



MEMORANDUM

TO: Trustee Anthony Puccio, Chairperson
Economic and Community Development Committee

FROM: William J. Heniff, AICP, Director of Community Development *WJH*

MEETING DATE: November 13, 2023

SUBJECT: **Improvement & Renovation Grant; 16 S. Park Avenue
(Punky's)**

The Community Development Department received an application for the Improvement and Renovation Grant Program (also known as the Façade Grant Program) for Punky's located at 16 S. Park Avenue. Brendan Fitzharris/Five Leaf Clover Realty LLC is the property owner and the business is known as Punky's.

ATTACHMENTS

1. Façade Grant Application
2. Concept Exterior Building Design Exhibits
3. Architect's Exterior Project Scope and Preliminary Cost Estimates

The Grant Program provides funding for selected exterior enhancements. The applicant is seeking to install exterior improvements as depicted on the submitted concept plans and includes the following elements:

1. First floor exterior banding/moulding typical of exterior business signage found in Ireland.
2. Green Exterior Cladding to be placed on the east and south exterior elevations.
3. Faux Windows along the south building exterior to break up the building mass.
4. Bar rail moulding and ledge which is intended to be an architectural feature as opposed to a bar railing, given that the abutting area is a part of the public right-of-way.
5. The exterior east elevation along Park Avenue will be significantly modified, with the smaller glass windows being removed, the exterior masonry wall will be reduced so that new and larger exterior windows will be added. The proposed windows, which are intended to be removable, and with an air curtain to meet DuPage County Health Department requirements.
6. They will be removing the existing awning and incorporating wall signage as depicted on the plans. The Sign Ordinance does not provide for signs to be painted directly on the wall,

so they will be using metal or wood sign letters affixed to be building with gooseneck lighting. The concept signage as depicted should meet size requirements.

7. Sign: The Old Style sign is slated to be removed

The estimated façade enhancement component is \$139,375 and is grant eligible up to \$50,000 (i.e., the lesser of 50% of the overall project costs, or \$50,000).

The Lombard Downtown Revitalization Project Guidebook focuses on aesthetic standards in Section 4. The design recommendations can be applied to numerous buildings in downtown Lombard. This building does not have specific design recommendations; however, this project is consistent with the Guidebook and will help in downtown revitalization efforts. This project includes improvements further enhancing downtown Lombard. Notable and defining elements being incorporated into the design includes the aforementioned wall signage and gooseneck lighting, and establishing a pedestrian scale exterior that is conducive to community gathering activities.

The architect for the applicant has completed the review of the premises and the cost estimates are intended to serve as an estimate of the project costs. The applicant would like to undertake the planned improvements in 2024. However, given the expiration of the TIF District in December, 2023, they are seeking approval of the project and funding request concept as a precursor step to securing actual contractor quotes for the project.

While the established Renovation and Improvement Grant does require three quotes for proposed work at the time of the grant application, staff can represent an alternate approach to the ECDC members in consideration of the particular grant request given the timing and funding constraints. Similar to the Business Retention Economic Incent Agreement approved by the Village Board in 2022 and the pending incentive being contemplated by Prairie Food Co-op, those incentive requests were conceptually supported in the following manner:

1. Estimated eligible costs and a scope of work was provided;
2. The concept plans were favorably considered and/or approved;
3. Actual quotes and defined eligible costs were identified;
4. Applicable permits were approved;
5. Applicable construction work would be undertaken;
6. Final costs, based off of paid invoices, would be provided and reviewed by the Village;
7. Final building inspection approvals would be completed;
8. Waivers of lien and any supportive data would be submitted for review and approval; and
9. Upon approval. The Village could reimburse the applicant for the eligible and completed work in an amount not to exceed the lesser of \$50,000 or 50% of the eligible project costs.

Staff is supportive of the request and the policy deviation for the following reasons:

1. Consistent with the recommendations of the Lombard Downtown Revitalization Project Guidebook.
2. Consistent with past approval for other façade grant requests.
3. The improvements would create an aesthetic enhancement for the corridor.

COMMITTEE ACTION REQUESTED

This item is being placed on the November 13, 2023 ECDC agenda for consideration. Staff recommends that the ECDC recommend approval to the Village Board for the requested Improvement and Renovation Grant being sought for the property at 16 S. Park Avenue up to the lesser of \$50,000 or 50% of the eligible project costs. As this request is over \$10,000, it requires final approval from the Village Board of Trustees. The recommendation is subject to the following conditions:

1. Permits must be applied for and received for all work to be performed. Before any funds are released, the applicant must receive final inspection approvals from the Village.
2. Prior to the state of any applicable construction activity in which the applicant would be seeking grant funding, the applicant shall provide the Village with final contractor cost estimates for the project. The Village shall review the actual project quotes for reasonableness and completeness. If the Village deems the quotes to be acceptable the Village will provide the applicant with a Notice to Proceed letter. If they are not deemed to be reasonable in the Village's sole discretion, the applicant can withdraw specific components of the grant from the project or seek additional quotes that are deemed by the Village to be reasonable.
3. Grant applicable work shall be completed within one year from the date of approval by the ECDC.
4. Before the grant can be paid out, the applicant shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and an IRS W-9 form.
5. After the grant funds are paid, the applicant shall display the Village window sign acknowledging they received a grant.

**VILLAGE OF LOMBARD
DOWNTOWN IMPROVEMENT AND RENOVATION GRANT
PROGRAM PRE-APPLICATION**

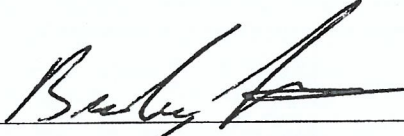
1. A. Building Address and Description: 16 S. Park Ave. Lombard
IL. Punky's Pub
- B. Property Identification Number (PIN): 06-07-209-014
- C. Legal Description of Property: _____
2. A. Owners Name: Brendan Fitzharris / Five Leaf
Clover Realty LLC
- B. Owners Address: 174 N. Addison Ave. Elmhurst
IL 60126
- C. Phone (daytime): (630) 688-4529
3. Current Tenant, Building Address, Lease Terms, and Description of Business: (use additional paper if necessary)
- A. Business and building are owned
by Brendan Fitzharris therefore there
are no lease terms.
- B. Business is known as punky's pub and
operates as a bar/tavern.
4. Proposed Improvements and Renovations: new facade on
east and south side of the building.

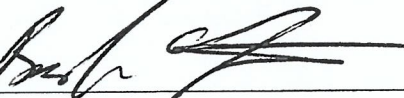
5. Plans/Drawings Prepared by:

- A. Name: Jeff Budgell, Architects' Studio
B. Address: 257 N. West Ave Suite 100
E/monk, IL 60126
C. Phone (daytime) (630) 617-5990 / (630) 935-4152-cell
D. Estimated Cost of the Improvement and Renovation: \$ _____

6. Statement of Understanding:

- A. The applicant (undersigned) agrees to comply with the guidelines and procedures of the Downtown Improvement and renovation Grant Program and the specific design recommendation of the Director of Community Development.
- B. The applicant must submit detailed cost documentation, copies of building permits, prevailing wage acknowledgement form and all contractors' waivers of lien upon completion of work.
- C. The applicant, owners, and all contractors must comply with all federal and local regulations.

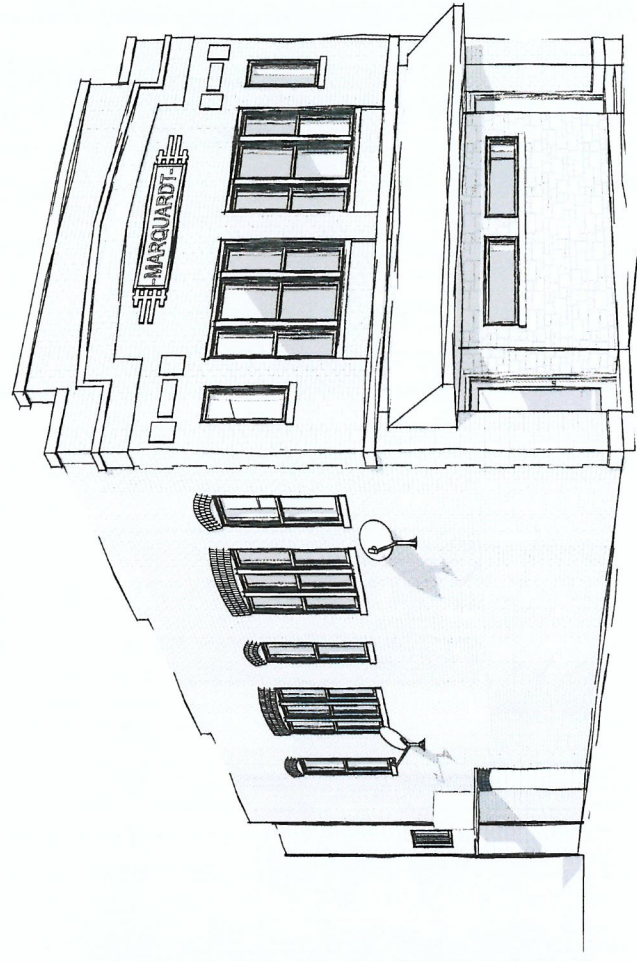
Business Owner Signature  Date 10/24/23

Property Owner Signature  Date 10/24/23

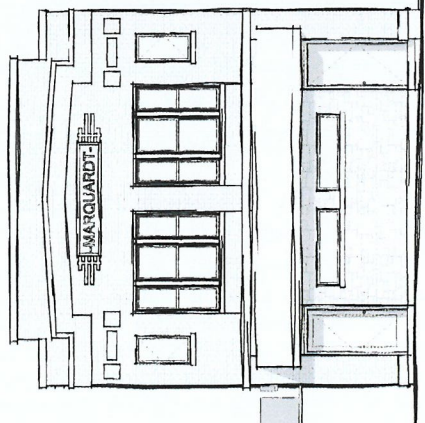
Please return application to:
Village of Lombard
Community Development Department
255 E. Wilson Ave., Lombard, IL 60148
630-620-5749

PRELIMINARY
NOT FOR CONSTRUCTION

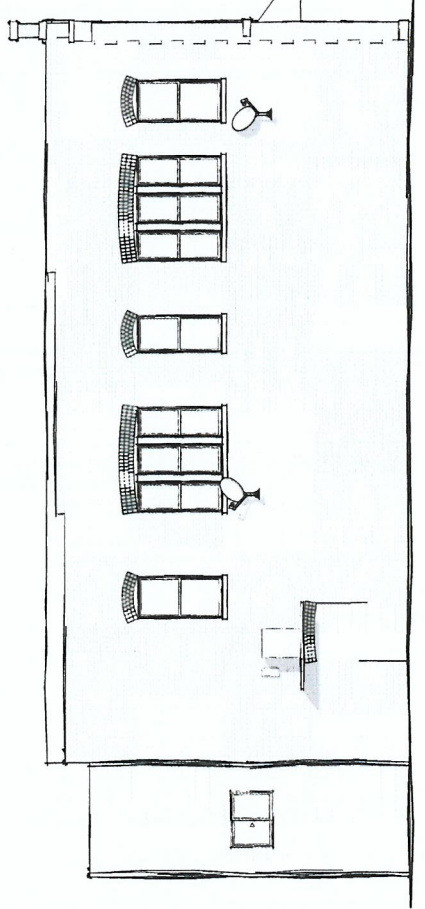
EXISTING PERSPECTIVE



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



REVISIONS
A-0

SCALE AS NOTED
EXISTING ELEVATIONS

DATE: 10/20/19
ISSUED FOR: REVIEW

DESIGNED BY: [blank]
DRAWN BY: [blank]
CHECKED BY: [blank]
DATE: 10/20/19
PROJECT: TENANT IMPROVEMENT
164 S PARK AVE
LOMBARD, IL 60118

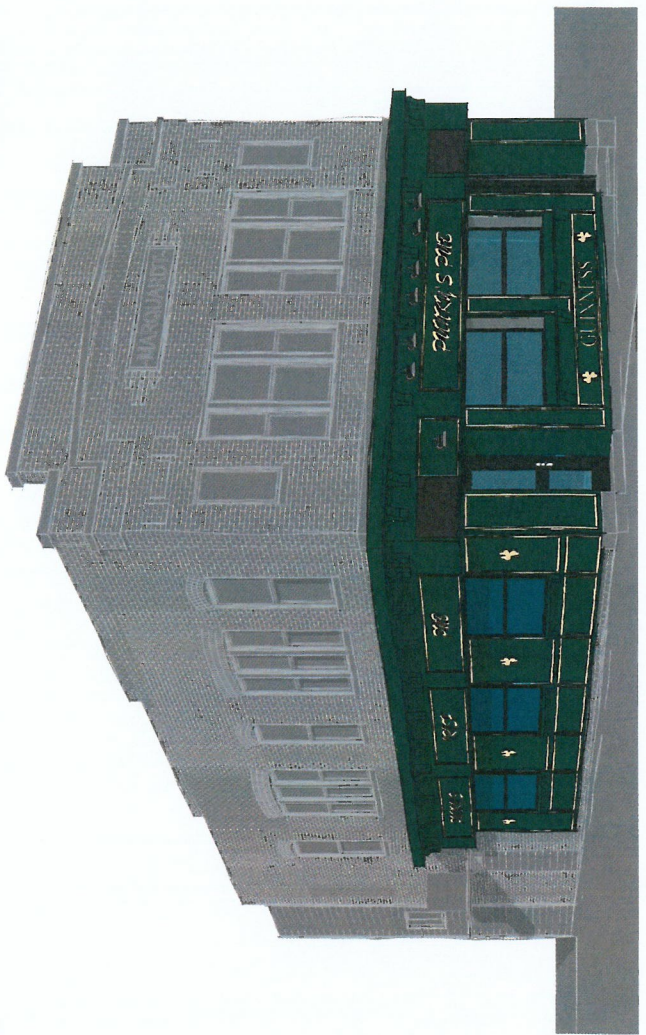
NO.	DATE	DESCRIPTION

FOR REVIEW

architects' studio
257 WEST AVENUE, SUITE 100
LOMBARD, IL 60118
7 604.174.0000
ILLINOIS LICENSED PROFESSIONAL ARCHITECT #19400211
AGENCY: STENO, LLC
PROJECT: 164 S PARK AVE
DATE: 10/20/19

PRELIMINARY
NOT FOR CONSTRUCTION

PERSPECTIVE



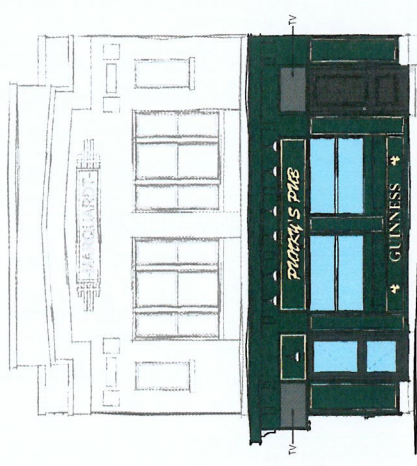
PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

TOTAL SIGNAGE SQUARE FOOTAGE: 111.5 SQ. FT.



PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

TOTAL SIGNAGE SQUARE FOOTAGE: 12.50 SQ. FT.



DATE: 10/25/23
ISSUED FOR: REVIEW

PROJECT: PROPOSED ELEVATIONS
DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]
DATE: 10/25/23

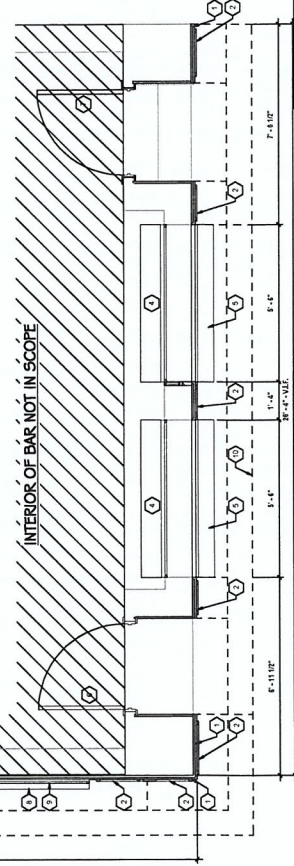
TENANT IMPROVEMENT
16A S PARK AVE
LOMBARD, IL 60148

FOR REVIEW

ARCHITECTS: [REDACTED]
ADDRESS: [REDACTED]
PHONE: [REDACTED]

architects' studio
7 604.471.7800
1600 N. LAUREL STREET, SUITE 100
LOMBARD, IL 60148

PRELIMINARY
 NOT FOR CONSTRUCTION



- FLOOR PLAN NOTES SHOWN THUS**
1. NEW FINISHED FLOOR SHALL BE INSTALLED TO EXISTING SUBFLOOR WITH 1/2\"/>

<p>ARCHITECT'S STUDIO 1717 WEST AVENUE, SUITE 100 LOMBARD, IL 60148 TEL: 630.261.1717</p>	<p>FOR REVIEW</p>	<p>ADVERTISED BY: [] ARCHITECT: [] CONTRACTOR: [] DATE: []</p>	<p>16A S PARK AVE LOMBARD, IL 60148</p>	<p>CLIENT: [] PROJECT NUMBER: [] 16A S PARK AVE LOMBARD, IL 60148</p>	<p>DATE: 10/23/21 PROJECT NAME: [] 16A S PARK AVE LOMBARD, IL 60148</p>	<p>PROJECT NO. 21-001 PROJECT NAME: [] 16A S PARK AVE LOMBARD, IL 60148</p>	<p>CLIENT: [] PROJECT NUMBER: [] 16A S PARK AVE LOMBARD, IL 60148</p>	<p>DATE: 10/23/21 PROJECT NAME: [] 16A S PARK AVE LOMBARD, IL 60148</p>	<p>PROJECT NO. 21-001 PROJECT NAME: [] 16A S PARK AVE LOMBARD, IL 60148</p>
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**SWORN OWNER'S STATEMENT
PRELIMINARY**

STATE OF *Illinois*
) *ss*
 COUNTY OF *Dupage*

Owner's Name: Punky's Pub
Property Address: 16 S. Park Street, Lombard

Draw: Preliminary

Contractor or Material Supplier	Kind of Work	Total Contract	Amount Previously Paid	Amount to Be Paid Now	Balance To Complete
To-Be-Let	Baracades/Scaffolding/fencing	\$8,500.00	\$0.00	\$0.00	\$8,500.00
To-Be-Let	Clean-up / Demo	\$2,000.00	\$0.00	\$0.00	\$2,000.00
To-Be-Let	Install new Steel Beams	\$3,000.00	\$0.00	\$0.00	\$3,000.00
To-Be-Let	Masonry rework/repair	\$10,000.00	\$0.00	\$0.00	\$10,000.00
To-Be-Let	Framing Labor (Rough & Trim)	\$20,000.00	\$0.00	\$0.00	\$20,000.00
To-Be-Let	Framing / Wood Materials	\$20,000.00	\$0.00	\$0.00	\$20,000.00
To-Be-Let	Electric	\$7,500.00	\$0.00	\$0.00	\$7,500.00
To-Be-Let	Signage	\$1,500.00	\$0.00	\$0.00	\$1,500.00
To-Be-Let	Painting	\$7,500.00	\$0.00	\$0.00	\$7,500.00
To-Be-Let	Windows (2)	\$15,000.00	\$0.00	\$0.00	\$15,000.00
To-Be-Let	Air Curtains (2)	\$10,000.00	\$0.00	\$0.00	\$10,000.00
To-Be-Let	Metal Fabricator (cornice top)	\$5,000.00	\$0.00	\$0.00	\$5,000.00
To-Be-Let	Faux window painting/murals	\$2,500.00	\$0.00	\$0.00	\$2,500.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
Contractor overhead/profit		\$16,875.00			\$16,875.00
Contingency		\$10,000.00			\$10,000.00
					\$0.00
TOTAL		\$139,375.00	\$0.00	\$0.00	\$139,375.00

Signed _____

Address _____

Described and sworn to before me this ____ day of _____, 2020

State of Illinois
 County of Residence: _____

 Notary Public