



## MEMORANDUM

**TO:** Trustee Puccio, Chairperson  
Economic and Community Development Committee

**FROM:** William J. Heniff, Director of Community Development *WJH*

**MEETING DATE:** September 11, 2023

**SUBJECT:** **Downtown Improvement & Renovation Grant; 10-12 S. Park Avenue**

The Community Development Department received an application for the Downtown Improvement and Renovation Grant Program (also known as the Façade Grant Program) for the property located at 10-12 S. Park Avenue and within the Downtown Lombard TIF District. The application is being made by the property owner UMJK Holdings LLC/Usman “Sid” Siddiqui and is being requested as part of an overall rehabilitation of the existing building on the premises, which is estimated to be about \$460,000. The proposed grant is intended to complete a fairly complete rehabilitation of the commercial building in a manner that will bring it up to code compliance and be able to be leased to future commercial tenants.



NOTE: ALL 3D SKETCHES SHOWN ARE FOR GENERAL REPRESENTATION ONLY. NOT TO BE USED TO DEFINE OR DESCRIBE SPECIFIC SCOPES OF WORK FOR CONSTRUCTION PURPOSES. IN SOME

### ATTACHMENTS

1. Façade Grant Application
2. Project Cost Estimates
3. Actual plan submittal to the for the entire project (relevant pages pertaining to the grant improvements are attached).

The Grant Program provides for partial funding (i.e., up to 50% of eligible project costs with a cap at \$50,000) for exterior facade enhancements. Exterior accessibility improvements are also

eligible grant components and per the Program, these elements can also be subject to a separate 50% grant award (actual dollar amount cap is determined by the grant application and ECDC review).

The proposed construction activity that is subject to the grant application is intended to provide for an enhanced exterior building façade and companion exterior accessibility ramp accommodation. The applicant's submitted plans subject to grant consideration proposes and as depicted on the plan set:

- Removal of much of the east exterior wall and replacing it with a new frost wall and recessed glass exterior wall with two entrance doors;
- Exterior and stone and stucco cladding removal and replacement of a new brick finish and with metal soffit panels; and
- Demolition of and reconstruction of the existing concrete surface to provide for ADA accessibility into the building and which can also be utilized as a potential outside seating area, if sought by a future tenant.

A companion awning allowance was offered within the quote (\$4,000), but plans have not been offered to date on this component (and would not be material to this grant request as the overall costs exceed the grant maximum anyway).

The estimated façade enhancement component is \$124,550 and is grant eligible up to \$50,000 (i.e., 50% of the \$100,000 Program cap). The concrete accessibility accommodation cost is \$36,200, which makes this project component eligible for up to \$18,100.

The Lombard Downtown Revitalization Project Guidebook offers aesthetic standard recommendations. The design recommendations can be applied to numerous buildings in Downtown Lombard. This building does not have specific design recommendations; however, this project is consistent with the Guidebook and will help in downtown revitalization efforts, in that it constitutes a major capital investment and potential adaptive reuse of an existing tenant space in a manner that will provide for gathering opportunities, substantial code upgrades and will make the property and project for future tenancies which are sought through the Guidebook vision. As such, this project includes improvements further enhancing downtown Lombard.

### **POLICY QUOTE PROVISIONS**

Unlike many grant requests in which applicants are working on concept plans and quotes, this request is based upon actual construction drawing that are pending final approval by the Village and the architect and contractor have already been selected for the project. To that end, the actual cost estimates have the probability of greater alignment with the real construction costs.

As an alternate approach to the three-quote policy requirement, the proposed plans were reviewed by the Building Director to determine the appropriateness and of the bid and if it is aligned with

project construction costs. The ECDC members will recall that this approach was utilized in two recent Economic Incentive Proposals (Heritage Cadillac and Yorktown Reserve), in which the incentive was based upon anticipated costs and prove-up provisions, which would also be subject to post construction submittal and approval before funds are released. Staff also notes that the proposed construction costs for the eligible improvements and the overall project costs exceed the cap provisions, so the level of specific scrutiny may not be as critical.

### **COMMITTEE ACTION REQUESTED**

This item is being placed on the September 11, 2023 ECDC agenda for consideration. Staff recommends that the ECDC recommend approval to the Village Board for the requested Downtown Renovation and Improvement Grant being sought for the property at 10-12 S. Park Avenue, in the following respects:

1. A Downtown Renovation & Improvement Grant request of up to \$50,000 for the proposed façade reconstruction improvements; and
2. A Downtown Renovation & Improvement Grant request to exterior accessibility improvements of \$18,100 for the proposed exterior patio area.

The awards are over \$10,000, and as such requires final approval from the Village Board of Trustees. Said recommendation is subject to the following conditions:

1. Building permits must be received for the applicable work, with completion and passage of all required inspections.
2. Work shall be complete one year from the date of approval by the ECDC.
3. Before the grant can be paid out, UMJK Holdings LLC shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and an IRS W-9 form.
4. After the grant money is paid, UMJK Holdings LLC shall display the Village window sign acknowledging they received a grant.

**VILLAGE OF LOMBARD  
DOWNTOWN IMPROVEMENT AND RENOVATION GRANT  
PROGRAM PRE-APPLICATION**

1. A. Building Address and Description: 10-12 S. Park Ave,  
LOMBARD, IL 60148

B. Property Identification Number (PIN): \_\_\_\_\_

C. Legal Description of Property: 2 Retail stores

2. A. Owners Name: USMAN SIDDIQUI, UMIK HARDING LLC

B. Owners Address: 938 Harding Ave, Hinsdale, IL 60521

C. Phone (daytime): (630) 290 2800  
cell

3. Current Tenant, Building Address, Lease Terms, and Description of Business: (use additional paper if necessary)

A. NOT Occupied

B. \_\_\_\_\_

C. \_\_\_\_\_

4. Proposed Improvements and Renovations: ~~FRONT~~  
Complete front facade with new store  
front. ADA improvements

5. Plans/Drawings Prepared by:

A. Name: TRENT FREDRICKSON, RA

B. Address: 4105 W Oakdale Ave,  
Chicago, IL 60641

C. Phone (daytime) (208) 869-2353

D. Estimated Cost of the Improvement and Renovation: \$ 460,000 -

6. Statement of Understanding:

A. The applicant (undersigned) agrees to comply with the guidelines and procedures of the Downtown Improvement and renovation Grant Program and the specific design recommendation of the Director of Community Development.

B. The applicant must submit detailed cost documentation, copies of building permits, prevailing wage acknowledgement form and all contractors' waivers of lien upon completion of work.

C. The applicant, owners, and all contractors must comply with all federal and local regulations.

Business Owner Signature [Signature] Date 8-20-2023

Property Owner Signature [Signature] Date 8-20-2023

Please return application to:  
Village of Lombard  
Community Development Department  
255 E. Wilson Ave., Lombard, IL 60148  
630-620-5749

**Raw Building Concepts**

Estimate

2810 N. Dawson Ave  
Chicago, IL, 60618

Date	Estimate #
8/14/2023	633

Phone # 773-450-6252      chris@rawbuildingconcepts.com  
Fax #

Name / Address
UMJK Holdings, LLC. 10-12 S. Park Ave. Lombard, IL 60148

			Project
Description	Qty	Cost	Total
Front Facade Portion			
-Temporary Facade / Plywood and studs / Window board up		4,500.00	4,500.00
-Masonry: includes any necessary tuckpointing of exterior wall on the front facade and includes FireClay materials 2.5"x8". ( If you go with the bigger tiles, the price will go up 3k) and all labor for installation of front facade brick		76,350.00	76,350.00
-Storefront		35,200.00	35,200.00
-Metal Soffit Panels		4,500.00	4,500.00
-Awning Allowance		4,000.00	4,000.00
		<b>Total</b>	<b>\$124,550.00</b>

Customer Signature \_\_\_\_\_

Web Site
www.rawbuildingconcepts

**Raw Building Concepts**

2810 N. Dawson Ave  
Chicago, IL, 60618

**Estimate**

Date	Estimate #
9/1/2023	637

Phone # 773-450-6252      chris@rawbuildingconcepts.com  
Fax #

Name / Address
UMJK Holdings, LLC. 10-12 S. Park Ave. Lombard, IL 60148

			Project
Description	Qty	Cost	Total
Exterior Concrete /ADA -Concrete to replace front frost wall and add ADA ramp and step in front of building		36,200.00	36,200.00
		<b>Total</b>	<b>\$36,200.00</b>

Customer Signature \_\_\_\_\_

Web Site
www.rawbuildingconcepts

BASE BUILDING UPGRADES

1012 S PARK AVE  
LOMBARD, IL 60140

UMM HOLDINGS LLC  
1110 W 19th  
HINSDALE, IL 60522  
(630) 799-2800

**BUILDING DIVISION APPROVED**  
Keith Szeki  
09/17/2023

ARCHITECT  
TRENT FREDRICKSON, R.A.  
2434 N SPALDING AVE, #2  
CHICAGO, IL 60647  
(800) 389-2200

STRUCTURAL  
CARDINAL SDI  
1788 ASHTON CT.  
NORTON WISCONSIN 53151  
(855) 654-5114

MEP  
PAUL GHASSAN, P.E.  
(830) 544-1871

ISSUED FOR PERMIT 09/08/2022  
FOR CONSTRUCTION SET 01/13/2023

Trent Fredrickson  
T. Fredrickson

FOR CONSTRUCTION SET

SCALE: NA  
DATE: JAN 13, 2023

COVER SHEET

G.O.O.

VICINITY MAP



1012 S PARK AVE  
LOMBARD, IL 60140



NOTE: ALL 2D SKETCHES SHOWN ARE FOR GENERAL REPRESENTATION ONLY. NOT TO BE USED TO DEFINE OR DESCRIBE ANY CASES. THE 2D SKETCHES ARE NOT THE FINAL DESIGN. REFER TO 2D LINE DRAWINGS ONLY FOR DESCRIPTION OF SCOPES OF WORK.

DRAWING LIST

NO	DESCRIPTION	DATE
01.00	GENERAL	
G1.00	COVER SHEET & INDEX	
G1.01	SYMBOLS & MOUNTING HEIGHTS	
G1.02	CODE SUMMARY AND EGRESS PLANS	
G1.03	SITE PLAN + SURVEY	
<b>ARCHITECTURAL</b>		
A1.00	DEMOLITION BASEMENT FLOOR PLAN	
A1.01	DEMOLITION GROUND FLOOR PLAN	
A2.00	BASEMENT FLOOR PLAN	
A3.01	GROUND FLOOR RCP	
A4.01	EXTERIOR ELEVATIONS	
A5.01	WALL SECTIONS	
A5.02	EXTERIOR DETAILS	
A5.03	DOOR & WINDOW SCHEDULE	
A5.04	STRUCTURAL	
A5.05	ELEVATED SLAB PLANS AND BRACING DETAILS	
A5.06	ELEVATED SLAB REINFORCEMENT DETAILS	
A5.07	MECHANICAL	
M0.1	MECHANICAL GENERAL NOTES AND SYMBOLS	
MD1.0	MECH. BASEMENT FLOOR PLAN DEMOLITION	
MD1.1	MECHANICAL GROUND FLOOR PLAN DEMOLITION	
MD1.2	MECHANICAL BASEMENT FLOOR PLAN	
MD1.3	MECHANICAL GROUND FLOOR PLAN	
<b>ELECTRICAL</b>		
ED0.1	ELECTRICAL GENERAL NOTES AND SYMBOLS	
ED0.2	ELECTRICAL SPECIFICATIONS	
ED1.0	ELEC. BASEMENT FLOOR PLAN DEMOLITION	
ED1.1	ELECTRICAL GROUND FLOOR NEW WORK PLAN	
ED1.2	ELECTRICAL BASEMENT FLOOR NEW WORK PLAN	
ED1.3	ELECTRICAL GROUND FLOOR NEW WORK PLAN	
ED1.4	ELECTRICAL DIAGRAMS AND SCHEDULES	
<b>PLUMBING</b>		
PD0.1	PLUMBING GENERAL NOTES AND SYMBOLS	
PD0.2	PLUMBING BASEMENT FLOOR PLAN DEMOLITION	
PD1.0	PLUMBING GROUND FLOOR PLAN DEMOLITION	
PD1.1	PLUMBING GROUND FLOOR PLAN	

PROJECT SUMMARY

PROJECT DESCRIPTION	LEVEL/NO OF WORK
BASING IN THE INTERIOR FIT OUT.	1012 S PARK AVE
PROVIDING NEW UTILITY SERVICES & CONNECTIONS.	
PROVIDING ACCESSIBLE ENTRY AT THE SIDEWALK.	
PROVIDING NEW EXTERIOR LIGHTING.	
PROVIDING ACCESSIBLE ENTRY TO THE BUILDING.	
AS NECESSARY.	
THE TWO EXISTING TENANT SPACES (ADDRESSES 10 & 12 S) WILL BE RECONFIGURED TO INCLUDE THE DIVISION OF THE BUILDING INTO TWO SPACES. TWO ADDRESSES TO BE MAINTAINED UNTIL TENANT LEASE OCCUPANCY IS COMPLETED.	
FUTURE TENANT APPROVALS WILL BE SUBMITTED AS A SEPARATE PERMIT (SEE OCCUPANCY PERMITS/LOI).	
SIGNALS AND FIRE ALARMS TO BE APPLIED FOR A SEPARATE PERMIT (TENANT IMPROVEMENT).	
PROJECT AREA (USE BY FLOOR)	
BASMENT	802 SF
GROUND FLOOR	2,183 SF
STORAGE	172 SF
BUSINESS / UNOCCUPIED	
ENTRY PATIO	3,373 SF
TOTAL	
<b>ZONING DATA</b>	
ZONING DISTRICT	BA, CENTRAL BUSINESS
LOT SIZE	4,944 SF
MIN. LOT SIZE	NONE
MIN. LOT WIDTH	NONE
MAX. BLDG. HT.	45'
MIN. SETBACKS	NONE
MIN. OPEN SPACE	NONE

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT SPECIFICATIONS AND ALL APPLICABLE REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH THE INTENT OF THE SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL EXISTING UTILITIES UNDERGROUND AND ABOVEGROUND. ALL EXISTING UTILITIES SHALL NOT BE DISRUPTED UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT JOB SITE AND REQUEST CLARIFICATION FROM ARCHITECT REGARDING CONFLICTING DIMENSIONS, DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON DRAWINGS.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON DRAWINGS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH ALL NEIGHBORING CONTRACTORS TO AVOID WORKING WITH ANY WORK AND ISSUES A WRITTEN REPORT OF ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DETECTION.
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- CAREFULLY PROTECT EXISTING SITE FEATURES TO REMAIN, INCLUDING TREES, AND INCLUDING

DELEGATED DESIGN

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL WORK SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL WORK SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL WORK SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL WORK SHOWN ON THESE DRAWINGS.

WIND DESIGN LOAD FACTORS:  
MEAN WIND SPEED: 107 MPH  
MEAN ROOF PITCH: 2°  
OCCUPANCY RISK CATEGORY: II  
WIND EXPOSURE CATEGORY: I  
DIRECTIONALITY FACTOR: Kd = 0.85

MATERIAL & PRODUCT SUBMITTALS

- CONTRACTOR TO PROVIDE SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK. SUBMITTALS SHALL INCLUDE THE FOLLOWING:
  - SAMPLES OF MATERIALS TO BE USED.
  - FINISHES TO BE USED.
  - EXTERIOR METAL SOFFIT
- CONTRACTOR TO SUBMIT SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK. SUBMITTALS SHALL INCLUDE THE FOLLOWING:
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  - FINISHES TO BE USED.
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  - SAMPLES OF MATERIALS TO BE USED.
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CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL EXISTING UTILITIES UNDERGROUND AND ABOVEGROUND. ALL EXISTING UTILITIES SHALL NOT BE DISRUPTED UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS.



# BASE BUILDING UPGRADES

LOMBARD, IL 60148

OWNER:  
UMJK HOLDINGS LLC  
PO BOX 399  
IRDESDALE, IL 60132  
(708) 294-2024

ARCHITECT  
TRENT FREDRICKSON, R.A.  
2424 N. SPALDING AVE. #2  
CHICAGO, IL 60614  
(312) 980-2303

STRUCTURAL  
CARDINAL SDI  
1785 ARBORN CT.  
CHICAGO, IL 60617  
(630) 665-8164

MEP  
PAUL GHASSAN, P.E.  
(630) 544-1871



REVISIONS  
ISSUED FOR PERMIT 09.08.2022  
FOR CONSTRUCTION SET 01.13.2023

FOR CONSTRUCTION  
SET

SCALE: N/A  
DATE: JAN 13, 2023

CODE SUMMARY  
& EGRESS PLANS

# G1.01

## APPLICABLE CODES

- 2018 ILLINOIS ACCESSIBILITY CODE
- 2018 ILLINOIS FIRE CODE WITH SUPPLEMENTAL ACT 5 PARAGRAPH 5.101, 5.102, 5.103, 5.104, 5.105, 5.106, 5.107, 5.108, 5.109, 5.110, 5.111, 5.112, 5.113, 5.114, 5.115, 5.116, 5.117, 5.118, 5.119, 5.120, 5.121, 5.122, 5.123, 5.124, 5.125, 5.126, 5.127, 5.128, 5.129, 5.130, 5.131, 5.132, 5.133, 5.134, 5.135, 5.136, 5.137, 5.138, 5.139, 5.140, 5.141, 5.142, 5.143, 5.144, 5.145, 5.146, 5.147, 5.148, 5.149, 5.150, 5.151, 5.152, 5.153, 5.154, 5.155, 5.156, 5.157, 5.158, 5.159, 5.160, 5.161, 5.162, 5.163, 5.164, 5.165, 5.166, 5.167, 5.168, 5.169, 5.170, 5.171, 5.172, 5.173, 5.174, 5.175, 5.176, 5.177, 5.178, 5.179, 5.180, 5.181, 5.182, 5.183, 5.184, 5.185, 5.186, 5.187, 5.188, 5.189, 5.190, 5.191, 5.192, 5.193, 5.194, 5.195, 5.196, 5.197, 5.198, 5.199, 5.200, 5.201, 5.202, 5.203, 5.204, 5.205, 5.206, 5.207, 5.208, 5.209, 5.210, 5.211, 5.212, 5.213, 5.214, 5.215, 5.216, 5.217, 5.218, 5.219, 5.220, 5.221, 5.222, 5.223, 5.224, 5.225, 5.226, 5.227, 5.228, 5.229, 5.230, 5.231, 5.232, 5.233, 5.234, 5.235, 5.236, 5.237, 5.238, 5.239, 5.240, 5.241, 5.242, 5.243, 5.244, 5.245, 5.246, 5.247, 5.248, 5.249, 5.250, 5.251, 5.252, 5.253, 5.254, 5.255, 5.256, 5.257, 5.258, 5.259, 5.260, 5.261, 5.262, 5.263, 5.264, 5.265, 5.266, 5.267, 5.268, 5.269, 5.270, 5.271, 5.272, 5.273, 5.274, 5.275, 5.276, 5.277, 5.278, 5.279, 5.280, 5.281, 5.282, 5.283, 5.284, 5.285, 5.286, 5.287, 5.288, 5.289, 5.290, 5.291, 5.292, 5.293, 5.294, 5.295, 5.296, 5.297, 5.298, 5.299, 5.300, 5.301, 5.302, 5.303, 5.304, 5.305, 5.306, 5.307, 5.308, 5.309, 5.310, 5.311, 5.312, 5.313, 5.314, 5.315, 5.316, 5.317, 5.318, 5.319, 5.320, 5.321, 5.322, 5.323, 5.324, 5.325, 5.326, 5.327, 5.328, 5.329, 5.330, 5.331, 5.332, 5.333, 5.334, 5.335, 5.336, 5.337, 5.338, 5.339, 5.340, 5.341, 5.342, 5.343, 5.344, 5.345, 5.346, 5.347, 5.348, 5.349, 5.350, 5.351, 5.352, 5.353, 5.354, 5.355, 5.356, 5.357, 5.358, 5.359, 5.360, 5.361, 5.362, 5.363, 5.364, 5.365, 5.366, 5.367, 5.368, 5.369, 5.370, 5.371, 5.372, 5.373, 5.374, 5.375, 5.376, 5.377, 5.378, 5.379, 5.380, 5.381, 5.382, 5.383, 5.384, 5.385, 5.386, 5.387, 5.388, 5.389, 5.390, 5.391, 5.392, 5.393, 5.394, 5.395, 5.396, 5.397, 5.398, 5.399, 5.400, 5.401, 5.402, 5.403, 5.404, 5.405, 5.406, 5.407, 5.408, 5.409, 5.410, 5.411, 5.412, 5.413, 5.414, 5.415, 5.416, 5.417, 5.418, 5.419, 5.420, 5.421, 5.422, 5.423, 5.424, 5.425, 5.426, 5.427, 5.428, 5.429, 5.430, 5.431, 5.432, 5.433, 5.434, 5.435, 5.436, 5.437, 5.438, 5.439, 5.440, 5.441, 5.442, 5.443, 5.444, 5.445, 5.446, 5.447, 5.448, 5.449, 5.450, 5.451, 5.452, 5.453, 5.454, 5.455, 5.456, 5.457, 5.458, 5.459, 5.460, 5.461, 5.462, 5.463, 5.464, 5.465, 5.466, 5.467, 5.468, 5.469, 5.470, 5.471, 5.472, 5.473, 5.474, 5.475, 5.476, 5.477, 5.478, 5.479, 5.480, 5.481, 5.482, 5.483, 5.484, 5.485, 5.486, 5.487, 5.488, 5.489, 5.490, 5.491, 5.492, 5.493, 5.494, 5.495, 5.496, 5.497, 5.498, 5.499, 5.500

## PLUMBING FACILITIES

REQUIRED	PROPOSED
PLUMBING TO FACILITIES TO BE IMPROVED	PLUMBING TO FACILITIES TO BE IMPROVED
TOILET (WC)	1/2" 1/2"
URINALS	3/4"
LAUNDRIES	1/4"
BATH / SHOWER	1/2"
DRINKING FOUNTAIN	1/2"
SERVICE SINK	1"

## CONSTRUCTION TYPE

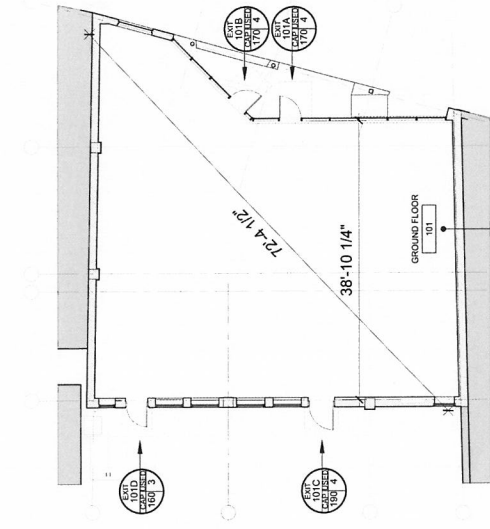
CONSTRUCTION TYPE	ALLOWABLE	PROPOSED
MAX HEIGHT (BC 504.3)	5'	NO CHANGE (IF EXISTING)
MAX STOREY FLOOR (BC 504.4)	3	NO CHANGE (IF EXISTING)
MAX AREA FLOOR (BC 504.5)	10,000 SF	2,100 SF
FIRE RESISTANT CONSTRUCTION TYPE IN UNSPRINKLERED AREAS	2	2
PRIMARY STRUCTURAL FRAME	2	2
EXTERIOR BEARING WALLS	0	0
EXTERIOR NON-BEARING WALLS	0	0
FLOOR CONSTRUCTION	0	0
ROOF CONSTRUCTION	0	0

## OCCUPANT LOAD

USE	AREA (SQ FT)	LOAD FACTOR	OCC. LOAD
MECH/STORAGE	800	1/500	2
UNOCCUPIED	2,100	1/150	15
<b>TOTAL</b>			<b>17</b>

## CODE SUMMARY

PROJECT AREA (GSF BY FLOOR)	800 SF
BASEMENT STORAGE	2,100 SF
GROUND FLOOR BUSINESS / UNOCCUPIED ENTRY PATIO	180 SF
<b>TOTAL</b>	<b>3,100 SF</b>
USE & OCCUPANCY	BUSINESS (EXISTING)
OCCUPANCY GROUP	17
OCCUPANT LOAD (SEE OCC. LOAD DIAGRAM)	17
FIRE SUPPRESSION	NOT SPRINKLERED



EXIT SEPARATION IS GREATER THAN 1/2 DIAGONAL (36.3)

1 GROUND FLOOR LIFE SAFETY & EXITING PLAN  
2 BASEMENT LIFE SAFETY & EXITING PLAN

**BASE BUILDING  
UPGRADES**  
1015 S. LOMBARD, E. 01148

OWNER:  
**UMJK HOLDINGS LLC**  
PO BOX 309  
LANSING, MI 48202  
(800) 298-2300

ARCHITECT  
**TRENT FREDRICKSON, R.A.**  
2418 N. SPALDING AVE. #2  
ANN ARBOR, MI 48104  
(313) 969-2353

STRUCTURAL  
**CARDINAL SDI**  
1785 ARBORN CT.  
ANN ARBOR, MI 48107  
(800) 686-9154

MEP  
**PAUL GHASSAN, P.E.**  
(800) 544-1871



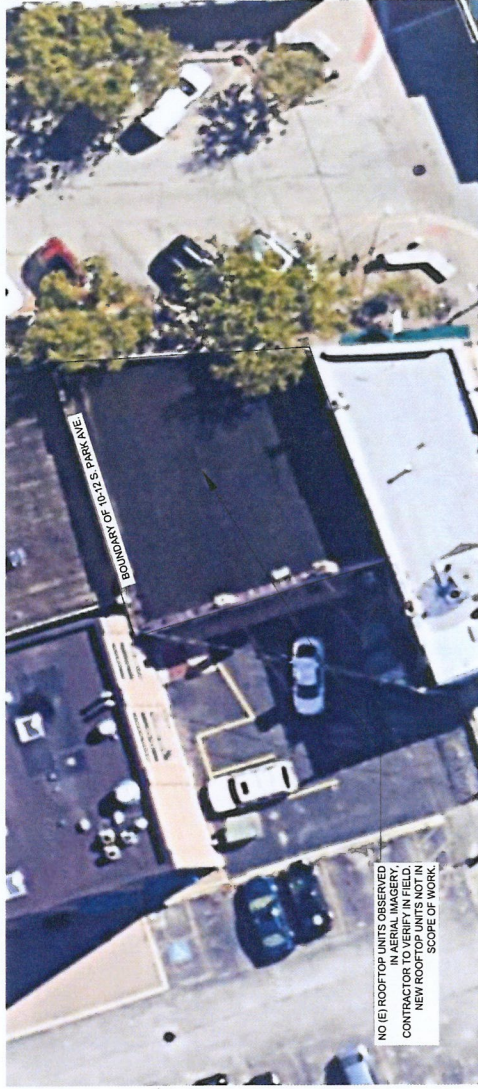
REVISIONS  
ISSUED FOR PERMIT 08.10.2022  
FOR CONSTRUCTION SET 01.13.2023

FOR CONSTRUCTION  
SET

SCALE: AS SHOWN  
DATE: JAN. 13, 2023

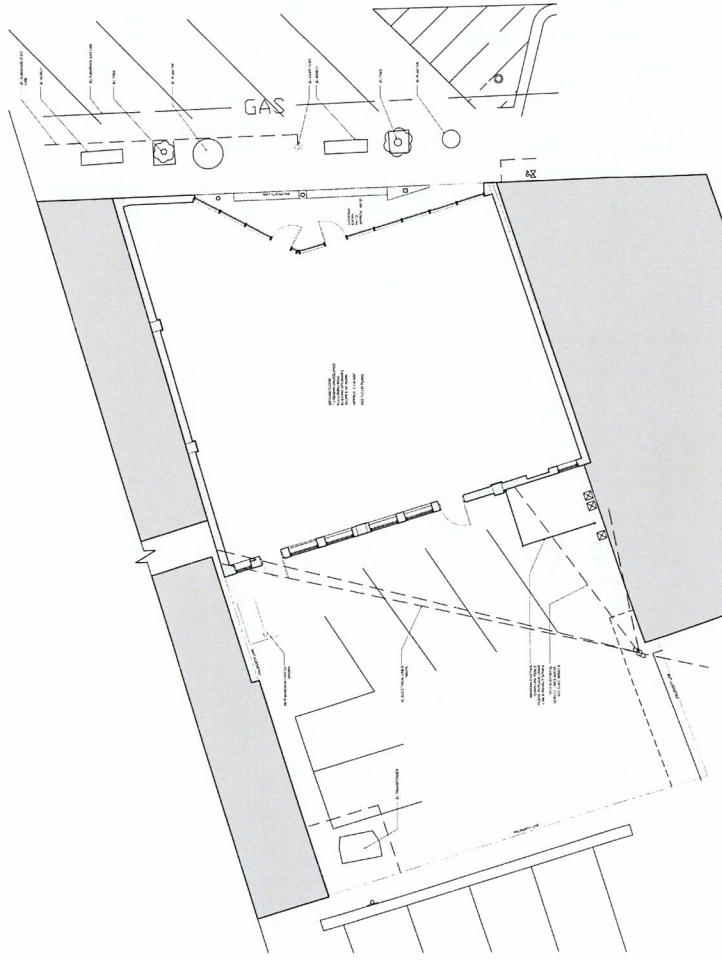
**SITE PLAN +  
SURVEY**

**G1.03**



NO (E) ROOFTOP UNITS OBSERVED  
IN AERIAL IMAGERY.  
CONTRACTOR TO VERIFY IN FIELD.  
NEW ROOFTOP UNITS NOT IN  
SCOPE OF WORK.

3 EXISTING AERIAL PHOTO

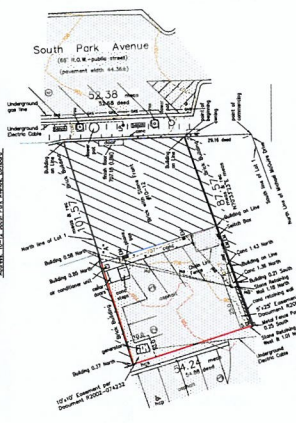


1 SITE PLAN

18407 West Grand Blvd  
Grand Rapids, MI 49508  
Tel: (616) 222-2222  
www.kabal.com

**KABAL SURVEYING COMPANY**  
Land Surveying Services  
**ALTA/NSPS Land Title Survey**

This plat of Lot 1, Block 13, of "West Grand", located at the East end of West Grand Blvd., Grand Rapids, Michigan, is a subdivision of the West Grand Blvd. Subdivision, located in the City of Grand Rapids, Michigan, as shown on the plat of the West Grand Blvd. Subdivision, recorded in the Public Records of Grand Rapids, Michigan, on August 27, 1986, as Book 1487, Page 204, of the Grand Rapids, Michigan, Public Records. The area shown on this plat is a portion of the West Grand Blvd. Subdivision, as shown on the plat of the West Grand Blvd. Subdivision, recorded in the Public Records of Grand Rapids, Michigan, on August 27, 1986, as Book 1487, Page 204, of the Grand Rapids, Michigan, Public Records.



- NOTES:**
- 1) Contours have been shown for comparison with the 2002 Aerial Survey. The contours were obtained from the 2002 Aerial Survey and are not to be used for any other purpose.
  - 2) The utility lines shown on this plat are for information only and are not to be used for any other purpose.
  - 3) The area shown on this plat is a portion of the West Grand Blvd. Subdivision, as shown on the plat of the West Grand Blvd. Subdivision, recorded in the Public Records of Grand Rapids, Michigan, on August 27, 1986, as Book 1487, Page 204, of the Grand Rapids, Michigan, Public Records.
  - 4) The area shown on this plat is a portion of the West Grand Blvd. Subdivision, as shown on the plat of the West Grand Blvd. Subdivision, recorded in the Public Records of Grand Rapids, Michigan, on August 27, 1986, as Book 1487, Page 204, of the Grand Rapids, Michigan, Public Records.

**LEGEND:**  
 \* = indicates that the survey was taken by a licensed surveyor.  
 X = indicates that the survey was taken by a licensed surveyor.  
 O = indicates that the survey was taken by a licensed surveyor.  
 S = indicates that the survey was taken by a licensed surveyor.  
 T = indicates that the survey was taken by a licensed surveyor.  
 U = indicates that the survey was taken by a licensed surveyor.  
 V = indicates that the survey was taken by a licensed surveyor.  
 W = indicates that the survey was taken by a licensed surveyor.  
 Y = indicates that the survey was taken by a licensed surveyor.  
 Z = indicates that the survey was taken by a licensed surveyor.

**CONSTRUCTION:**  
 To Change The Survey Company and Mark Holdings LLC, an Illinois Limited Liability Company  
 in accordance with the 2022 Annual Meeting Minutes of the Board of Directors of the Survey Company,  
 the Survey Company has authorized the Survey Company to change its name to Mark Holdings LLC, an  
 Illinois Limited Liability Company, effective July 10, 2022.  
 Date of this plat: July 10, 2022

**WALTER P. BALK**  
 Surveyor  
 The Surveyor's Seal is a mark of the Survey Company and is not to be used for any other purpose.  
 The Surveyor's Seal is a mark of the Survey Company and is not to be used for any other purpose.  
 The Surveyor's Seal is a mark of the Survey Company and is not to be used for any other purpose.

The professional marks conform to the current  
 State minimum standards for an ALTA/NSPS survey  
 in the State of Michigan.  
 WALTER P. BALK, an Illinois Professional Land Surveyor,  
 is the Surveyor of Record for this survey. The Surveyor's  
 name and the plat herein are in a correct representation  
 of the Survey Company and are not to be used for any other  
 purpose.  
 Operations are in feet and rounded parts, based on one  
 corrected to a temperature of 68 degrees Fahrenheit.

**WALTER P. BALK**  
 Illinois Professional Land Surveyor No. 035-032250  
 My license expires on November 30, 2022

2 SURVEY

**BASE BUILDING  
UPGRADES**

OWNER:  
**UMJK HOLDINGS LLC**  
PO BOX 399  
NORWALK, CT 06852  
(833) 295-2300

ARCHITECT:  
**TRENT FREDRICKSON, R.A.**  
244 N. SPALDING AVE., #2  
NORWALK, CT 06857  
(203) 960-2353

STRUCTURAL:  
**CARDINAL SDI**  
1709 ASHTON CT.  
NORWALK, CT 06857  
(833) 956-9184

MEP:  
**PAUL GHASSAN, P.E.**  
(833) 944-1871



ISSUED FOR PERMIT 09.08.2022  
FOR CONSTRUCTION SET 01.13.2023

FOR CONSTRUCTION  
SET

SCALE: 1/4" = 1'-0"  
DATE: JAN. 13, 2023

**DEMOLITION  
FLOOR PLAN**

**A1.01**



**BASE BUILDING UPGRADES**

1015 S. PARK AVE  
CHICAGO, IL 60614

OWNER  
**UMJK HOLDINGS LLC**  
PO BOX 300  
HINSDALE, IL 60522  
(815) 799-2800

ARCHITECT  
**TRENT FREDRICKSON, R.A.**  
2424 N. SPALDING AVE. #2  
CHICAGO, IL 60647  
(800) 789-5353

TRUCKER  
**CARDINAL SDI**  
1700 ASHTON CT.  
WILSON, IL 60197  
(815) 402-1100

MEP  
**PAUL CHASSAN, P.E.**  
(800) 544-1871



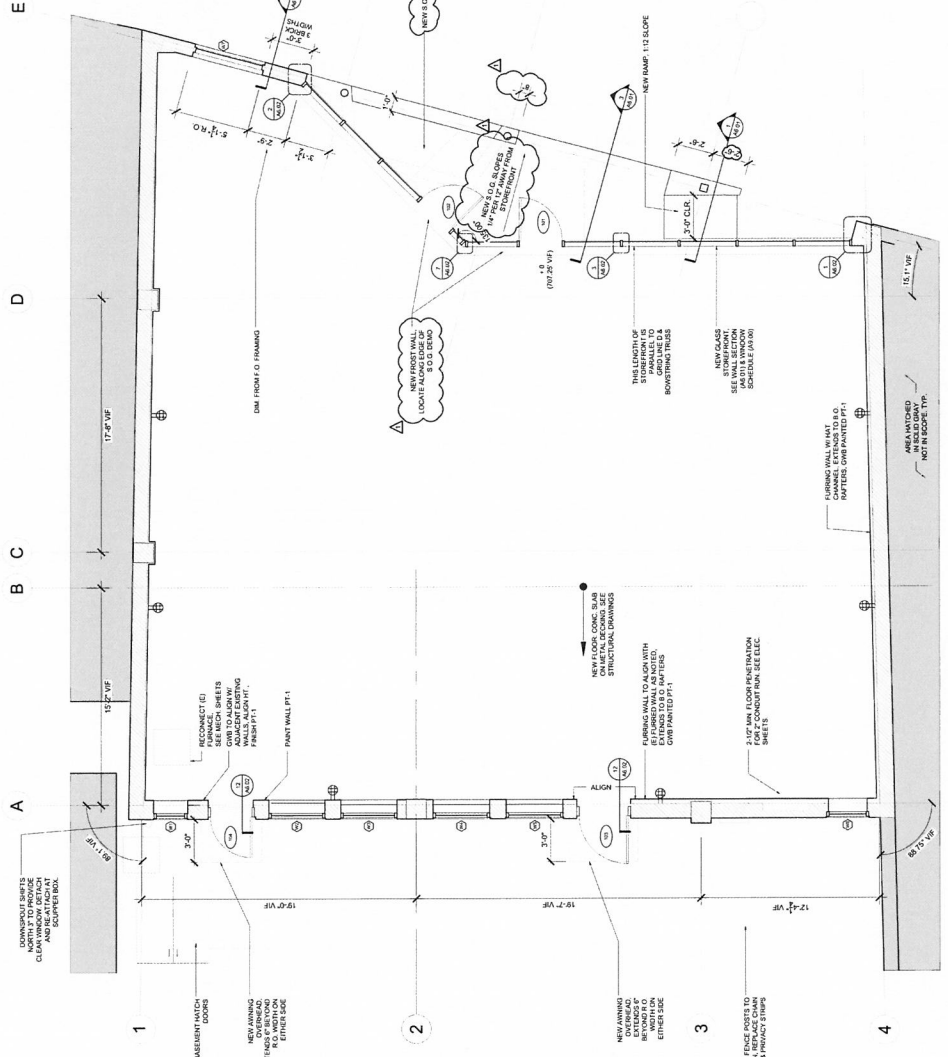
REVISIONS  
DESIGNED FOR PERMIT 06/08/2023  
FOR CONSTRUCTION SET 01/13/2023

**FOR CONSTRUCTION SET**

SCALE: 1/4" = 1'-0"  
DATE: JAN 13, 2023

**GROUND FLOOR PLAN**

**A2.01**



**GROUND FLOOR PLAN NOTES**

- VERIFY DIMENSIONS OF EXISTING CONDITIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK.
- SEE STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SHEETS FOR ADDITIONAL SCOPES OF WORK.
- INSTALL BELIEVING TOPPING REINFORCEMENT TO PROVIDE LEVEL BUILDING. PROVIDE TOPPING SELECTED BY CONTRACTOR TO MATCH EXISTING CONC. S.O.G.
- FIRE-RESISTANT JOINT SEALERS PROVIDE MANUFACTURER'S STANDARD ASSEMBLY TO MATCH EXISTING JOINTS. PROVIDE JOINT SEALERS AS ESTABLISHED BY TESTING IDENTICAL ASSEMBLIES PER ASTM E 84 BY FIRE STOP SYSTEM FOR FILING OPENINGS AROUND CABLES, CONDUIT, FLOORS AND AS NOTED ON DRAWINGS. PROVIDE FORMING JOINT FILLERS, PACKING AND OTHER ACCESSORIES AS SHOWN REQUIRED FOR A COMPLETE INSTALLATION FOR THE CONDITIONS INDICATED.
- SEE STRUCTURAL SHEETS FOR LOCATING SLAB PENETRATIONS IN RELATION TO JOIN BEARING PT.
- PATCH AND REPAIR(IE) OWNS AS NECESSARY. PAINT PPT-1.
- PROVIDE SLIGHTLY SLOPED SURFACE OF 1/4" PER 10' MAXIMUM AT ORIENTATION OF SHERMAN AND WEST SLOPE DOWNWARD TOWARD

UPGRADE WOOD ROOF TRUSSES TO RESOLVE FIRE RETARDANT FINISH SCOPE OF WORK WHEN UNOCCUPIED USE FOLLOWING BASE BUILDING HAS BEEN DETERMINED IN ACCORDANCE WITH TABLE 603.13.

**INTERIOR FINISH SCHEDULE**

MARK	NAME	LOCATION	MANUF. # MODEL	COLOR	NOTES
PPT-1	WHITE PAINT	INTERIOR ELEVATIONS	BENJAMIN MOORE	WHITE TID	ALL MANUF. ARE ACCEPTABLE W/ EQUAL COLOR T-SPEC

**WALL LEGEND**

- FRAMED WALL INT. FINISHING WALL
- ISI LOAD BEARING MASONRY WALL

NOTE: FOR WALL DESIGN, SEE WALL SECTIONS A6.10.

**BASE BUILDING  
UPGRADES**

LOWLAND, IL 60118

OWNER:  
**UMJK HOLDINGS LLC**  
PO BOX 399  
HINSDALE, IL 60142  
(708) 954-6254

ARCHITECT  
**TRENT FREDRICKSON, R.A.**  
244 N. SPALDING AVE. #2  
CHICAGO, IL 60611  
(312) 982-2523

STRUCTURAL  
**CARDINAL SDI**  
1785 ARDENT CT.  
CHICAGO, IL 60617  
(773) 955-9154

MEP  
**PAUL GHASSAN, P.E.**  
(630) 344-1871



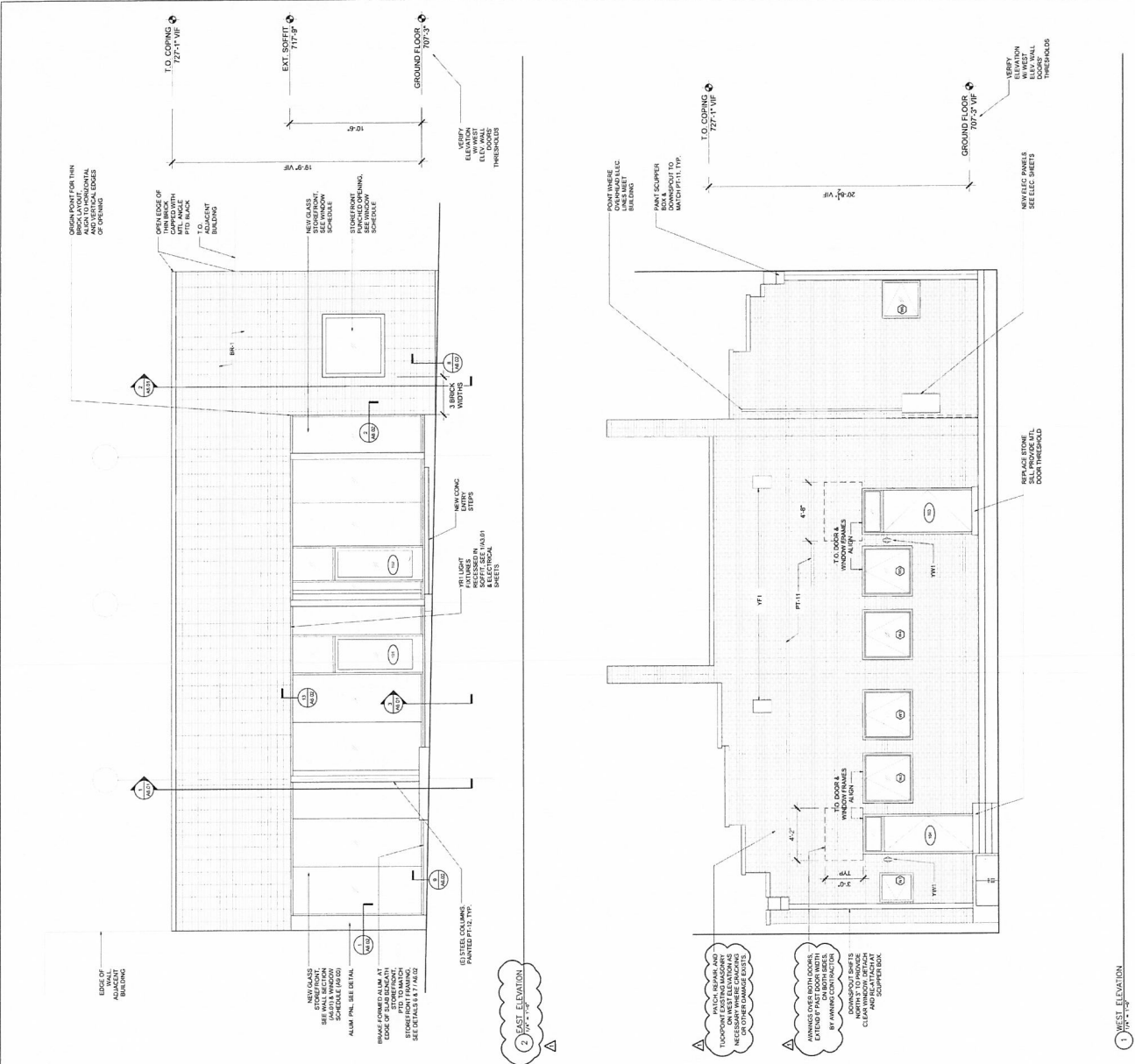
ISSUED FOR PERMIT: 01.08.2022  
FOR CONSTRUCTION SET: 01.13.2022

**FOR CONSTRUCTION  
SET**

SCALE: 1/4" = 1'-0"  
DATE: JAN 13, 2023

**EXTERIOR  
ELEVATIONS**

**A4.01**



**EXTERIOR ELEVATIONS NOTES**

1. EXISTING STONE AND STUCCO CLADDING ON EAST ELEVATION TO BE REMOVED AND PREPARED FOR RECONSTRUCTION. REMOVE ALL EXISTING THIN BRICK FINISH. ENSURE REMOVAL OF DEBRIS FROM EXISTING STONE CLADDING.
2. RECONSTRUCT FACADE USING THE LOCATION AND DIMENSIONS OF EXISTING UNITS. ABOVE CORNER WHERE WINDOWS AND DOORS ARE TO BE REPLACED. REPLACE UNITS IN WINDOW WHEN EXISTING ARE DAMAGED. REPAIR AND REFINISH EXISTING UNITS AS NECESSARY. REPAIR CORROSION. STEEL ANGLE, FRAME AND PAINT STEEL AS NECESSARY FOR CORROSION RESISTANCE.
3. PROVIDE REPAIRS TO EXISTING MASONRY AS NECESSARY WHERE SHOWN OR OTHERWISE DETERMINED TO BE NECESSARY AT ALL NEW OPENINGS IN EXISTING CONSTRUCTION.
4. COORDINATE SCOPE OF BRICK REPAIR WORK REQUIRED - REMOVE ALL AREAS OF DAMAGE AND AMMORDED PENETRATIONS IN EXISTING WALLS. RECONSTRUCT TO MATCH EXISTING PATTERNS, PATCH AND REPAIR. FINISH WORK TO BE CONDUCTED PER PROJECT SPECIFICATIONS.
5. PAINT HEAD AND JAMBS OF OPENING TO MATCH FACE COLOR.
6. PATCH AND PAINT EXTERIOR WALL AT DEVICE OR UTILITY REMOVAL.

**EXTERIOR FINISH SCHEDULE**

MARK	NAME	LOCATION	MANUF.	PRODUCT	COLOR	NOTES
BR-1	THIN GLAZED BRICK	EAST ELEV. WALL	FIRECLAY	THIN GLAZED BRICK	'FRONT RANGE' FINISH-GRAZED BRICK	STAGGERED BOND PATTERN. SEE MANUF. FINISH-GRAZED BRICK. REFER TO MANUF. GUIDELINES BEFORE INSTALLATION.
PF-11	INTERIOR MASONRY PAINT	WEST ELEV. BRICK	BENJAMIN MOORE		GRAY T80	ALT. MANUF. ARE ACCEPTABLE W/ EQUAL COLOR + SPECS
PF-12	EXTERIOR STEEL PAINT	EAST ELEV. STEEL COLUMNS	CROWN	FLUSH	BLACK TO MATCH STORE FRONT FRAMING	
MIL-1	METAL WALL SOFFIT PANEL	EXTERIOR SOFFIT + BY CORNER	CLAYCO METAL PANEL SUPPLY	FLUSH	'STONE WHITE'	1" DEPTH. 1/2" PANEL WITH 1/2" SOFFIT. REFER TO MANUF. PRODUCT INFO FOR FINISH. REFER TO TABLE III FOR FINISH. REFER TO MANUF. SPECIFICATIONS FOR EQUAL COLOR + SPECS



# BASE BUILDING UPGRADES

150 S. PARK AVE  
CHICAGO, IL 60604

OWNER:  
**UMK HOLDINGS LLC**  
PO BOX 350  
HINDALE, IL 60522  
(815) 296-2820

ARCHITECT:  
**TRENT FREDRICKSON, R.A.**  
244 N. SPALLING AVE. #2  
CHICAGO, IL 60617  
(312) 924-2525

STRUCTURAL:  
**CARDINAL SDI**  
1708 ASHTON CT.  
CHICAGO, IL 60647  
(815) 965-8184

M.P.  
**PAUL GHASSAN, P.E.**  
(815) 944-1871



REVISIONS:  
ISSUED FOR PERMIT 06.04.2023  
FOR CONSTRUCTION SET 01.13.2023

FOR CONSTRUCTION SET

SCALE: 1/8" = 1'-0"  
DATE: JAN. 13, 2023

## DOOR & WINDOW SCHEDULE

# A9.00

### STOREFRONT DESIGN NOTES

1. SEE SECTION 05100 FOR GENERAL REQUIREMENTS FOR STOREFRONT DESIGN AND SCHEDULES. ALL STOREFRONT GLASS SHALL BE ULTIMATELY INSTALLED IN UNIFORM STRUCTURAL FRAMING. SEE 05100 FOR DESIGN INTENT.

#### WIND DESIGN LOAD FACTOR:

- BASIC WIND SPEED: 120 MPH
- WIND EXPOSURE: B
- WIND DIRECTION: 0°
- WIND PROFILE: 10
- WIND DIRECTIONALITY FACTOR: K<sub>d</sub> = 0.85
- WIND EXPOSURE COEFFICIENT: K<sub>e</sub> = 0.85
- WIND PROFILE COEFFICIENT: K<sub>z</sub> = 0.85
- WIND DIRECTIONALITY FACTOR: K<sub>d</sub> = 0.85
- WIND EXPOSURE COEFFICIENT: K<sub>e</sub> = 0.85
- WIND PROFILE COEFFICIENT: K<sub>z</sub> = 0.85

2. PER ENERGY CODE ECCC 402.4, OVERALL STOREFRONT SYSTEM TO HAVE U-FACTOR OF 0.30

3. THERMAL BREAK REQUIRED IN STOREFRONT FRAMING.

4. STOREFRONT FRAMING PRODUCT:

- 4.1. BASIS OF DESIGN: KAWNEER TRIFAB 451T, 2" X 4-1/2" PROFILE
- 4.2. ALT. FOR FINISH: KAWNEER TRIFAB 601T, 2" X 4-1/2" PROFILE "FOOT" GLASS APPLICATION.
- 5. KAWNEER FINISH: #20 BLACK ANODIZED
- 6. PROVIDE STRUCTURAL GLAZED MULLIONS (SGM) FOR INTERMEDIATE MULLIONS. SEE SECTION 05100 FOR DETAILS. (IF FRAMEWORK NECESSARY BY MANUFACTURER WHO LOAD DELEGATED DESIGN.)
- 7. PROVIDE INTERMEDIATE HORIZONTALS AS SHOWN ON 304.00 EXCEPT ABOVE DOORS.
- 8. AVOID INTERMEDIATE HORIZONTALS AS SHOWN ON 304.00 EXCEPT ABOVE DOORS.
- 9. PROVIDE INSECT SCREEN AT ALL OPERABLE PUNCHED OPENINGS (WINDOW TYPES A & B).

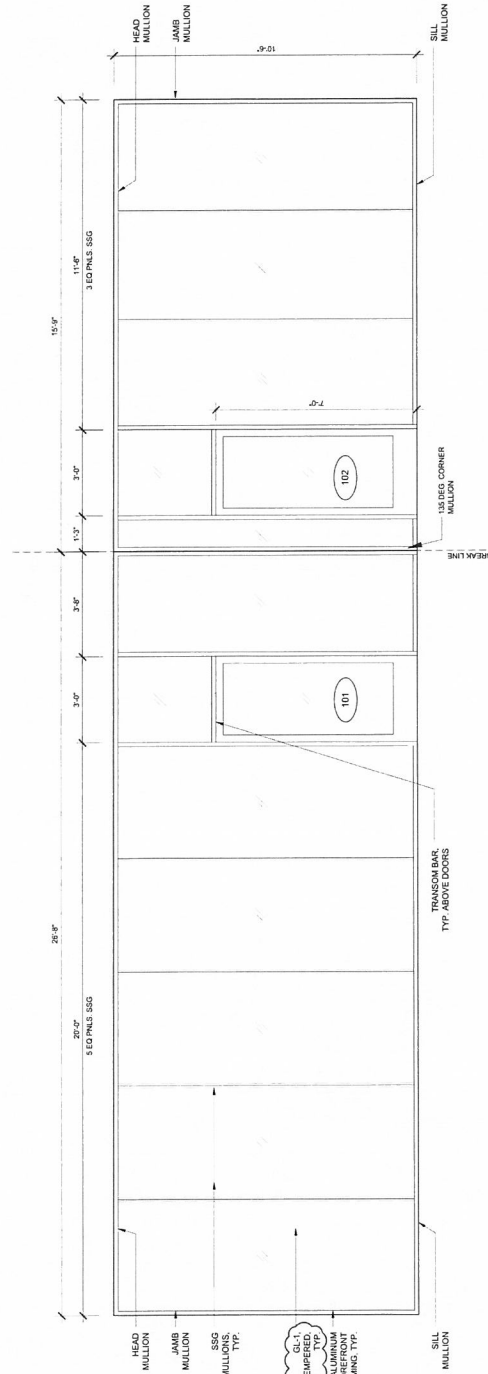
### GL-1 NOTES

1. DESCRIPTION: ULTRACLEAR INSULATING GLASS UNITS FOR VERTICAL GLAZING. 1/2" THICK 120 MIN INSULATING GLASS CONSISTING OF TWO GLASS PANELS WITH 1/2" AIR SPACE. 1/2" THICK 120 MIN INSULATING GLASS COATING ON THE NO. 2 SURFACE, AND 1/2" INCH (12.2 MM) THICK ANION EXCHANGE COATING ON THE NO. 1 SURFACE.

2. PROVIDE TEMPERED GLASS AT ALL GL-1 PANELS EXCEPT AT WINDOW TYPES A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z. PROVIDE TEMPERED GLASS IN DOORS. PANELS WITHIN 2'-0" OF DOORS SHALL BE TEMPERED GLASS.

3. INSULATING GLASS UNIT PRODUCT:

- 3A. CLEAR GLAZING, VITRO ARCHITECTURAL GLASS, SOLARBAN 60.0W
- 3A.A. VISIBLE LIGHT TRANSMITTANCE: 70 PERCENT
- 3A.B. PERCENT INTERIOR SOLAR HEAT GAIN COEFFICIENT: 0.30
- 3A.C. PERCENT INTERIOR SOLAR RADIATION: 55 PERCENT (EXTERIOR AND 12 PERCENT INTERIOR)
- 3A.D. SHADING COEFFICIENT: 0.30
- 3A.E. SOLAR HEAT GAIN COEFFICIENT: 0.30
- 3B. ADD ALTERNATE FOR FINISH: VITRO ARCHITECTURAL GLASS
- 3B.A. VISIBLE LIGHT TRANSMITTANCE: 74 PERCENT
- 3B.B. PERCENT INTERIOR SOLAR HEAT GAIN COEFFICIENT: 0.30
- 3B.C. PERCENT INTERIOR SOLAR RADIATION: 55 PERCENT (EXTERIOR AND 12 PERCENT INTERIOR)
- 3B.D. SOLAR HEAT GAIN COEFFICIENT: 0.30
- 3C. ADD ALTERNATE FOR FINISH: VITRO ARCHITECTURAL GLASS
- 3C.A. VISIBLE LIGHT TRANSMITTANCE: 77 PERCENT
- 3C.B. PERCENT INTERIOR SOLAR HEAT GAIN COEFFICIENT: 0.30
- 3C.C. PERCENT INTERIOR SOLAR RADIATION: 55 PERCENT (EXTERIOR AND 12 PERCENT INTERIOR)
- 3C.D. SHADING COEFFICIENT: 0.30
- 3C.E. SOLAR HEAT GAIN COEFFICIENT: 0.30



3 STOREFRONT AT EAST ELEVATION

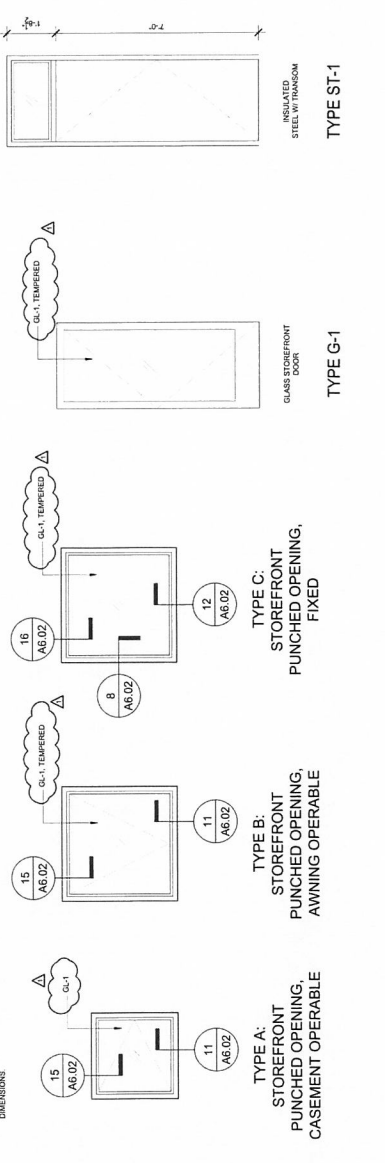
### DOOR SCHEDULE

DOOR NO.	TYPE	PROFILE	FRAME	HAND	HARDWARE	REMARKS
101	G-1	3-1/2"	THERMALLY BROKEN ALUM	RH	KEYED	KAWNEER ENCORE STOREFRONT DR
102	G-1	3-1/2"	THERMALLY BROKEN ALUM	LH	KEYED	KAWNEER ENCORE STOREFRONT DR
103	S1-1	3-1/2" X 8-1/2" WF	EXT. HOLLOW METAL	RH	KEYED	INSULATED EXTERIOR PFD. STEEL DR
104	S1-1	3-1/2" X 8-1/2" WF	EXT. HOLLOW METAL	RH	KEYED	INSULATED EXTERIOR PFD. STEEL DR

NOTE: ALL GLASS IN WINDOW TYPES OF DOORS TO BE TEMPERED.

### WINDOW SCHEDULE

MARK	TYPE	R.O. SIZE	PRODUCT	GLASS TYPE	FINISH	REMARKS
W1	A	2'-9" X 2'-7" VF	KAWNEER TRIFAB 451T STOREFRONT	GL-1 SEE NOTES	#20 BLACK ANOD.	LH CASEMENT SWING
W2	B	3'-11" X 3'-11" VF	KAWNEER TRIFAB 451T STOREFRONT	GL-1 SEE NOTES	#20 BLACK ANOD.	LH CASEMENT SWING
W3	B	3'-11" X 3'-11" VF	KAWNEER TRIFAB 451T STOREFRONT	GL-1 SEE NOTES	#20 BLACK ANOD.	LH CASEMENT SWING
W4	B	3'-11" X 3'-11" VF	KAWNEER TRIFAB 451T STOREFRONT	GL-1 SEE NOTES	#20 BLACK ANOD.	LH CASEMENT SWING
W5	B	3'-11" X 3'-11" VF	KAWNEER TRIFAB 451T STOREFRONT	GL-1 SEE NOTES	#20 BLACK ANOD.	LH CASEMENT SWING
W6	A	2'-11" X 2'-11" VF	KAWNEER TRIFAB 451T STOREFRONT	GL-1 SEE NOTES	#20 BLACK ANOD.	RH CASEMENT SWING
W7	C	5'-0" X 5'-0"	KAWNEER TRIFAB 451T STOREFRONT	GL-1 SEE NOTES	#20 BLACK ANOD.	SLT. HT. 3'-0" A.F.F.



1 DOOR TYPES

2 WINDOW TYPES

1708 ASHTON COURT  
WHEATON, ILLINOIS 60187  
TEL: (630) 933-8300  
FAX: (630) 933-8350  
LICENSE NO. 184-000022

**DRAWING NOTES:**

1. THE PROJECT CONSISTS OF REMOVAL AND REPLACEMENT OF THE DAMAGED EXISTING CONCRETE SLAB AND PARTIAL BASEMENT AT THE WEST END OF THE BUILDING AT 1012 S. PARK AVENUE, LOMBARD, ILLINOIS 60148.
2. CONTRACTORS TO CONFORM ALL DIMENSIONS IN FIELD AND INFORM THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
3. ONCE EXISTING CONSTRUCTION IS EXPOSED AND MEASURED, CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR ANY CONDITIONS THAT DO NOT MATCH THE EXISTING DRAWINGS. ALL DISCREPANCIES FOR DESIGN MODIFICATIONS AS REQUIRED SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. ALL DIMENSIONS MUST BE INVESTIGATED FOR ALL STEEL BEAMS, ELEVATION AND ANALYZED FOR ADEQUACY.
4. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE NECESSARY TO REMOVE THE EXISTING CONCRETE AND TO PROVIDE ALL OTHER PART OF THE STRUCTURE. THE CONCRETE CONTRACTOR SHALL INCLUDE IN THIS WORK:
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEGALLY CAPTING OR PLUGGING ALL UTILITIES AND REMOVING ALL UTILITIES FROM THE BASEMENT AREA PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE LOCATION OF OPENINGS IN THE STRUCTURAL SLABS.
6. SEE DRAWING S2.0 FOR MORE INFORMATION. NOTES AND REFERENCES NOTE MD17 FOR DECK PENETRATIONS.



DRAWING EXPIRATION DATE:	09/2022
REV. NO.	0
DATE	09/09/22
DESCRIPTION	ISSUE FOR PERMIT
ISSUES & REVISIONS	

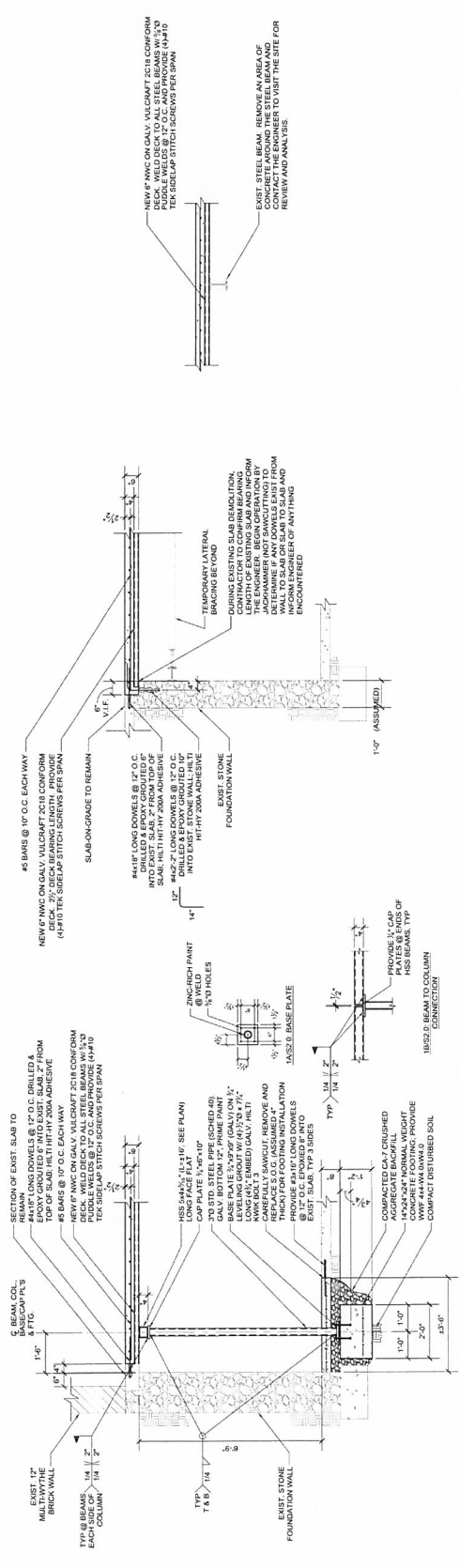
CLIENT:  
UMJK HOLDINGS LLC  
100 WASHINGTON SQUARE  
HUNTSVILLE, ALABAMA 35894

PROJECT:  
1012 S. PARK AVENUE  
ELEVATED SLAB REPLACEMENT  
AT PARTIAL BASEMENT  
1012 S. PARK AVENUE  
LOMBARD, ILLINOIS 60148

DRAWING TITLE:  
ELEVATED SLAB REPLACEMENT  
DETAILS

DATE:	5/20/22
CDR. NO.:	20200
DRAWN BY:	MJM
CHECKED BY:	MJM
APPROVED BY:	MJM

**S2.0**



SECTION: NEW DECK @ EXISTING BEAM  
3.2/ 1/2" = 1'-0"

SECTION: NEW DECK @ EXISTING WALL  
3.2/ 1/2" = 1'-0"

SECTION @ NEW DECK SUPPORT (TYP OF 7 LOCATIONS)  
3.2/ 1/2" = 1'-0"



SECTION: NEW DECK @ EXISTING WALL  
3.2/ 1/2" = 1'-0"