CONTRACTOR shall be responsible for the maintenance of all forms during the concrete work.
- c. The CONTRACTOR shall be responsible for the removal of all forms at the end of the concrete work.

**SECTION 03000 - METALS**

1. **STEEL**

- a. The CONTRACTOR shall be responsible for the procurement and delivery of all steel materials to the site.
- b. The CONTRACTOR shall be responsible for the fabrication and erection of all steel.
- c. The CONTRACTOR shall be responsible for the maintenance of all steel during the construction.
- d. The CONTRACTOR shall be responsible for the cleanup of the site at the end of the steel work.

2. **ALUMINUM**

- a. The CONTRACTOR shall be responsible for the procurement and delivery of all aluminum materials to the site.
- b. The CONTRACTOR shall be responsible for the fabrication and erection of all aluminum.
- c. The CONTRACTOR shall be responsible for the maintenance of all aluminum during the construction.
- d. The CONTRACTOR shall be responsible for the cleanup of the site at the end of the aluminum work.

**SECTION 03000 - METALS**

1. **STEEL**

Material	Quantity	Unit	Notes
Structural Steel	1000	sq ft	See drawings for details
Aluminum	500	sq ft	See drawings for details

**SECTION 04000 - FLOORING**

1. **CONCRETE FLOORING**

- a. The CONTRACTOR shall be responsible for the placement and finishing of all concrete flooring.
- b. The CONTRACTOR shall be responsible for the curing of all concrete flooring.
- c. The CONTRACTOR shall be responsible for the maintenance of all concrete flooring during the construction.
- d. The CONTRACTOR shall be responsible for the cleanup of the site at the end of the concrete flooring work.

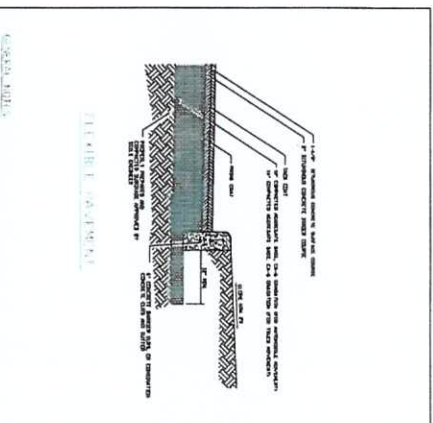
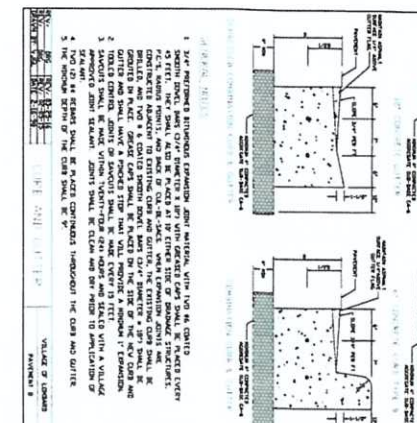
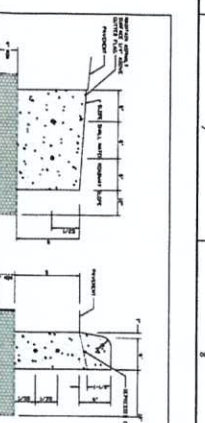
2. **PAVING**

- a. The CONTRACTOR shall be responsible for the procurement and delivery of all paving materials to the site.
- b. The CONTRACTOR shall be responsible for the placement and compaction of all paving.
- c. The CONTRACTOR shall be responsible for the maintenance of all paving during the construction.
- d. The CONTRACTOR shall be responsible for the cleanup of the site at the end of the paving work.

**SECTION 05000 - PAINTS AND COATINGS**

1. **PAINTS AND COATINGS**

- a. The CONTRACTOR shall be responsible for the procurement and delivery of all paint and coating materials to the site.
- b. The CONTRACTOR shall be responsible for the application and finishing of all paint and coatings.
- c. The CONTRACTOR shall be responsible for the maintenance of all paint and coatings during the construction.
- d. The CONTRACTOR shall be responsible for the cleanup of the site at the end of the paint and coating work.



NO.	DESCRIPTION	QUANTITY	UNIT	PRICE
1	CONCRETE SLAB	1000	sq ft	1.50
2	PAVING	500	sq ft	2.00
3	PAINT	100	sq ft	0.50



# CONSTRUCTION PLANS FOR 135 SOUTH MAIN STREET LOMBARD, ILLINOIS STORM SEWER PROJECT

IN THE  
VILLAGE OF LOMBARD  
DUPAGE COUNTY, ILLINOIS

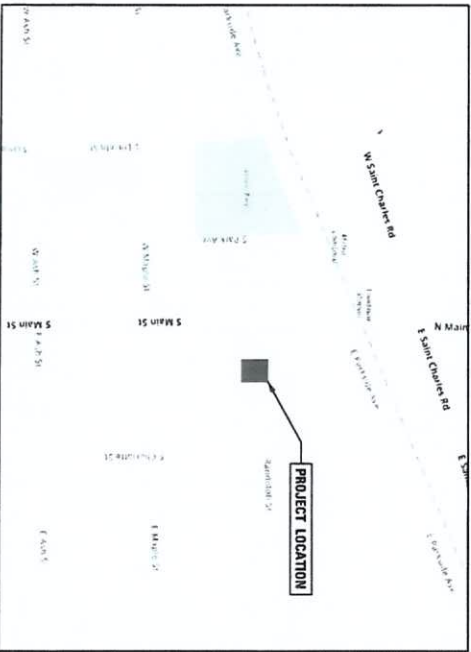


SIGNED: \_\_\_\_\_  
KEVIN VANDERVEESTYNE, P.E.

DATE: \_\_\_\_\_  
IL REGISTRATION NUMBER: 062-061311  
EXPIRES: 11/30/2021

VILLAGE OF LOMBARD  
DEPARTMENT OF PUBLIC WORKS

SUBMITTED: \_\_\_\_\_, 20\_\_\_\_  
DIRECTOR OF PUBLIC WORKS \_\_\_\_\_



**INDEX OF DRAWINGS**

- 1 TITLE SHEET
- 2 GENERAL NOTES AND SUMMARY OF QUANTITIES
- 3 ALIGNMENT AND TIES
- 4 REMOVAL PLAN
- 5 DRAINAGE PLAN
- 6 EROSION CONTROL PLAN
- 7 RESTORATION PLAN
- 8 CONSTRUCTION DETAILS

**LIST OF STANDARDS**

- 602001-02 CATCH BASIN TYPE A
- 602011-02 CATCH BASIN TYPE C
- 602306-03 INLET TYPE B

JULIE  
JOINT UTILITY LOCATION INFORMATION FOR EXCAVATION  
1-800-492-0123

DESIGNED BY	DUN	DATE	NO.	DATE	REVISION
CHECKED BY	KCV	01/12/21			
		N.T.S.			

VILLAGE OF LOMBARD  
255 EAST WALTON STREET  
LOMBARD, IL 60148  
PHONE: 630.930.9090



LOMBARD STORM  
SEWER DESIGN AT  
135 SOUTH MAIN STREET

TITLE SHEET

DRAWING NO. \_\_\_\_\_  
OF 8







DRAWN BY: DJN  
 CHECKED BY: KCV

DATE: 01/1/21  
 SCALE:

NO.	DATE	REVISIONS

VILLAGE OF LOMBARD  
 255 EAST WILSON STREET  
 PHOENIX, AZ 85004

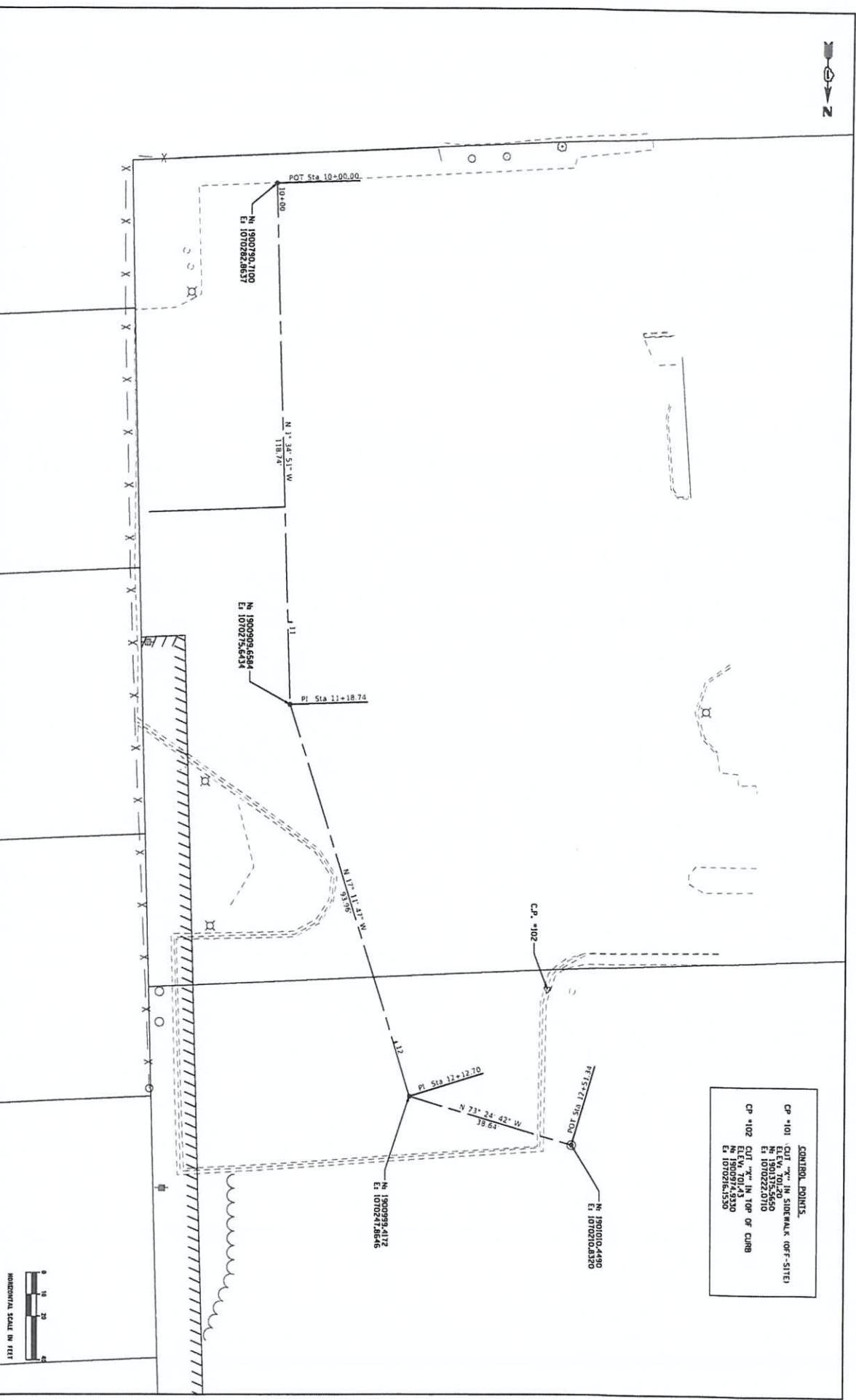


thomas engineering group, llc  
 933 INDEPENDENCE AVENUE  
 PHOENIX, AZ 85004  
 PHONE: 602.525.1100

LOMBARD STORM SEWER DESIGN AT 135 SOUTH MAIN STREET

ALIGNMENT AND CONTROL POINTS

DRAWING NO. 3 OF 8



CONTROL POINTS	
CP #101	CUT "X" IN SIDEWALK (OFF-SITE) ELEV. TOI, 2.0 N 1900974.650 E 1070222.070
CP #102	CUT "X" IN TOP OF CURB ELEV. TOI, 3 N 1900974.650 E 1070222.070

DRAWN BY DJM  
 CHECKED BY KCV

DATE 01/11/21  
 SCALE

NO.	DATE	DESCRIPTION

VILLAGE OF LOMBARD  
 255 EAST WILSON STREET  
 LOMBARD, IL 60148  
 PHONE: 630.950.5700

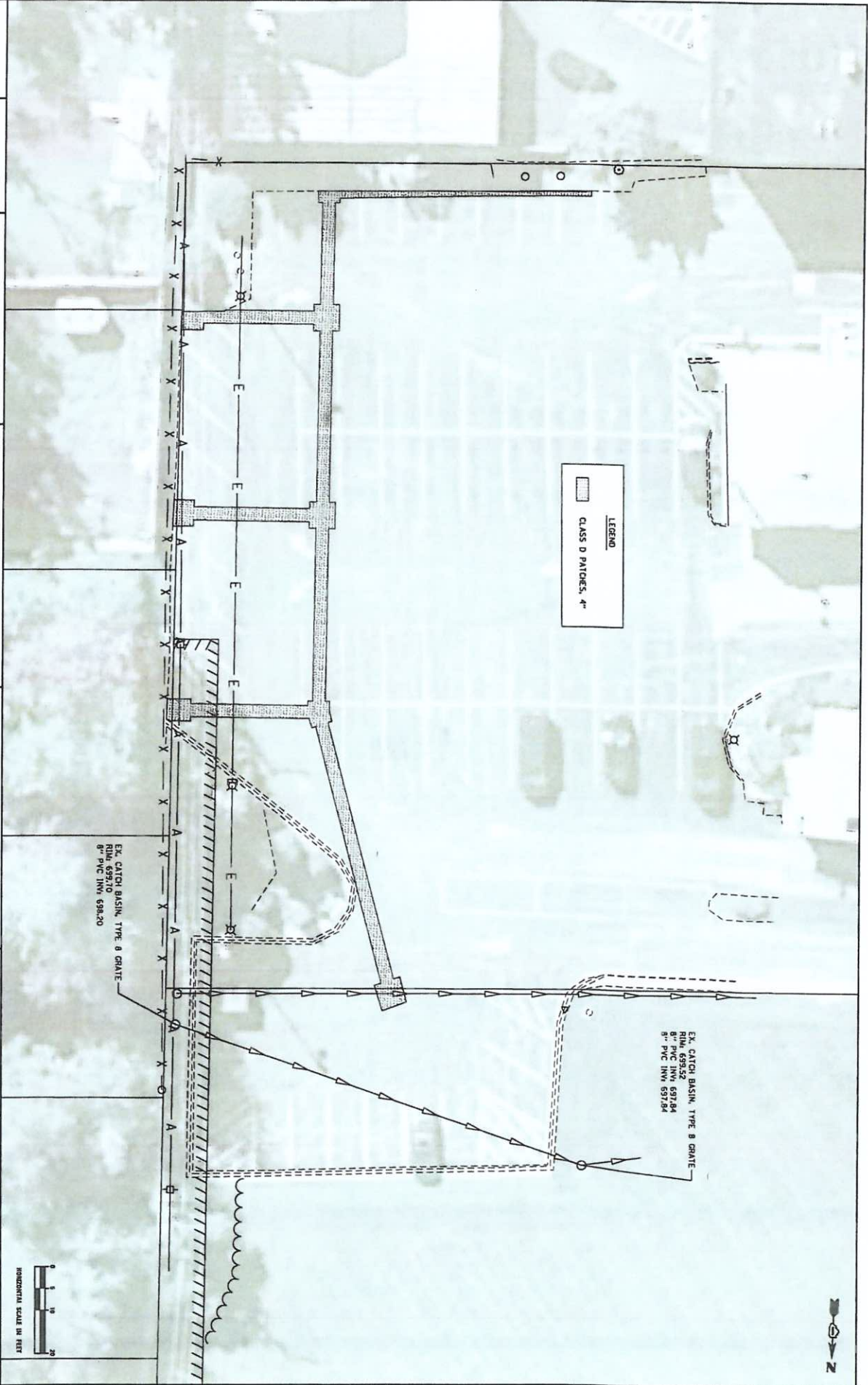
**thomas.**  
 ENGINEERING & ARCHITECTURE  
 1111 SOUTH STATE STREET

Thomas Engineering Group, Inc.  
 2700 South State Street  
 Lombard, IL 60148  
 Phone: 630.950.1190

LOMBARD STORM  
 SEWER DESIGN AT  
 135 SOUTH MAIN STREET

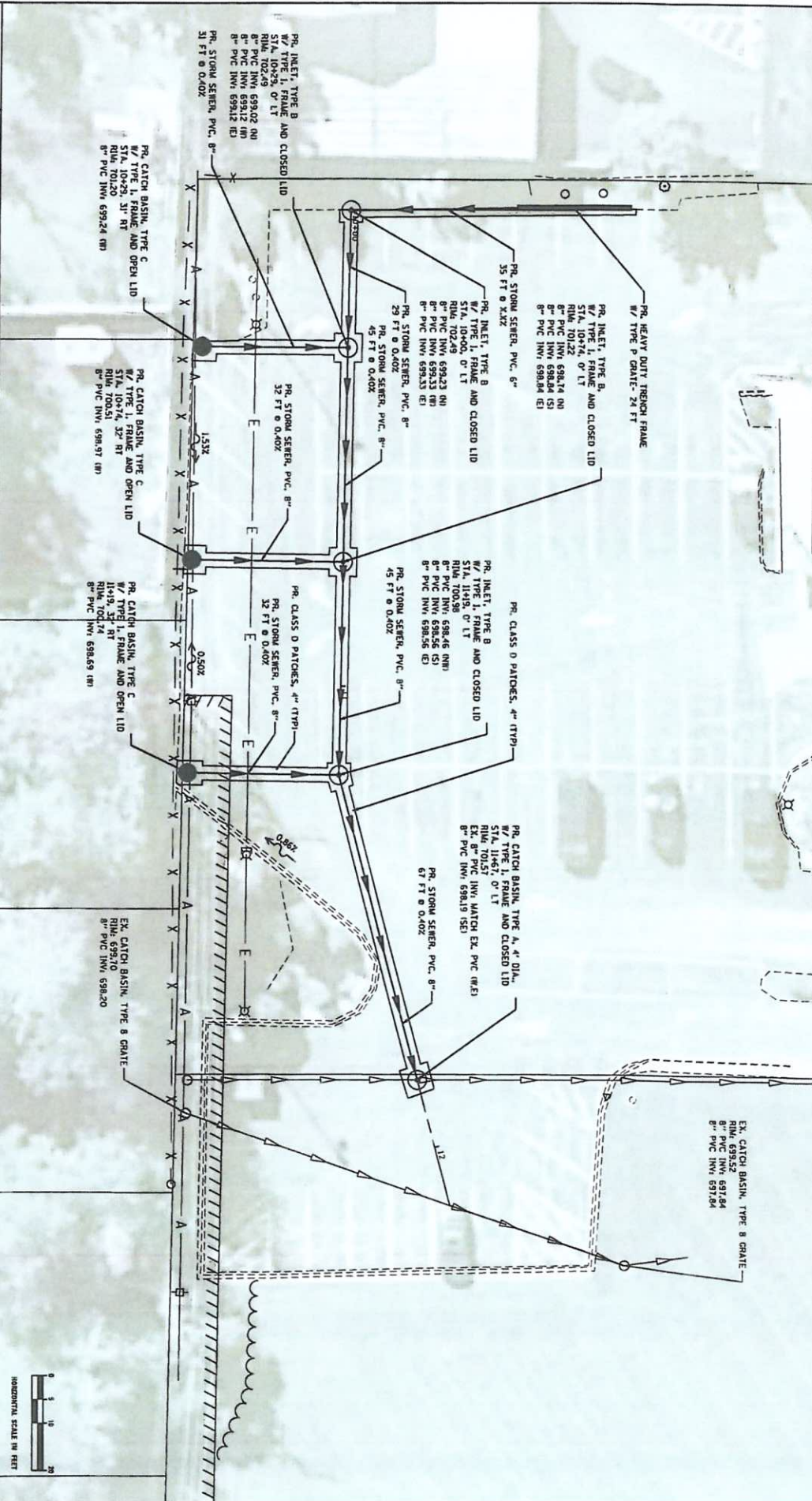
REMOVAL PLAN

DRAWING NO. 4 OF 8



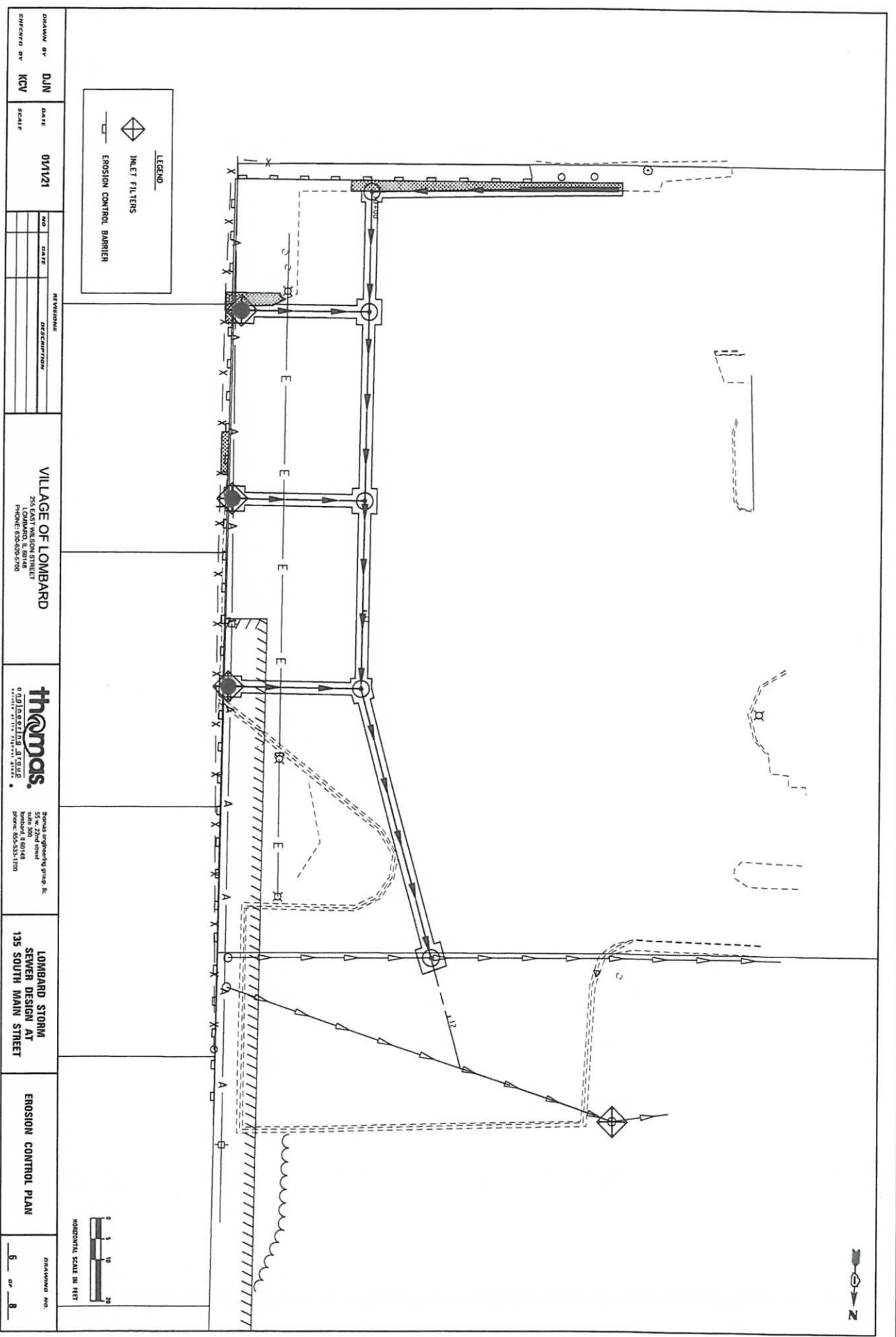


**NOTE:**  
 CONCRETE ADJUSTING RINGS SHALL NOT BE LESS THAN 4" IN HEIGHT TO ACCORD WITH THE STANDARD. CONCRETE ADJUSTING RINGS SHALL NOT EXCEED 12" IN HEIGHT OR 18" IN WIDTH. RUBBER MASTIC SHALL BE INSTALLED BETWEEN EACH RING.



DRAWN BY <b>DUN</b>	DATE <b>01/1/21</b>	REVISIONS	<b>VILLAGE OF LOMBARD</b> 255 EAST WILSON STREET LOMBARD, IL 60148 PHONE: 630-293-3700		LOMBARD STORM SEWER DESIGN AT 135 SOUTH MAIN STREET	<b>DRAINAGE PLAN</b>	DRAWING NO. <b>5-08</b>
CHECKED BY <b>KCV</b>	SCALE	NO.					





DRAWN BY  
CHECKED BY

DATE  
SCALE

NO.	DATE	DESCRIPTION

VILLAGE OF LOMBARD  
251 EAST WILSON STREET  
PHONES: 208-0301/0700

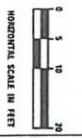
**thomas.**  
ENGINEERING & CONSULTING  
INCORPORATED

Professional engineering firm, Inc.  
1000 North 10th Street  
Lincoln, NE 68502  
Phone: (402) 441-1170

LOMBARD STORM  
SEWER DESIGN AT  
135 SOUTH MAIN STREET

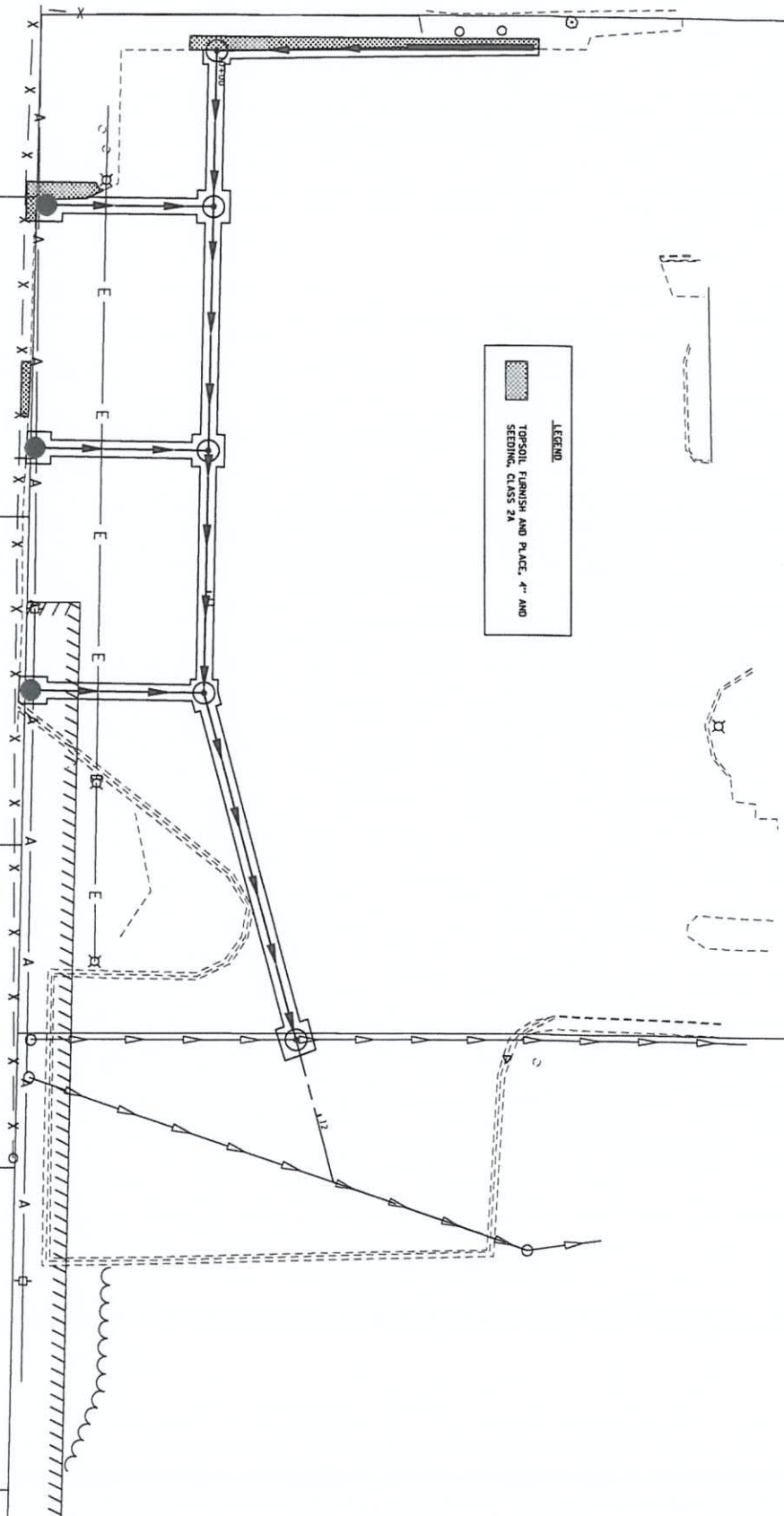
EROSION CONTROL PLAN

DRAWING NO.  
6 OF 8





LEGEND  
 TOPSOIL FURNISH AND PLACE, 4" AND SEEDING, CLASS 2A



DRAWN BY <b>DJM</b>	DATE <b>04/11/21</b>	NO.	DATE	DESCRIPTION
CHECKED BY <b>KCV</b>	SCALE			
<b>VILLAGE OF LOMBARD</b> 256 EAST WILSON STREET PHONE: 630.600.0700				
<b>thomas.</b> CONSULTING ENGINEERS 601 LINDBERGH BLVD SUITE 300 BOSTON, MA 02118 PHONE: 617.552.3100				
<b>LOMBARD STORM SEWER DESIGN AT 135 SOUTH MAIN STREET</b>				
<b>RESTORATION PLAN</b>				
DRAWING NO. <b>7-07-8</b>				



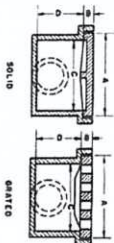
**R-4995 - R-4996  
TYPE M TRENCH FRAME WITH SOLID OR GRATED COVER**

Cast Iron Trench Assemblies—Light or Heavy Duty—For Use in Sidewalks, Driveways, Garages, Loading Docks, etc.

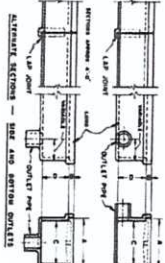
- Read Carefully Before Ordering**
- Specify:**
1. Complete casting number.
  2. Light or heavy duty.
  3. Overall length of cover required.
  4. Use solid, flat grates, or diagonally bent cover grates.
  5. Location of outlet, side, bottom or top of trench.
  6. Whether one end or both ends are to be open or closed.



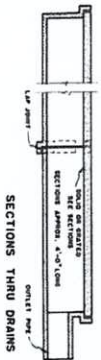
Illustrating Type M frames with grates cover. Standard with 4-inch outside curb outlet. Can be equipped for inside outlet, if specified.



Trench covers are used over areas requiring long drainage assemblies. Can be supplied in a variety of sizes and lengths to meet special needs. For trenches of irregular pattern, product engineering can provide layout drawings.



Sections: Trench Drains, Type M



Standard 4-inch outlet at end of drain. Special size outlets are available. Provided with side and bottom outlets optional and furnished only when specified.

Casting No.	Description	Dimensions in Inches				Length
		A	B	C	D	
R-4995-A1**	With grates cover	1 1/8	3/4	10	6 1/2	As ordered
R-4995-A2**	With grates cover	7	3/4	5	4 1/8	As ordered
R-4995-B1	With solid cover	1 1/8	3/4	10	6 1/8	As ordered
R-4995-B2	With solid cover	7	3/4	5	4 1/8	As ordered
R-4996-A1**	With grates cover	1 1/8	1 1/2	10	6	As ordered
R-4996-A2**	With grates cover	7	1 1/2	5	4 1/8	As ordered
R-4996-B1	With solid cover	1 1/8	1 1/2	10	6	As ordered
R-4996-B2	With solid cover	7	1 1/2	5	4 1/8	As ordered

Standard Size—Light Duty

Standard Size—Heavy Duty

\*\*Available with Type B grates only.

\*\*Also available with Type P grates.

**HEAVY DUTY TRENCH FRAME WITH TYPE P GRATE**

**Description.** This work shall consist of furnishing and installing trench drains in accordance with the details in the plans. Work shall be performed in accordance with the requirements of Section 602 of the Standard Specifications for Road and Bridge Construction with the additions:

**Materials.** Trench drain assembly shall consist of Neenah R-4996-A1 Type M Heavy Duty Trench Frame with Type P Grate and 6-inch Bottom Outlet, or approved equal, at the length specified in the contract plans. The material shall be gray iron castings conforming to ASTM A48 or A-48-75, Class 35 or 35B, and Article 1006.14 of the Standard Specifications.

**Coating.** Before installation, in an effort to reduce the appearance of oxidation, all surfaces (top, bottom, and edges) of the grates are to be coated and rubbed with two applications of a Type 1 Membrane Curing Compound meeting the requirements of IDOT Standard Specifications Article 1022.01, or alternative compound as approved by the Engineer.

**Installation.** The trench drain frame shall be installed in a trench bedded with 4 inches of CA-7 gradation stone, backfilled with CA-6 gradation trench backfill, and connected to the new pipe through a single factory-installed 6" bottom-end outlet. Bedding, backfill, and making the connection to the proposed outlet underdrain pipe shall be considered included in the cost of TRENCH DRAIN, SPECIAL. The trench drain casting shall be encompassed in concrete pavement.

**Shop Drawings.** Shop drawings of all items related to the manufacturer and installation of the trench drain frames and grates shall be submitted and approved by the Engineer. **Warranty.** Manufacturer's written warranty shall be submitted to the Owner's Representative prior to installation of the frames and grates.

DRAWN BY <b>DJM</b>	DATE <b>01/1/21</b>	NO.	DATE	REVISIONS	<b>VILLAGE OF LOMBARD</b> 255 EAST WILSON STREET PHOENIX, IL 60150 PHONE: 535-9375/50	<b>thomas.</b> CONSULTING GROUP 600 N. WILSON STREET PHOENIX, IL 60150	DESIGN ENGINEERING GROUP, INC. 1500 N. WILSON STREET PHOENIX, IL 60150 PHONE: 535-2531/1700	<b>LOMBARD STORM SEWER DESIGN AT 135 SOUTH MAIN STREET</b>	<b>CONSTRUCTION DETAILS</b>	DRAWING NO. 8 of 8
CHECKED BY <b>KCV</b>	SCALE									

## Ganser, Jennifer

---

**From:** O'Connor, Mike <MOConnor@holladayproperties.com>  
**Sent:** Friday, April 30, 2021 3:54 PM  
**To:** Ganser, Jennifer  
**Cc:** Mitchell, Drew  
**Subject:** FW: Sewer and Brust Side Projects  
**Attachments:** PROP\_E-20083\_LilacStation\_Holladay\_135MAINSiteWork\_0428021.pdf; RE: Please resend storm sewer plans for Brust property

### Please be cautious

This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Jennifer. See attached and below. Will you share with Mr. Brust? Thanks Mike O'Connor

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Stimac, Michael" <MStimac@hcgllc.net>  
Date: 4/30/21 2:22 PM (GMT-06:00)  
To: "Mitchell, Drew" <DMitchell@holladayproperties.com>, "O'Connor, Mike" <MOConnor@holladayproperties.com>  
Cc: "Brown, Scott" <SBrown@hcgllc.net>  
Subject: Sewer and Brust Side Projects

HPG,

The cost for the Brust project is as follows:

Site work per attached Quote = \$34,576  
Paving & Striping = \$19,425  
General Conditions (Traffic Control, Street Sweeping, Etc) = \$3,800  
OH & P @ 5% = \$2,890  
Insurance = \$267

TOTAL = \$61,225

The total previously presented cost for the sewer work is attached as well.

Let me know if you need anything else, thanks

Michael Stimac – Project Manager  
C. 630-589-7795 | E. mstimac@hcgllc.net  
324 W. Burlington Ave., LaGrange, IL 60525



**Ground Crew Excavation and Demolition**  
**6776 S. South Chicago Ave**  
**Chicago IL 60637**  
**O: (630) 428-1700**  
**C: (312) 318-0858**



Estimate Sheet			
Project Name: Lilac Station - Buyout Pricing - 135 Main	Date	4/28/2021	
Address:	Job No.	E-20083	
City, State: Lombard, IL	Bid Due	4/28/2021	
Description of work	LF / EA	SQFT	Cost
<b>135 S. Main</b>			
<b>Site Demo</b>			\$13,881.97
Asphalt removal			
Broken concrete			
Concrete Curb			
Sawcut			
Hauling			
<b>Site Paving - Subgrade</b>			\$20,693.83
1.5' Cut for Bottom of Subgrade			
14" CA - 6 - Compacted			
Concrete curb			
Hauling			
<b>Exclusions:</b>			
Traffic control			
All soils are assumed clean and can be dumped CCDD			
No permits and fees are included			
Street sweeping			
Flaggers for our trucks only			
Paving and concrete by others.			
Parking lot restoration / Protection			
<b>TOTAL COST:</b>			<b>\$34,575.80</b>

---

Accepted By:

---

Accepted By: Ground Crew

## Ganser, Jennifer

---

**From:** Stimac, Michael <MStimac@hcglc.net>  
**Sent:** Thursday, March 25, 2021 1:01 PM  
**To:** O'Connor, Mike; Mitchell, Drew  
**Cc:** Brown, Scott  
**Subject:** RE: Please resend storm sewer plans for Brust property  
**Attachments:** PROP\_E-20083\_LilacStation\_Holladay\_135MAINUtility\_03252021.pdf

Mike & Drew,

Our cost to do the work would be as follows:

Utility Subcontract (proposal attached) = \$42,767  
Landscape and Asphalt Repair = \$2,100  
General Conditions (temp fence, etc.) - \$1,800  
OH & P @ 4% = \$1,867  
Insurance - \$213

**TOTAL = \$48,747**

Assumes Permit fees waived by village or covered by HPG.

Regards,

Michael Stimac – Project Manager  
C. 630-589-7795 | E. mstimac@hcglc.net  
324 W. Burlington Ave., LaGrange, IL 60525



*Creating Solutions...Building Relationships*  
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**From:** O'Connor, Mike <MOConnor@holladayproperties.com>  
**Sent:** Wednesday, March 24, 2021 12:00 PM  
**To:** Mitchell, Drew <DMitchell@holladayproperties.com>  
**Cc:** Brown, Scott <SBrown@hcglc.net>; Stimac, Michael <MStimac@hcglc.net>  
**Subject:** Re: Please resend storm sewer plans for Brust property

Hi Michael- this would be a side project for HCG and your selected underground utility contractor to build for the village and our neighbor. There will likely be a paving scope coming as well. Thanks Mike O'Connor

Sent from my Verizon, Samsung Galaxy smartphone  
Get [Outlook for Android](#)



**Ground Crew Excavation and Demolition**  
**6776 S. South Chicago Ave**  
**Chicago IL 60637**  
**O: (630) 428-1700**  
**C: (312) 318-0858**



Estimate Sheet			
Project Name: Lilac Station - Buyout Pricing - 135 Main	Date	3/25/2021	
Address:	Job No.	E-20083	
City, State: Lombard, IL	Bid Due	3/25/2021	
Description of work	LF / EA	SQFT	Cost
<b>125 South Main</b>			
<b>Erosion Control</b>			\$2,279.89
Silt Fence			
Inlet Baskets			
<b>Drainage plan.</b>			\$40,486.85
8" PVC	283		
6" PVC	36		
Inlet Type B - Closed lid	4		
Catch Basin Type C	3		
Catch Basin Type A	1		
Trench Frame and Grate	24		
Hauling			
<b>Exclusions:</b>			
Traffic control			
All soils are assumed clean and can be dumped CCDD			
No permits and fees are included			
Street sweeping			
Flaggers for our trucks only			
Concrete for Trench drain if required.			
Parking lot restoration / Protection			
<b>TOTAL COST:</b>			<b>\$42,766.74</b>

Accepted By:

Accepted By: Ground Crew

**RESOLUTION**  
**R \_\_\_\_\_**

**A RESOLUTION APPROVING A DOWNTOWN IMPROVEMENT AND  
RENOVATION GRANT FOR THE PROPERTY COMMONLY KNOWN AS  
135 S. MAIN STREET**

WHEREAS, the Village disburses funds for the Downtown Improvement and Renovation Grant Program (the “Program”) under the authority of the Village Board of Trustees, and will provide monetary grants to qualified property owners in the Lombard Tax Increment Financing (TIF) Downtown District to enhance and improve buildings and parking areas; and,

WHEREAS, Brust Funeral Home, signed by Ted Brust (the “Applicant”), wish to participate in this Program for renovations to the property (the “Project”) located at 135 S. Main Street, Lombard, Illinois (the “Subject Property”) and,

WHEREAS, Brust Family Lombard is the owners of 135 S. Main Street, Lombard, Illinois; and,

WHEREAS, the Project shall consist of those renovations to the property on the Subject Property as set forth on Exhibit “A” attached hereto and made part hereof; and,

WHEREAS, the Project will complement and support the Village’s plans to maintain a quality Central Business District;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LOMBARD, DUPAGE COUNTY, ILLINOIS, as follows:

**SECTION 1:** That the Village shall provide the Applicant a grant of up to fifty thousand dollars (\$50,000), pursuant to the Program (the “Grant”). Such grant funds shall be available to the Applicant upon the authorization of the Village’s Director of Community Development, after receipt of satisfactory evidence that the project components have been completed, and that the Applicant have paid all invoices for labor and materials in connection therewith.

**SECTION 2:** The Applicant, as well as any subsequent business or property owner, will perform the following obligations in connection with the Project:

1. Permits shall be applied for and received. Any required inspections shall pass.
2. Work shall be complete one year from the date of approval.
3. Before the grant can be paid out, Brust Funeral Home shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and an IRS W-9 form.



Resolution No. \_\_\_\_\_  
135 S. Main Street

**SECTION 3:** The Applicant, and any subsequent business or property owner, shall be required to maintain the Property in accordance with all Village codes and ordinances, and obtain any and all necessary licenses and permits required relative thereto.

**SECTION 4:** That the Downtown Improvement and Renovation Grant Program Agreement, relative to the Project, attached hereto as Exhibit "B" and made part hereof is hereby approved (the "Agreement")

**SECTION 5:** The Village may terminate the Agreement if the Applicant, or any subsequent business or property owner, fails to comply with any of the terms of the Agreement. In the event of termination, the Applicant shall be required to repay any amount of the Grant disbursed.

**SECTION 6:** That the Village President and Village Clerk are hereby authorized and directed to sign, on behalf of the Village of Lombard, the Agreement attached hereto as Exhibit "B".

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Ayes: \_\_\_\_\_

Nays: \_\_\_\_\_

Absent: \_\_\_\_\_

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Keith T. Giagnorio  
Village President

ATTEST:

\_\_\_\_\_  
Liz Brezinski  
Village Clerk

Resolution No. \_\_\_\_\_  
135 S. Main Street

**EXHIBIT A**  
**Legal Description**

LOT 1 IN BRUST'S PLAT OF CONSOLIDATION, OF PART OF THE WEST ½ OF THE NORTHWEST ¼ OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 26, 1999 AS DOCUMENT R99-093886, IN DUPAGE COUNTY, ILLINOIS.

PIN 06-08-111-034

ADDRESS: 135 S. MAIN STREET



Resolution No. \_\_\_\_\_  
135 S. Main Street

**EXHIBIT B**

**DOWNTOWN IMPROVEMENT AND RENOVATION GRANT PROGRAM  
AGREEMENT**

This Agreement is entered into this twentieth day of May, 2021, by and between the Village of Lombard, Illinois, (hereinafter referred to as the “Village”), and Brust Family Lombard, signed by Ted Brust (hereinafter referred to as “Applicant”) doing business at 135 S. Main Street, Lombard, Illinois (said location being legally described on Exhibit “1” attached hereto and made part hereof – hereinafter referred to as the “Subject Property”), with personal property being secured at 135 S. Main Street, Lombard, Illinois. The Village and the Applicant are sometimes referred to herein collectively as the “Parties.”

**WITNESSETH**

**WHEREAS**, the Village, pursuant to Sections 36.30 through 36.36 of the Lombard Village Code, has established a Downtown Improvement and Renovation Grant Program (hereinafter referred to as the “Program”) and, as such, will provide grants to qualified business owners and property owners in the Eligible TIF Districts (as said term is defined in Section 36.31 of the Lombard Village Code) for exterior renovations; and

**WHEREAS**, the Program compliments and supports the Village's plans to maintain a quality Central Business District; and

**WHEREAS**, exterior renovations are desirable within the Central Business District and contribute to an economically strong Central Business District; a commercial area where the image, appearance, and environment encourage the attraction of shoppers; and

**WHEREAS**, the Applicant wish to participate in this Program for proposed exterior renovations to be located at 135 S. Main Street, Lombard, Illinois; Program Application No.: **21-02**; with said exterior renovations being more specifically described in Exhibit “2” attached hereto and made part hereof (hereinafter referred to as the “Project”);

**NOW, THEREFORE**, in consideration of the foregoing, and other good and valuable consideration, the receipt of which is hereby acknowledged by the Parties hereto, the Parties agree as follows:

**SECTION 1:** The Village shall provide the Applicant with a grant under the Program in an amount not to exceed fifty thousand dollars (\$50,000), (hereinafter referred to as the “Grant”). Such Grant shall be available to the Applicant upon the authorization of the Village's Director of Community Development, and after the Applicant has constructed the Project, and complied with the provisions of this

Resolution No. \_\_\_\_\_  
135 S. Main Street

Agreement and Sections 36.30 through 36.36 of the Lombard Village Code, as well as paid for the Project. The maximum amount of the Grant, as set forth above, is based upon the Applicant expending no less than one hundred and nine thousand, nine hundred and seventy-two and 00/100 dollars (\$109,972) in relation to the Project. In the event that the Applicant's expenditures for the Project are less, the Grant shall be reduced such that the maximum amount of the Grant shall not exceed fifty percent (50%) of the amount expended by the Applicant in relation to the Project.

**SECTION 2:** The Applicant shall undertake the following in connection with the Project:

1. Permits shall be applied for and received. Any required inspections shall pass.
2. Work shall be complete one year from the date of approval.
3. Before the grant can be paid out, Brust Funeral Home shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and an IRS W-9 form.

**SECTION 3:** Upon completion of the Project, the Applicant shall maintain the Subject Property and the business located thereon in accordance with all applicable federal, state and local laws, rules and regulations.

**SECTION 4:** The Applicant hereby consent to the recording of this Agreement to serve as notice to future purchasers, assigns, estate representatives, mortgagees, and all other interested persons of the conditions outlined in this Agreement.

**SECTION 5:** In the event the Village terminates this Agreement as a result of the Applicant failing to comply with any of the terms of this Agreement, the Applicant shall be required to repay any amount of the Grant that has been disbursed by the Village.

**SECTION 6:** This Agreement shall be binding upon the successors and assigns of the Parties hereto.

VILLAGE OF LOMBARD

\_\_\_\_\_  
By: Keith T. Giagnorio, Village President



Resolution No. \_\_\_\_\_  
135 S. Main Street

\_\_\_\_\_  
Attest: Liz Brezinski, Village Clerk

APPLICANT

\_\_\_\_\_  
Ted Brust

Resolution No. \_\_\_\_\_  
135 S. Main Street

STATE OF ILLINOIS        )  
  )SS  
COUNTY OF DUPAGE       )

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Keith T. Giagnorio, personally known to me to be the President of the Village of Lombard, and Liz Brezinski, personally known to me to be the Village Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such President and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Commission expires \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public



Resolution No. \_\_\_\_\_  
135 S. Main Street

STATE OF ILLINOIS        )  
  )SS  
COUNTY OF DUPAGE     )

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO  
HEREBY CERTIFY that Ted Brust, personally known to me to be the same person  
whose names are subscribed to the foregoing instrument, appeared before me this day in  
person and severally acknowledged that they signed and delivered the said instrument, as  
their free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Commission expires \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public

Resolution No. \_\_\_\_\_  
135 S. Main Street

**EXHIBIT 1**

**Legal Description**

LOT 1 IN BRUST'S PLAT OF CONSOLIDATION, OF PART OF THE WEST ½ OF THE NORTHWEST ¼ OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 26, 1999 AS DOCUMENT R99-093886, IN DUPAGE COUNTY, ILLINOIS.

PIN 06-08-111-034

ADDRESS: 135 S. MAIN STREET



Resolution No. \_\_\_\_\_  
135 S. Main Street

**EXHIBIT 2**

The Community Development Department retains a copy of the submittal to the Economic and Community Development Committee. This submittal includes contractor's quotes and a description of the work to be completed. The Applicant propose to install parking lot improvements and storm sewer improvements. The total cost of project is \$61,225 for the parking lot improvements and \$48,747 for the storm sewer improvements, for a total of \$109,972. It is grant eligible up to \$50,000.