

VILLAGE OF LOMBARD
REQUEST FOR BOARD OF TRUSTEES ACTION
For Inclusion on Board Agenda

VUE F

Resolution or Ordinance (Blue) _____ *Waiver of First Requested*
 X Recommendations of Boards, Commissions & Committees (Green)
Other Business (Pink)

TO: PRESIDENT AND BOARD OF TRUSTEES

FROM: William T. Lichter, Village Manager

DATE: September 26, 2006 (BOT) Date: October 5, 2006

TITLE: PC 06-24: 433 E. St. Charles Road

SUBMITTED BY: Department of Community Development *WTL*

BACKGROUND/POLICY IMPLICATIONS:

Your Plan Commission transmits for your consideration its recommendation relative to the above-mentioned petition. This petition requests approval of a conditional use for a recreational facility (water park) located in the C/R Conservation/Recreation District. (DISTRICT #4)

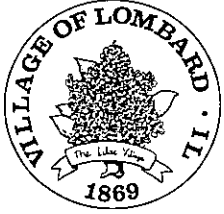
The Plan Commission recommended approval of this petition with conditions.

Fiscal Impact/Funding Source:

Review (as necessary):

Village Attorney X _____ Date _____
Finance Director X _____ Date _____
Village Manager X W. T. Lichter Date 9/26/06

NOTE: All materials must be submitted to and approved by the Village Manager's Office by 12:00 noon, Wednesday, prior to the Agenda Distribution.



MEMORANDUM

TO: William T. Lichter, Village Manager

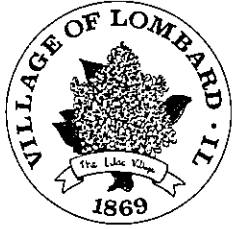
FROM: David A. Hulseberg, AICP *DH*
Assistant Village Manager/Director of Community Development

DATE: October 5, 2006

SUBJECT: PC 06-24: 433 E. St. Charles Road (Moran Water Park)

Attached please find the following items for Village Board consideration as part of the October 5, 2006 Village Board meeting:

1. Plan Commission referral letter;
2. IDRC report for PC 06-24; and
3. An Ordinance granting approval of a conditional use for a recreational facility (water park), subject to conditions.



VILLAGE OF LOMBARD

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Village President
William J. Mueller

October 5, 2006

Village Clerk
Brigitte O'Brien

Mr. William J. Mueller,
Village President, and
Board of Trustees
Village of Lombard

Trustees
Greg Alan Gron, Dist. 1
Richard J. Tross, Dist. 2
John "Jack" T. O'Brien, Dist. 3
Steven D. Sebby, Dist. 4
Kenneth M. Florey, Dist. 5
Rick Soderstrom, Dist. 6

Subject: PC 06-24; 433 E. St. Charles Road (Moran Water Park)

Dear President and Trustees:

Village Manager
William T. Lichter

Your Plan Commission transmits for your consideration its recommendation regarding the above-referenced petition. The petitioner, Lombard Park District, requests approval of a conditional use for a recreational facility (water park) located in the C/R Conservation/Recreation District.

After due notice was given, the Plan Commission conducted a public hearing on September 18, 2006. Michael Fugiel, Executive Director of the Lombard Park District, presented the petition. He provided an overview of the project and then introduced the development team associated with the project.

"Our shared *Vision* for Lombard is a community of excellence exemplified by its government working together with residents and business to create a distinctive sense of spirit and an outstanding quality of life."

Claude Rogers of Water Technologies, Inc., presented a PowerPoint presentation regarding the petition. He described the various improvements to the pool area. He noted the relocated lap pool, a new lazy river and pool wading area, water slide improvements and cabana picnic areas. He noted that there will be no encroachment into the existing park area surrounding the site. He noted that the water surface area for the new water park is about the same as currently existing in the water park.

"The *Mission* of the Village of Lombard is to provide superior and responsive governmental services to the people of Lombard."

Bruce Cairns of Cordogan, Clark & Associates, discussed the new concession building and the new bathhouse building and referenced the proposed building plans. He also showed the proposed building elevations for each structure.

Chairperson Ryan then opened the meeting for public comment.

Carl Butler, 105 W. Edgewood Avenue, raised concerns regarding additional traffic generation for the new facility. Mr. Fugiel noted that they sized the water park for 1,300 people, similar to the existing water park. However, that number would only be realized on occasion.

Commissioner Sweetser inquired about the depth and flow of the lazy river. Mr. Fugiel noted it would be approximately 3.5 feet in depth and it would flow counter-clockwise. She asked about whether the new pool would be sized in yards or meters. Mr. Fugiel stated that the Park District's swim team swims in yards rather than meters, they designed the pool for yards.

Chairperson Ryan then asked about security issues, asking about the entrance area to the pool and what security measures will be provided. Mr. Fugiel noted that a metal accordion gate would be provided at the entrance.

William Heniff, Senior Planner, presented the staff report. The Park District is proposing to upgrade and modernize the existing Moran Water Park facility located within Lombard Common. As the existing facility is a legal non-conforming use, approval of a new conditional use from the Village is required.

Referencing the IDRC comments, he noted that specific comments pertaining to the plans are being addressed as part of the building permit submittal. The Private Engineering Services Division has reviewed the petition and noted that a requisite utility easements shall be granted over the proposed fire hydrant leg as well as over the existing water mains and sanitary sewers adjacent to the water park and throughout the rest of Lombard Common Park.

He then described the zoning history of the project. The pool was initially constructed within the park 49 years ago. The current water park slides were erected 19 years ago. The Lombard Park District Board approved plans to renovate the water park to modernize the recreational offerings to residents and guests and to address existing deficiencies as noted by the petitioner. No improvements are proposed outside of the water park area. The existing community building, parking lot, public driveways and all other park improvements are intended to remain as-is.

Parks and open space are listed as permitted uses within the within the Conservation/Recreation District. Recreational facilities, such as the water park, are listed as conditional uses within the Conservation/Recreation District. The proposed improvements constitute an increase in the degree of nonconformity and as such a new conditional use for the water park is required.

The principal use of the site will still be a community park facility. The proposed improvements orient the uses and activities away from the perimeter of the park and the adjacent properties. The water park area will be effectively fenced and screened to minimize its visibility from adjacent properties. Therefore, the modified water park design should not create any additional impact on adjacent properties than currently found at the property.

The Comprehensive Plan recommends that the property be used as open space and recreational uses. The principal use of the property will still remain as parks and open space. Specifically, the Plan states as a primary community facility objective that "existing community facilities should be maintained and upgraded as required". The Plan also notes that the Village should cooperate with other governmental agencies seeking to contribute to and improve the quality of life for residents. By providing for modern, attractive public facilities that meet the demographic needs of the community, the proposed improvements are consistent with the Plan's objectives.

Chairperson Ryan asked if there were any comments on the staff report. Martin Jones, 127 S. Edgewood Avenue, inquired about the yard measurement for the pool as well. He also asked whether the diving pool and the lap pool would be connected. Mr. Fugiel restated that they designed the pool in yards to accommodate their swim team. He also surveyed other districts and they all use yard measurements as well. He noted the diving pool and the lap pool would be connected – to prevent safety issues, they will string a buoy line segregating the two areas from each other. Cost issues precluded them from creating a separate diving pool.

Chairperson Ryan then opened the meeting for comments from the Commissioners.

Commissioner Sweetser noted that bulkheads could be added to the lap pool if needed to address the yard/meter issue. She then asked if they will provide a drop-off lane for the water park. Mr. Fugiel noted that earlier plans has such a lane but it was removed for cost reasons. However, when they reviewed the existing operations of the park they found that such a lane may not be necessary as drop-offs are at a minimum – most people that use the water park walk to the site or they park their cars.

After due consideration of the petition and the testimony presented, the Plan Commission found that the petition complies with the standards required by the Lombard Zoning Ordinance. Therefore, the Plan Commission, by a roll call vote of 4-0, recommended to the Corporate Authorities approval of the petition associated with PC 06-24 subject to the following conditions:

1. The site be developed in compliance with Site Plan Packet materials, prepared by Cordogan, Clark and Associates, Inc., dated July 25 and August 7, 2006 and submitted as part of this petition.
2. As part of the permit submittal, the petitioner shall satisfactory address the engineering preliminary permit review comments provided by the Village.
3. The petitioner shall dedicate to the Village a thirty-foot public utility easement over any existing and/or proposed public utilities on the subject property.

Respectfully,

VILLAGE OF LOMBARD


Donald Ryan, Chairperson
Lombard Plan Commission

c. Petitioner
Lombard Plan Commission

Plan Commission
Re: PC 06-24
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West: R2 Single-Family Residence District; developed as Single-Family Residences and the Sheldon Peck homestead

ANALYSIS

SUBMITTALS

This report is based on the following documents:

1. Public Hearing Application, dated August 21, 2006
2. Site Plan Packet (includes existing conditions plan, site utility plan, site plan, bathhouse floor plan, concession floor plan, bath house building elevations), prepared by Cordogan, Clark and Associates, Inc., dated August 7, 2006.
3. Color site plan, bath house elevation and concession elevation renderings, prepared by Cordogan, Clark and Associates, Inc., dated July 25, 2006.

DESCRIPTION

The Park District is proposing to upgrade and modernize the existing Moran Water Park facility located within Lombard Common. As the existing facility is a legal non-conforming use, approval of a new conditional use from the Village is required. The Park District has already submitted for building permits and will begin demolition activities and start construction in October, 2006.

INTER-DEPARTMENTAL REVIEW COMMENTS

BUILDING AND FIRE

The Bureau of Inspectional Services has reviewed the petition and does not have any comments on the conditional use request. Specific comments are being addressed as part of the building permit submittal.

PUBLIC WORKS

Public Works has reviewed the petition and does not have any comments on the petition other than those noted within the Private Engineering Services (below).

ENGINEERING

Noted below are the square foot impervious surface comparisons for the existing and proposed swimming pool/water park areas as determined by the petitioner's consultant:

Water Park Design Pool Areas Comparisons of Impervious Area (square feet)

	<u>Existing</u>	<u>Proposed</u>
Lap Pool > 4'	4,200	4,045
Bulkhead	400	N/A
Dive Pool	2,000	N/A
Splash (body) Pool	900	900
Tube Plunge	N/A	635
Leisure Pool	9,185	3,340
Lazy River	<u>N/A</u>	<u>4,944</u>
Total	16,685	13,864

Existing hard surface areas inside fence:	38,533 sq. ft.	Proposed hard surfaces:	42,179 sq. ft.
Existing pool dimensions:	<u>16,685 sq. ft.</u>	Proposed pool areas:	<u>15,745 sq. ft.</u>

Totals	55,218 sq. ft.		57,924 sq. ft.
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The Private Engineering Services Division has reviewed the petition and offers the following comment:

1. The petitioner shall modify the engineering plan and provide supplemental documents prior to issuance of a building permit per the review comments in the Village's August 28, 2006 letter to the petitioner. This includes a comment that a thirty-foot wide utility easement shall be granted over the proposed fire hydrant leg as well as over the existing water mains and sanitary sewers adjacent to the water park and throughout the rest of Lombard Common Park.

PLANNING

According to the petitioner, the pool was initially constructed within the park 49 years ago. The current water park slides were erected 19 years ago. The Lombard Park District Board approved plans to renovate the water park facility earlier this year to modernize the recreational offerings to residents and guests and to address existing deficiencies. These improvements include:

1. Removal of the existing diving tank.
2. Relocating the existing pool from its current location to a new location at the south end of the water park complex.
3. Replacement of the existing concession building with a new facility designed to be compatible with the other water park improvements.
4. Removal of the existing bath house and construction of separate men's and women's bath house buildings with family changing areas which will be located at the facility entrance.
5. Construction of a new lazy river and leisure pool with water apparatus.
6. Construction of an additional water slide with plunge pool.
7. Construction of cabana family picnic areas surrounding the water park.

Ancillary to the aforementioned improvements, the Park District will also construct requisite walkways and concrete areas surrounding the water features. Existing water, sanitary and storm sewer lines will be located accordingly. A service gravel road for Park District maintenance activities will be constructed along the east side of the water park which will connect to the pool mechanical building. New fencing will be provided along the south perimeter of the complex.

No improvements are proposed outside of the perimeter of the water park area. The existing community building, parking lot, public driveways and all other park improvements are intended to remain as-is.

Compliance with the Zoning Ordinance

Past zoning actions approved by the Village for the subject property include a sign size variation for the existing automatic changeable copy sign on the property (ZBA 89-03) as well as a variation from the parking lot curbing requirements (ZBA 95-03).

Parks and open space are listed as permitted uses within the within the Conservation/Recreation District. Recreational facilities, such as the water park, are listed as conditional uses within the Conservation/Recreation District. The existing water park is considered a legal non-conforming use as it predates the C/R District regulations. However, the proposed improvements constitute an increase in the degree of nonconformity and as such a new conditional use for the water park is required.

Attachment A is a copy of the response for the standards for conditional uses.

Compatibility with Surrounding Uses

The principal use of the site will still be a community park facility. The proposed improvements orient the uses and activities away from the perimeter of the park and the adjacent properties. The water park area will be effectively fenced and screened to minimize its visibility from adjacent properties. Therefore, the modified water park design should not create any additional impact on adjacent properties than currently found at the property.

Compliance with the Comprehensive Plan

The Long-Range Plan Map of the Comprehensive Plan recommends that the property be used as open space and recreational uses. The principal use of the property will still remain as parks and open space, which is consistent with the Comprehensive Plan. The Plan identifies the site for open space and recreational uses. Specifically, the Plan states as a primary community facility objective that "existing community facilities should be maintained and upgraded as required" (p.67). The Plan also notes that the Village should cooperate with other governmental agencies seeking to contribute to and improve the quality of life for residents. By providing for modern, attractive public facilities that meet the demographic needs of the community, the proposed improvements are consistent with the Plan's objectives.

FINDINGS AND RECOMMENDATIONS

The proposed conditional uses are compatible with the surrounding land uses and zoning. Based on the above, the Inter-Departmental Review Committee recommends that the Plan Commission make the following motion recommending approval of this petition:

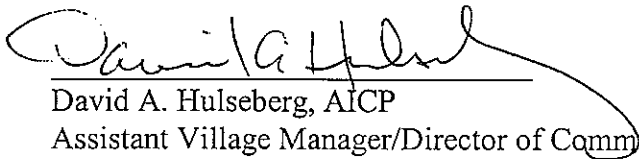
Based on the submitted petition and the testimony presented, the requested conditional use complies with the standards required by the Lombard Zoning Ordinance; and, therefore, I move that the Plan Commission accept the findings of the Inter-departmental Review Report as the findings of the Plan Commission and therefore I move that the Plan Commission recommend **approval** of PC 06-24, subject to the following conditions:

1. The site be developed in compliance with Site Plan Packet materials, prepared by Cordogan, Clark and Associates, Inc., dated July 25 and August 7, 2006 and submitted as part of this petition.
2. As part of the permit submittal, the petitioner shall satisfactory address the engineering preliminary permit review comments provided by the Village.

Plan Commission
Re: PC 06-24
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3. The petitioner shall dedicate to the Village a thirty-foot public utility easement over any existing and/or proposed public utilities on the subject property.

Inter-Departmental Review Report Approved By:



David A. Hulseberg, AICP
Assistant Village Manager/Director of Community Development

DAH/WJH:

att-

c. Petitioner

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Attachment A
STANDARDS FOR CONDITIONAL USES

SECTION 155.103 (F)(8) OF THE LOMBARD ZONING ORDINANCE:

No conditional use shall be recommended by the Plan Commission unless it finds:

1. *That the establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare;*

Response: The proposed improvements are intended to modernize the existing facility within the water park complex. As a public benefit, the redesigned plan will move the deep pool away from the bathhouse area and the lazy river – activities typically associated with smaller children.

2. *That the conditional use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish and impair property values within the neighborhood in which it is to be located;*

Response: The use of the site as a water park complex is well established. In fact, the use has been identified as an amenity to both the adjacent properties as well as the community. The proposed redesign and screening will be done consistent with the Village's zoning regulations and the mission of the Lombard Park District.

3. *That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;*

Response: The water park complex will not negatively impact the orderly development of adjacent properties. In fact, based upon discussions with the property owner/developer of the Oakview Estates Condominium development, the water park is an amenity to their overall development efforts.

4. *That the adequate public utilities, access roads, drainage and/or necessary facilities have been or will be provided;*

Response: The existing complex already meets this standard. The water park improvements will address any additional stormwater drainage concerns, as depicted within the plan submittal.

5. *That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;*

Response: The existing driveways provide proper access in and out of the site. The new entrance/bath house layout will enhance pedestrian circulation on-site.

6. *That the proposed conditional use is not contrary to the objectives of the current Comprehensive Plan for the Village of Lombard; and,*

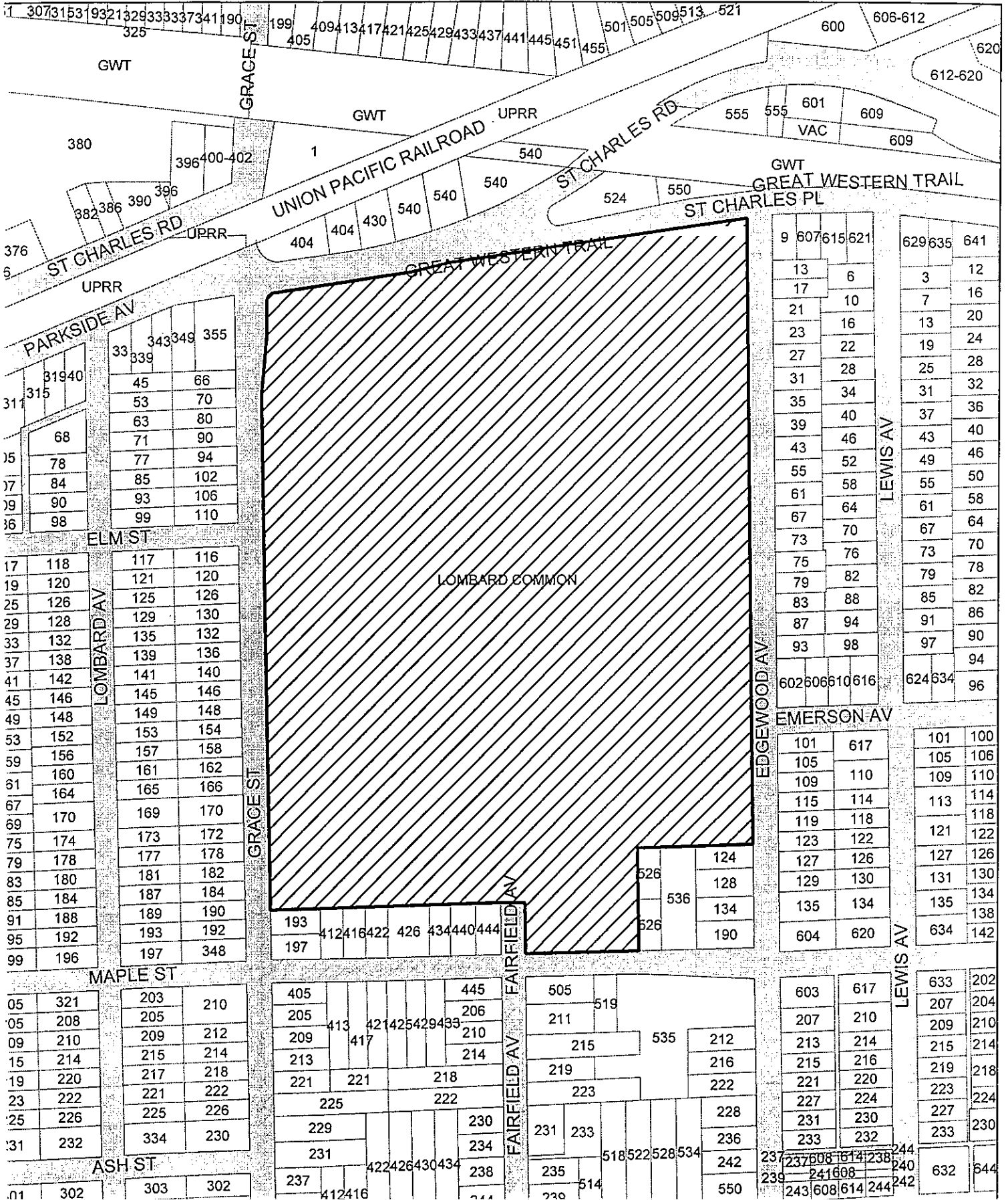
Response: The Plan identifies the site for open space and recreational uses. Specifically, the Plan states as a primary community facility objective that “existing community facilities should be maintained and upgraded as required”. The proposed water park improvements are intended to meet this standard.

7. *That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission*

Response: The use will meet all other provisions of the Zoning Ordinance and Village Code.

Location Map

PC 06-24



ORDINANCE NO. _____

AN ORDINANCE APPROVING A CONDITIONAL USE FOR A RECREATIONAL FACILITY (WATER PARK) IN THE CONSERVATION/RECREATION DISTRICT

PC 06-24: 433 East St. Charles Road (Moran Water Park)

WHEREAS, the President and Board of Trustees of the Village of Lombard have heretofore adopted the Lombard Zoning Ordinance, otherwise known as Title 15, Chapter 155 of the Lombard Village Code; and

WHEREAS, the Moran Water Park, located at 433 East St. Charles Road, within Lombard Common Park, as legally described in Section 1 below (the "Subject Property"), is zoned CR Conservation Recreation District; and

WHEREAS, an application has been filed with the Village of Lombard requesting approval of a conditional use for a recreational facility (water park) on the Subject Property (the "Petition"); and

WHEREAS, a public hearing was conducted by the Plan Commission on September 18, 2006, pursuant to appropriate and legal notice, and the Plan Commission recommended approval of the Petition, subject to conditions; and

WHEREAS, the President and Board of Trustees concur with the recommendation of the Plan Commission and have determined that it is in the best interest of the Village to approve the Petition.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LOMBARD, DU PAGE COUNTY, ILLINOIS, AS FOLLOWS:

SECTION 1: That the ordinance is limited and restricted to the property generally located at 433 East St. Charles Road, Lombard, Illinois, and legally described as follows:

Lot 1 in Lombard Commons Plat of Consolidation, being a subdivision of a part of the Northeast Quarter of Section 8, Township 39 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded November 4, 1999 as document R1999-232901, in DuPage County Illinois.

Parcel Number: 06-08-201-004

Ordinance _____

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SECTION 2: The President and Board of Trustees, hereby finds that the Petition does meet the standards for conditional uses and hereby grants a conditional use for a recreational facility (water park) on the Subject Property described in Section 1 above and subject to the conditions of approval set forth in Section 3.

SECTION 3: That the conditional use approval as set forth herein shall be subject to the following conditions:

1. The site be developed in compliance with Site Plan Packet materials, prepared by Cordogan, Clark and Associates, Inc., dated July 25 and August 7, 2006 and submitted as part of this Petition.
2. As part of the permit submittal, the Petitioner shall satisfactory address the engineering preliminary permit review comments provided by the Village.
3. The Petitioner shall dedicate to the Village a thirty-foot public utility easement over any existing and/or proposed public utilities on the subject property.

SECTION 4: This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as required by law.

Passed on first reading this ____ day of _____, 2006.

First reading waived by action of the Board of Trustees this ____ day of _____, 2006.

Passed on second reading this ____ day of _____, 2006, pursuant to a roll

call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this ____ day of _____, 2006.

Ordinance _____

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William J. Mueller
Village President

ATTEST:

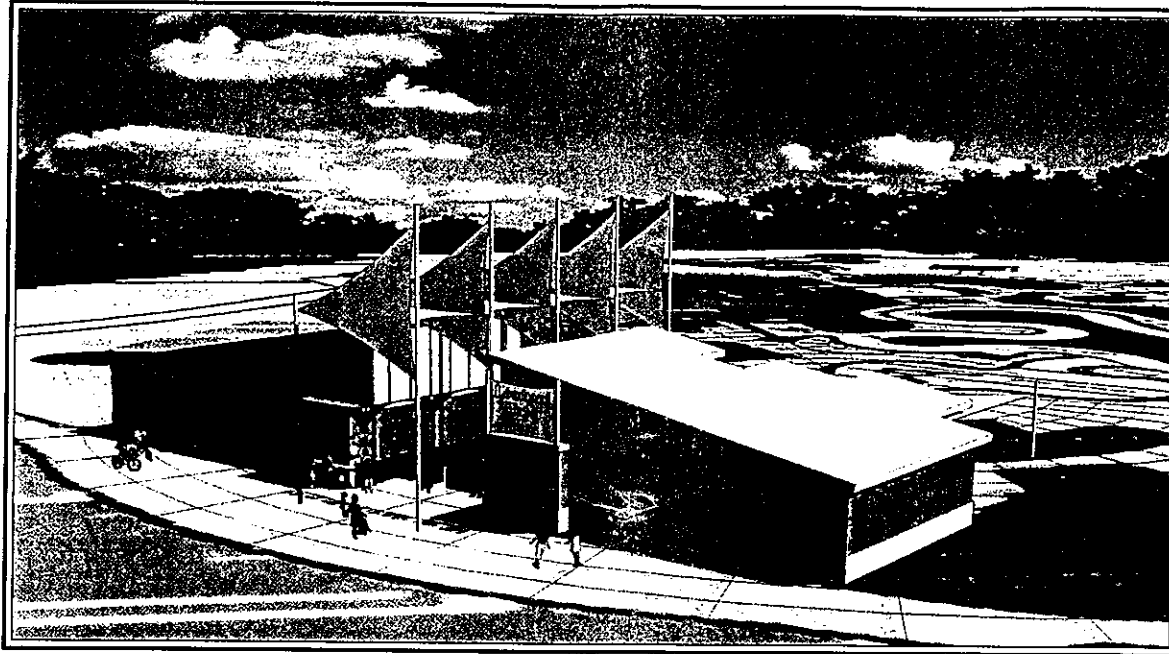
Brigitte O'Brien
Village Clerk

Published by me in pamphlet form this _____ day of _____, 2006.

Brigitte O'Brien
Deputy Village Clerk

LOMBARD WATER PARK

433 EAST ST. CHARLES RD.
LOMBARD, ILLINOIS



CORDOGAN, CLARK & ASSOCIATES
ARCHITECTS

PROJECT INFORMATION:

PROJECT ADDRESS: 433 EAST ST. CHARLES ROAD
LOMBARD, ILLINOIS

PROJECT DESCRIPTION: WATER PARK BATHHOUSE AND CONCESSIONS BUILDING

SITE ZONING: NO CHANGE TO EXISTING

BUILDING SETBACKS: FRONT: NO CHANGE TO EXISTING
REAR: NO CHANGE TO EXISTING
SIDE: NO CHANGE TO EXISTING

PARKING REQUIREMENTS: NO CHANGE TO EXISTING

PARKING PROVIDED: NO CHANGE TO EXISTING

CONCESSIONS BUILDING:

CONSTRUCTION TYPE: TYPE III

OCCUPANCY CLASSIFICATION: BUSINESS

HEIGHT LIMITATIONS: 3F AND 4 STORIES

ALLOWABLE AREA: 23,880 SF/FLOOR

BUILDING AREA: 877 SF.

OCCUPANT LOADS: 6 PEOPLE BPO / 3 PEOPLE BL PLUMBING

REQUIRED NUMBER OF EXITS: 2

EXIT WIDTH: 32" MINIMUM DOOR WIDTH

DESIGN LIVE LOADS: REFER TO STRUCTURAL DRAWINGS

SPRINKLER DESIGN: NFPA 13

BATH-HOUSE BUILDING(S):

CONSTRUCTION TYPE: TYPE III

OCCUPANCY CLASSIFICATION: UTILITY

HEIGHT LIMITATIONS: 3F AND 2 STORIES

ALLOWABLE AREA: 8,300 SF/FLOOR

BUILDING AREA:

A. MEN'S	1,943.5 SF.
B. WOMEN'S	1,943.5 SF.
C. FAMILY CHANGING	369 SF.
D. SHOWERS	369 SF.
TOTAL:	3,635 SF.

OCCUPANT LOAD:

A. MEN'S	36.9 PEOPLE
B. WOMEN'S	36.9 PEOPLE
C. FAMILY CHANGING	4.2 PEOPLE
D. SHOWERS	4.2 PEOPLE
TOTAL:	82.2 PEOPLE

REQUIRED NUMBER OF EXITS: 1 PER 'BUILDING'

EXIT WIDTH: 32" MINIMUM DOOR WIDTH

DESIGN LIVE LOADS: REFER TO STRUCTURAL DRAWINGS

SPRINKLER DESIGN: NFPA 13

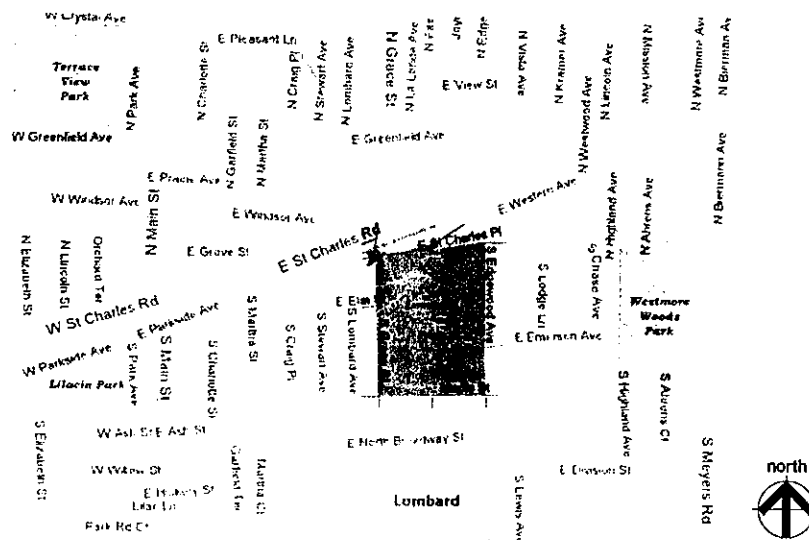
REQUIRED NUMBER OF EXITS: 1 PER 'BUILDING'

EXIT WIDTH: 32" MINIMUM DOOR WIDTH

DESIGN LIVE LOADS: REFER TO STRUCTURAL DRAWINGS

SPRINKLER DESIGN: NFPA 13

VICINITY MAP:



DESIGN CODES:

BUILDING: 2000 INTERNATIONAL BUILDING CODE
ACCESSIBILITY: 1997 ILLINOIS ACCESSIBILITY CODE
FIRE PREVENTION: 2000 INTERNATIONAL FIRE CODE
2000 NFPA 101 LIFE SAFETY
1999 NFPA FIRE PROTECTION

PLUMBING: 2004 STATE OF ILLINOIS PLUMBING CODE
ELECTRICAL: 1990 NATIONAL ELECTRICAL CODE
MECHANICAL: 2000 INTERNATIONAL MECHANICAL CODE

SYMBOLS LEGEND:

- ROOM NAME:** ROOM NAME (TOP) AND ROOM NUMBER (BOTTOM)
- ▭ INTERIOR ELEVATION - ELEVATION No. (TOP), SHEET No. (BOTTOM)
- ⊗ DETAIL REFERENCE - DETAIL No. (TOP), SHEET No. (BOTTOM)
- ⊥ BUILDING WALL SECTION - SECTION No. (TOP), SHEET No. (BOTTOM)
- ⊙ BUILDING COLUMN GRID LINE
- ⊙ KEYED NOTE - SEE SCHEDULES

SHEET INDEX:

T10 TITLE SHEET GENERAL INFORMATION	PLUMBING:
CIVIL:	P1.0 PLUMBING - SITE PLAN
C2.0 EXISTING CONDITIONS PLAN	P1.1 PLUMBING - BATHHOUSE FLOOR PLAN
C3.0 SITE UTILITY PLAN	P2.0 PLUMBING - CONCESSIONS & MECHANICAL BUILDING FLOOR PLANS
C4.0 PERM. DRAIN	P2.1 PLUMBING - DOMESTIC WATER BOWSER/C
C5.0 DETAILS	P2.2 PLUMBING - WASTE & VENT BOWSER/C
C6.0 NOTES	P4.1 PLUMBING - PICTURE SCHEDULE, NOTES & DETAILS
ARCHITECTURAL:	ELECTRICAL:
A1.0 SITE PLAN	E1.0 ELECTRICAL SYMBOL LIST
A2.0 LANDSCAPE PLAN	E1.1 ELECTRICAL SITE PLAN
A11.0 DEMOLITION PLAN - SITE PLAN	E1.2 ELECTRICAL POWER PLAN - BATH HOUSE
A12.0 DEMOLITION PLAN - MECHANICAL BUILDING	E1.3 ELECTRICAL POWER PLAN - CONCESSIONS/MECHANICAL
A21.0 FLOOR PLAN - BATH HOUSE	E1.4 ELECTRICAL LIGHTING PLAN - BATH HOUSE
A22.0 FLOOR PLAN - CONCESSIONS/MECHANICAL AND WALL TYPES	E1.5 ELECTRICAL LIGHTING PLAN - CONCESSIONS/MECHANICAL
A23.0 TOILET FUTURE/ACCESSORY (LEGEND); TYPICAL MOUNTING HEIGHTS	E4.1 ELECTRICAL SCHEDULES & DETAILS
A41.0 REFLECTED CEILING PLAN - BATH HOUSE	E4.2 ELECTRICAL SCHEDULES & DETAILS
A42.0 REFLECTED CEILING PLAN - CONCESSIONS/MECHANICAL	FIRE PROTECTION:
A43.0 ROOF PLAN - BATH HOUSE	F1.0 FIRE PROTECTION - SITE PLAN
A44.0 ROOF PLAN - CONCESSIONS/MECHANICAL	F1.1 FIRE PROTECTION - BATH HOUSE FLOOR PLAN
A51.0 BUILDING ELEVATIONS - BATH HOUSE	F1.2 FIRE PROTECTION - CONCESSIONS & MECHANICAL BUILDING FLOOR PLANS, NOTES & DETAILS
A52.0 BUILDING ELEVATIONS - BATH HOUSE	AQUATICS:
A53.0 BUILDING ELEVATIONS - FAMILY CHANGING & MANAGER / CLERK	A1.0 OVERALL AQUATIC PLAN
A54.0 BUILDING ELEVATIONS - CONCESSIONS/MECHANICAL BUILDING	A1.1 LAP POOL PLAN VIEW & DETAILS
A61.0 BUILDING SECTIONS - BATH HOUSE	A1.2 LAP POOL SECTION & DETAILS
A62.0 BUILDING SECTIONS - CONCESSIONS	A1.3 LAP POOL SECTION & DETAILS
A63.0 WALL SECTIONS - BATH HOUSE	A1.4 COMPETITION POOL DETAILS
A71.0 PLAN DETAILS	A1.5 PLUMBING POOL DIMENSION PLAN, SECTIONS, & DETAILS
A72.0 PLAN DETAILS	A1.6 LURE POOL PLAN & DETAILS
A73.0 ALLWORK ELEVATIONS, SECTIONS, DETAILS	A1.7 LURE POOL DIMENSION PLAN & DETAILS
A81.0 DOOR SCHEDULE, DOOR/WINDOW TYPES	A1.8 LURE POOL LATE VENT PLUMBING POOL SECTIONS & DETAILS
A82.0 DOOR AND WINDOW DETAILS	A1.9 LURE POOL LATE VENT PLUMBING POOL DETAILS
A83.0 ROOM FINISH SCHEDULE	A1.10 STRUCTURAL DETAILS
STRUCTURAL:	A1.11 CUTTIE & DECK EDGE DETAILS
S1.0 GENERAL STRUCTURAL NOTES & TYPICAL FOUNDATION DETAILS	A1.12 OVERALL POOL, FINISH PLAN VIEW, HOTEL DETAILS
S2.0 BATH HOUSE FOUNDATION PLAN	A1.13 LAP POOL FINISH PLAN AND DETAILS
S3.0 MECH. BUNKER/TANK, STABLES, & CONCESSIONS FOUNDATION PLANS	A1.14 PLUMBING POOL FINISH PLAN
S4.0 BATH HOUSE ROOF FINISH PLAN	A1.15 LURE POOL / LAZY RIVER / PLUMBING POOL RETRACTION FINISH PLAN & DETAILS
S5.0 BATH HOUSE ROOF FINISH PLAN	A1.16 PLUMBING POOL RETRACTION FINISH PLAN & DETAILS
S6.0 JERK TOWER & CONCESSION ROOF FINISH PLAN	A1.17 LAZY RIVER PROFILING AMONG PLAN
S7.0 FOUNDATION SECTIONS & TYPICAL DETAILS	A1.18 MECHANICAL AND RETRACTION DETAILS
S8.0 FOUNDATION SECTIONS & TYPICAL DETAILS	A1.19 MECHANICAL ROOM PLAN, EQUIPMENT LIST, & DETAILS
S9.0 LATE SCHEDULE & ROOF FINISHING SECTIONS & DETAILS	A1.20 MECHANICAL AND RETRACTION DETAILS
S10.0 ROOF FINISHING SECTIONS & TYPICAL DETAILS	A1.21 LAP POOL, RETRACTION BOWSER/C AND VALVE LEGEND
MECHANICAL:	A1.22 PLUMBING POOL, RETRACTION BOWSER/C AND VALVE LEGEND
M2.0 MECHANICAL - BATH HOUSE FLOOR PLAN	A1.23 OVERALL DECK LAYOUT
M2.1 MECHANICAL - CONCESSIONS & MECHANICAL BUILDING FLOOR PLANS	A1.24 NORTH DECK LAYOUT
M2.2 MECHANICAL - EQUIPMENT SCHEDULES, NOTES & DETAILS	A1.25 AQUATIC CENTER DECK LAYOUT SOUTH
	A1.26 NORTH DECK LAYOUT
	A1.27 AQUATIC CENTER DECK LAYOUT NORTH
	A1.28 AQUATIC CENTER DECK LAYOUT SOUTH
	A1.29 DECK CHAIRING PLAN NORTH
	A1.30 DECK CHAIRING PLAN SOUTH
	A1.31 FINISHING & BARBER DETAILS
	A1.32 SHADE LAYOUT AND DETAILS

CORDOGAN, CLARK & ASSOCIATES INC.
ARCHITECTS & ENGINEERS
433 EAST ST. CHARLES ROAD
LOMBARD, ILLINOIS 60148
TEL: 630.991.4477



WATER TECHNOLOGY, INC.
3000 WESTERN AVE.
LIBERTY, MISSOURI 64068
TEL: 816.788.4600

LOMBARD WATER PARK
433 EAST ST. CHARLES ROAD
LOMBARD PARK DISTRICT

COVER SHEET

JOB NUMBER	06340
DATE	08.07.06
SHEET	810 SET
REVISIONS	

T1.0

TOPOGRAPHIC SURVEY

THAT PART OF LOMBARD COMMONS PARK
(FORMER WATER PARK)

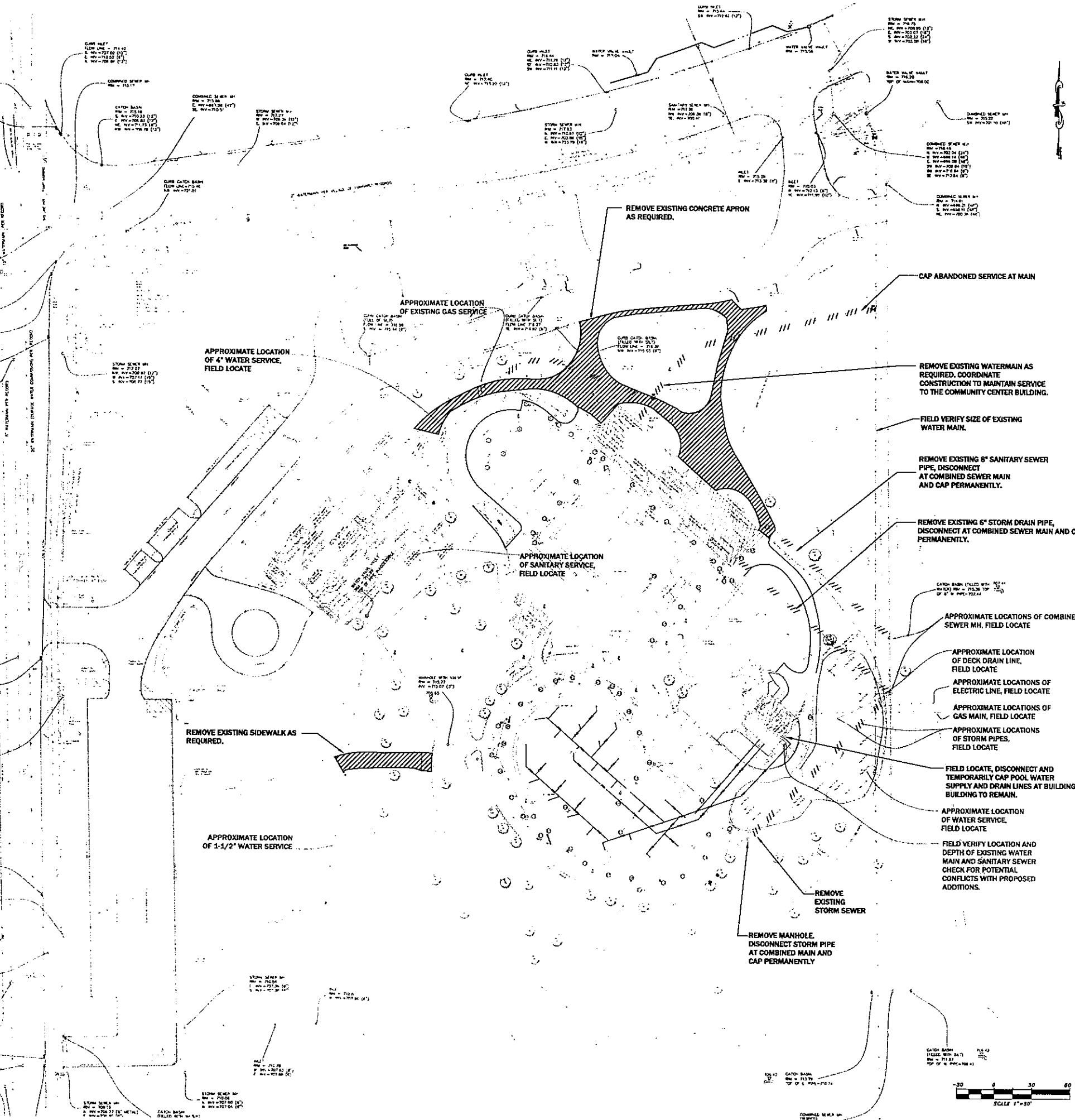
IS A LOMBARD COMMONS PLAT OF CONVEYANCE IN PART OF SECTION 104(1), TOWNSHIP 34 NORTH, RANGE 12 EAST OF THE 10TH PRINCIPAL MERIDIAN, (ENCLOSING HERETO), THAT PART DESIGNATED FOR RECORD AND DOCUMENT 10001-114386 ACCORDING TO THE PLAT OF LOMBARD COMMONS PLAT OF CONVEYANCE RECORDED HOMERUN 4, 1998 AS DOCUMENT NO. 10001-114386 IN DECATUR COUNTY, GEORGIA.

NOTES:
1. THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEY BY GENTLE AND ASSOCIATES, INC. CONDUCTED ON 08/07/06. THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS BASED ON FIELD SURVEY AND ARE NOT TO BE CONSIDERED AS EXACT LOCATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
2. THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS BASED ON FIELD SURVEY AND ARE NOT TO BE CONSIDERED AS EXACT LOCATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
3. THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS BASED ON FIELD SURVEY AND ARE NOT TO BE CONSIDERED AS EXACT LOCATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
4. THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS BASED ON FIELD SURVEY AND ARE NOT TO BE CONSIDERED AS EXACT LOCATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.

1) DRAINAGE COVER ELEVATION=717.80	32) DRAINAGE COVER ELEVATION=717.96	63) DRAINAGE COVER ELEVATION=717.96
2) DRAINAGE COVER ELEVATION=717.80	33) DRAINAGE COVER ELEVATION=717.96	64) DRAINAGE COVER ELEVATION=717.96
3) DRAINAGE COVER ELEVATION=717.80	34) DRAINAGE COVER ELEVATION=717.96	65) DRAINAGE COVER ELEVATION=717.96
4) DRAINAGE COVER ELEVATION=717.80	35) DRAINAGE COVER ELEVATION=717.96	66) DRAINAGE COVER ELEVATION=717.96
5) DRAINAGE COVER ELEVATION=717.80	36) DRAINAGE COVER ELEVATION=717.96	67) DRAINAGE COVER ELEVATION=717.96
6) DRAINAGE COVER ELEVATION=717.80	37) DRAINAGE COVER ELEVATION=717.96	68) DRAINAGE COVER ELEVATION=717.96
7) DRAINAGE COVER ELEVATION=717.80	38) DRAINAGE COVER ELEVATION=717.96	69) DRAINAGE COVER ELEVATION=717.96
8) DRAINAGE COVER ELEVATION=717.80	39) DRAINAGE COVER ELEVATION=717.96	70) DRAINAGE COVER ELEVATION=717.96
9) DRAINAGE COVER ELEVATION=717.80	40) DRAINAGE COVER ELEVATION=717.96	71) DRAINAGE COVER ELEVATION=717.96
10) DRAINAGE COVER ELEVATION=717.80	41) DRAINAGE COVER ELEVATION=717.96	72) DRAINAGE COVER ELEVATION=717.96
11) DRAINAGE COVER ELEVATION=717.80	42) DRAINAGE COVER ELEVATION=717.96	73) DRAINAGE COVER ELEVATION=717.96
12) DRAINAGE COVER ELEVATION=717.80	43) DRAINAGE COVER ELEVATION=717.96	74) DRAINAGE COVER ELEVATION=717.96
13) DRAINAGE COVER ELEVATION=717.80	44) DRAINAGE COVER ELEVATION=717.96	75) DRAINAGE COVER ELEVATION=717.96
14) DRAINAGE COVER ELEVATION=717.80	45) DRAINAGE COVER ELEVATION=717.96	76) DRAINAGE COVER ELEVATION=717.96
15) DRAINAGE COVER ELEVATION=717.80	46) DRAINAGE COVER ELEVATION=717.96	77) DRAINAGE COVER ELEVATION=717.96
16) DRAINAGE COVER ELEVATION=717.80	47) DRAINAGE COVER ELEVATION=717.96	78) DRAINAGE COVER ELEVATION=717.96
17) DRAINAGE COVER ELEVATION=717.80	48) DRAINAGE COVER ELEVATION=717.96	79) DRAINAGE COVER ELEVATION=717.96
18) DRAINAGE COVER ELEVATION=717.80	49) DRAINAGE COVER ELEVATION=717.96	80) DRAINAGE COVER ELEVATION=717.96
19) DRAINAGE COVER ELEVATION=717.80	50) DRAINAGE COVER ELEVATION=717.96	81) DRAINAGE COVER ELEVATION=717.96
20) DRAINAGE COVER ELEVATION=717.80	51) DRAINAGE COVER ELEVATION=717.96	82) DRAINAGE COVER ELEVATION=717.96
21) DRAINAGE COVER ELEVATION=717.80	52) DRAINAGE COVER ELEVATION=717.96	83) DRAINAGE COVER ELEVATION=717.96
22) DRAINAGE COVER ELEVATION=717.80	53) DRAINAGE COVER ELEVATION=717.96	84) DRAINAGE COVER ELEVATION=717.96
23) DRAINAGE COVER ELEVATION=717.80	54) DRAINAGE COVER ELEVATION=717.96	85) DRAINAGE COVER ELEVATION=717.96
24) DRAINAGE COVER ELEVATION=717.80	55) DRAINAGE COVER ELEVATION=717.96	86) DRAINAGE COVER ELEVATION=717.96
25) DRAINAGE COVER ELEVATION=717.80	56) DRAINAGE COVER ELEVATION=717.96	87) DRAINAGE COVER ELEVATION=717.96
26) DRAINAGE COVER ELEVATION=717.80	57) DRAINAGE COVER ELEVATION=717.96	88) DRAINAGE COVER ELEVATION=717.96
27) DRAINAGE COVER ELEVATION=717.80	58) DRAINAGE COVER ELEVATION=717.96	89) DRAINAGE COVER ELEVATION=717.96
28) DRAINAGE COVER ELEVATION=717.80	59) DRAINAGE COVER ELEVATION=717.96	90) DRAINAGE COVER ELEVATION=717.96
29) DRAINAGE COVER ELEVATION=717.80	60) DRAINAGE COVER ELEVATION=717.96	91) DRAINAGE COVER ELEVATION=717.96
30) DRAINAGE COVER ELEVATION=717.80	61) DRAINAGE COVER ELEVATION=717.96	92) DRAINAGE COVER ELEVATION=717.96
31) DRAINAGE COVER ELEVATION=717.80	62) DRAINAGE COVER ELEVATION=717.96	93) DRAINAGE COVER ELEVATION=717.96

GENERAL NOTES

- REFER TO DRAWING A11 FOR GENERAL DEMOLITION DESCRIPTION AND NOTES.
- REMOVE PIPING ASSOCIATED WITH POOLS WATER SUPPLY, UNDER DRAINS AND DECK DRAINS AS REQUIRED.
- NOTIFY ARCHITECT OF POTENTIAL CONFLICTS.
- EXISTING CONDITIONS BASED ON FIELD SURVEY BY GENTLE AND ASSOCIATES, DESIGN DRAWINGS AND FIELD VISIT. CONTRACTOR SHALL FIELD VERIFY AS REQUIRED.



CONDOGAN, CLARK & ASSOCIATES, INC.
ARCHITECTS & ENGINEERS

Water Technology, Inc.
CONSTRUCTION TECHNOLOGY SOLUTIONS

SEIBERT
ENGINEERS

LOMBARD WATER PARK
433 EAST ST. CHARLES ROAD
LOMBARD PARK DISTRICT

EXISTING CONDITIONS PLAN

JOB NUMBER
06340

DATE
08/07/06

NO SET

REVISIONS

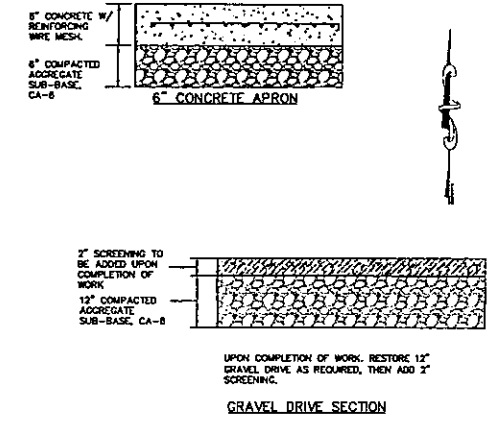
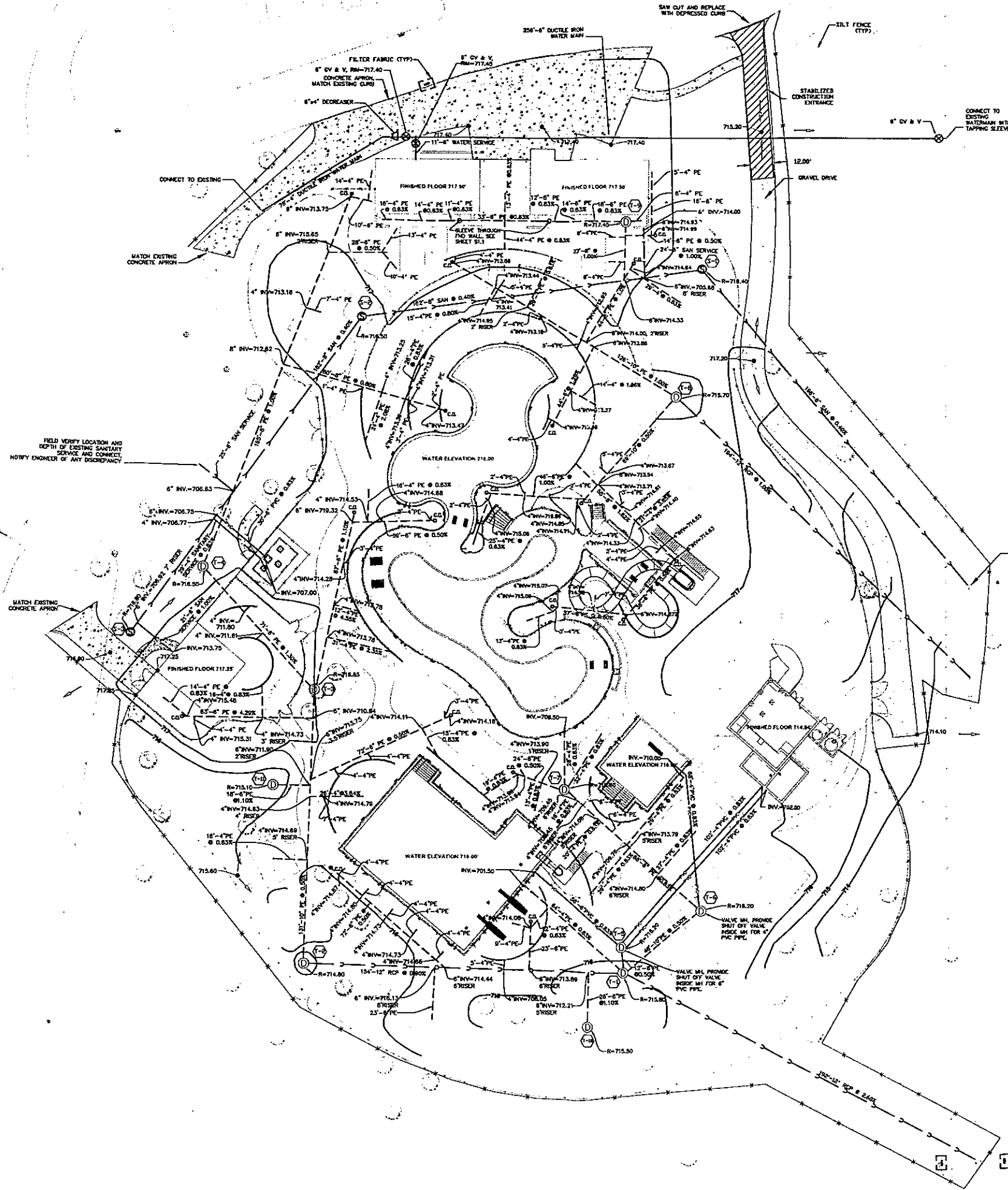
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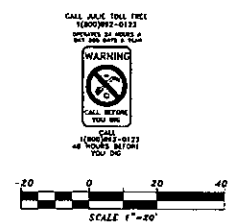
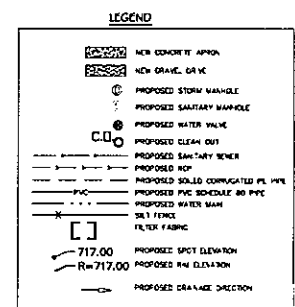
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STRUCTURE	RIM	INVERTS	STRUCTURE TYPE	CASTING
1.1	725.50	708.24 @ 12"	48" MANHOLE TYPE A	NEENAH R-2501
1.2	714.25	700.97 @ 12"	48" MANHOLE TYPE A	NEENAH R-2501
1.3	714.25	705.52 @ 12"	48" MANHOLE TYPE A	NEENAH R-2501
1.4	716.50	711.80 @ 6" @ 5'-10"	48" MANHOLE TYPE A	NEENAH R-2501
1.5	715.20	701.15 @ 4"	48" MANHOLE TYPE A	NEENAH R-2501
1.6	716.20	705.44 @ 4"	48" MANHOLE TYPE A	NEENAH R-2501
1.7	716.50	708.24 @ 12"	48" MANHOLE TYPE A	NEENAH R-2501
1.8	715.70	714.02 @ 10"	48" MANHOLE TYPE A	NEENAH R-2501
1.9	717.45	714.97 @ 8"	24" CATCH BASIN TYPE C	NEENAH R-1791
1.10	715.50	712.30 @ 6"	24" CATCH BASIN TYPE C	NEENAH R-1791
1.11	715.10	712.10 @ 6"	24" CATCH BASIN TYPE C	NEENAH R-1791

STRUCTURE	RIM	INVERTS	STRUCTURE TYPE	CASTING
S-1	716.40	705.65	48" MH	NEENAH R-1772-C WITH TYPE F HANDLES
S-2	716.50	706.23	48" MH	NEENAH R-1772-C WITH TYPE F HANDLES
S-3	715.80	706.96	48" MH	NEENAH R-1772-C WITH TYPE F HANDLES



- GENERAL NOTES**
- REFER TO PLUMBING AND FIRE PROTECTION DRAWINGS FOR WATER MAIN PIPING WITH THE POOL COMPLEX.
 - REFER TO AQUATICS DRAWING FOR SERVICE PIPING WITHIN THE POOL COMPLEX.
 - REFER TO AQUATICS DRAWING FOR GRADING WITHIN THE POOL COMPLEX.
 - WORK SHALL BE IN ACCORDANCE WITH THE VILLAGE OF LOMBARD STANDARDS, NOTES AND SPECIFICATIONS.

LOMBARD WATER PARK
453 EAST ST. CHARLES ROAD
LOMBARD PARK DISTRICT

SITE UTILITY PLAN

JOB NUMBER
06340

DATE
8.07.06

BY
BD

REVISIONS

SHEET

C2.0

CONDIGAN, CLARK & ASSOCIATES INC.
ARCHITECTS - ENGINEERS

WATER TECHNOLOGY, INC.
CONSTRUCTION MANAGEMENT

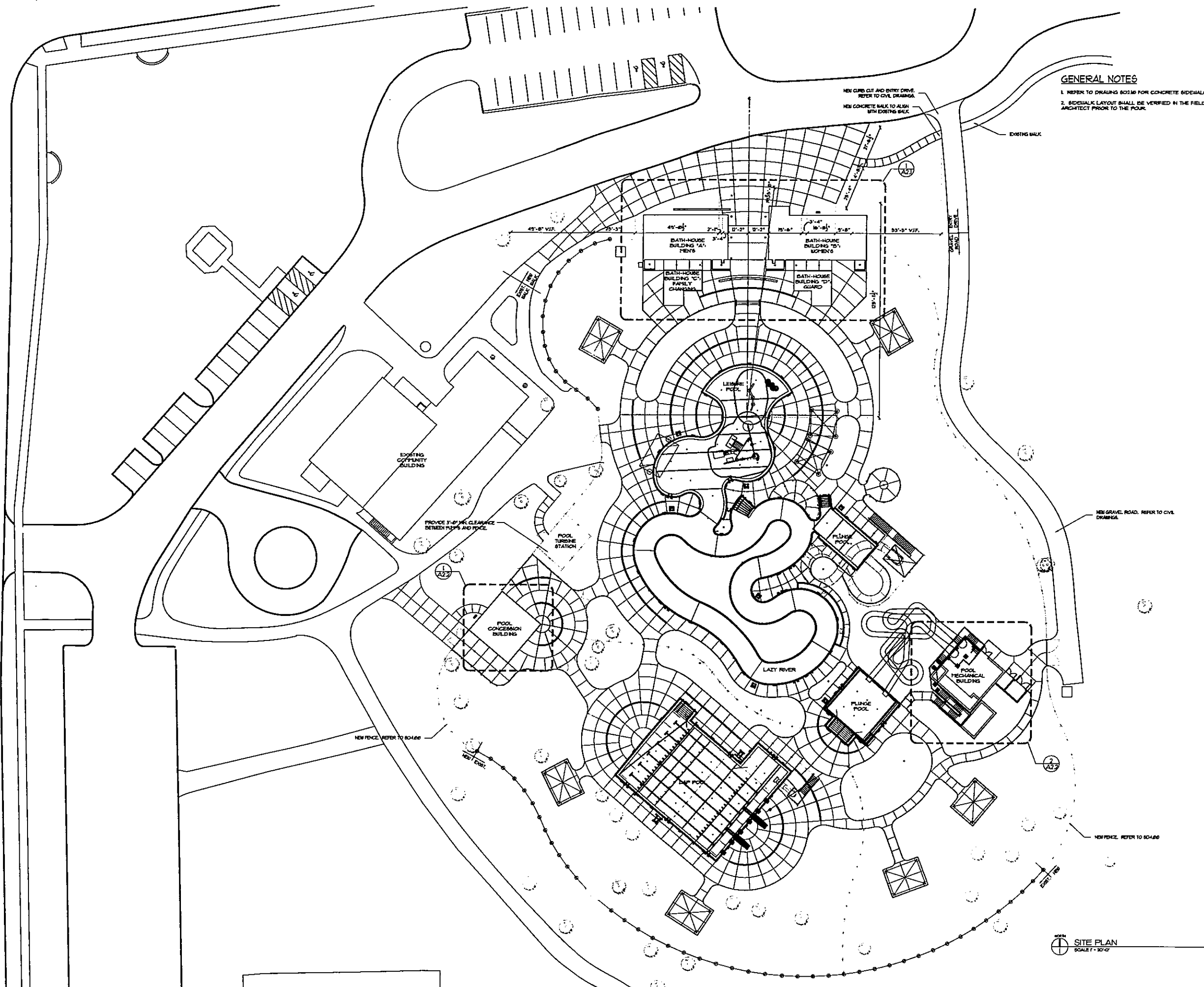
SIEBERT
PROJECT INC.



REVISIONS

GENERAL NOTES

- REFER TO DRAWING 802.10 FOR CONCRETE SIDEWALK DETAILS.
- SIDEWALK LAYOUT SHALL BE VERIFIED IN THE FIELD BY THE ARCHITECT PRIOR TO THE POUR.

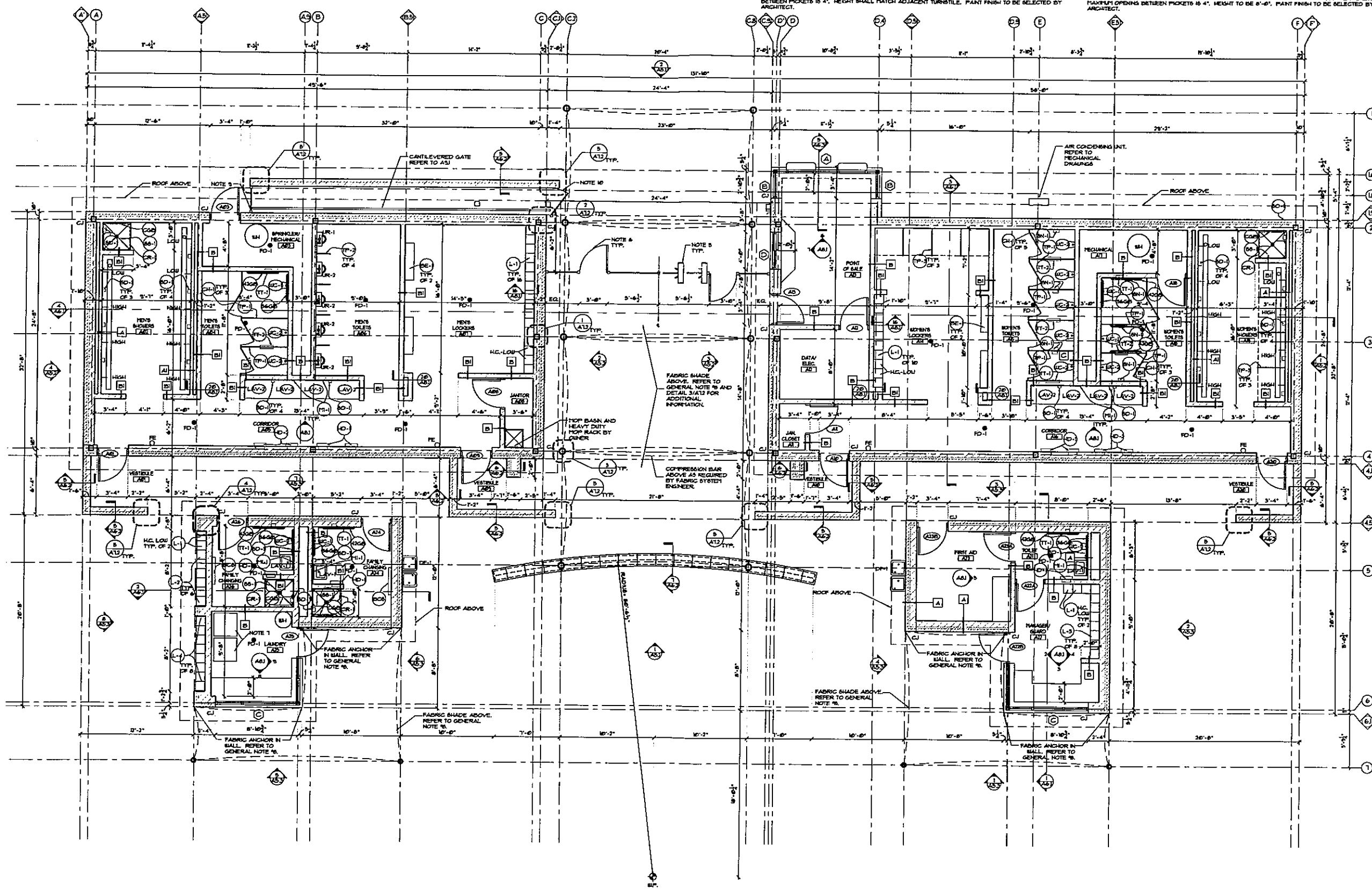


SITE PLAN
 SCALE: 1" = 30'-0"

GENERAL NOTES

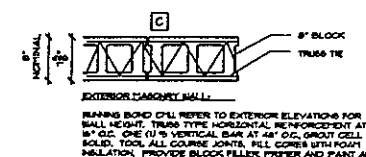
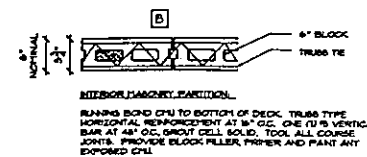
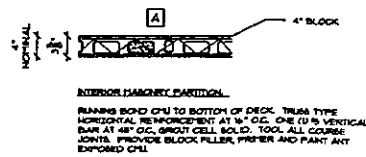
1. FLOORS ARE TO SLOPE 1" IN 16'-0" TOWARDS FLOOR DRAINS.
2. INSTALL SURFACE MOUNTED PORTABLE FIRE EXTINGUISHERS PER THE REQUIREMENTS OF NFPA 10 WITH A MOUNTING HEIGHT IN COMPLIANCE WITH THE ILLINOIS ACCESSIBILITY CODE THROUGHOUT UNLESS NOTED OTHERWISE.
3. REFER TO DRAWING A13 FOR PARTITION TYPES.
4. REFER TO DRAWING A13 FOR THE TOILET ACCESSORIES SCHEDULE AND TYPICAL MOUNTING HEIGHTS.
5. PROVIDE STAINLESS STEEL ELECTRIC TURNSTILE WITH REPEATABLE COUNTER (FORMED MODEL TUT-8888) OR ARCHITECT APPROVED EQUAL.
6. PROVIDE 4 GA. GALVANIZED STEEL PICKET FENCE WITH 3'-0" SELF-CLOSING SWING GATE WITH HANDICAP ACCESSIBLE LATCH. PROVIDE 1 1/2" SQUARE TUBE POSTS AND 1/2" SQUARE PICKETS. PLACEMENT OPENING BETWEEN PICKETS IS 4". HEIGHT SHALL MATCH ADJACENT TURNSTILE. PAINT FINISH TO BE SELECTED BY ARCHITECT.

7. APPLIANCES BY OWNER.
8. DRAWINGS FOR THE FABRIC STRUCTURES ARE FOR DESIGN CONCEPT ONLY. ALL STRUCTURAL, MEMBERS, CONNECTIONS AND FABRIC DESIGNS SHALL BE PREPARED BY THE FABRIC SYSTEM SPECIALIST UNDER THE SUPERVISION OF AN ILLINOIS LICENSED STRUCTURAL ENGINEER. ALL CALCULATIONS SHALL BE SIGNED AND SEALED BY THE ILLINOIS LICENSED STRUCTURAL ENGINEER AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. REFER TO DETAIL S/A13 FOR ADDITIONAL INFORMATION.
9. PROVIDE 4 GA. GALVANIZED STEEL PICKET FENCE. PROVIDE 1 1/2" SQUARE TUBE POSTS AND 1/2" SQUARE PICKETS. PLACEMENT OPENING BETWEEN PICKETS IS 4". HEIGHT TO BE 8'-0". FENCE PICKET STRUCTURE TO BE REMOVABLE PICKET FENCE POSTS FOR MAINTENANCE ACCESS TO CANTILEVERED GATE. PAINT FINISH TO BE SELECTED BY ARCHITECT.
10. PROVIDE 4 GA. GALVANIZED STEEL LOCKABLE GATE. COORDINATE GATE CONSTRUCTION WITH CANTILEVERED GATE INSTALLATION. PROVIDE 1 1/2" SQUARE TUBE POSTS AND 1/2" SQUARE PICKETS. PLACEMENT OPENING BETWEEN PICKETS IS 4". HEIGHT TO BE 8'-0". PAINT FINISH TO BE SELECTED BY ARCHITECT.



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PARTITION TYPES



GENERAL NOTES:

1. ALL PARTITION TYPES IN DRAWINGS ARE SHOWN AT NOMINAL DIMENSIONS.
2. ALL EXPOSED TOP COURSES OF BLOCK INCLUDING ALL LOCATIONS ARE TO BE A SOLID CAP PIECE WITH BULLNOSED OUTSIDE CORNERS.
3. AT ALL LOCATIONS WHERE FINISH IS EXPOSED OR PARTLY EXPOSED, IT SHALL BE STAINLESS STEEL. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

GENERAL NOTES

1. FLOORS ARE TO SLOPE 1" IN 10'-0" TOWARDS FLOOR DRAINS.
2. INSTALL SURFACE MOUNTED PORTABLE FIRE EXTINGUISHERS PER THE REQUIREMENTS OF NFPA 10 WITH A MOUNTING HEIGHT IN COMPLIANCE WITH THE ILLINOIS ACCESSIBILITY CODE THROUGHOUT UNLESS NOTED OTHERWISE.
3. REFER TO DRAWING A23 FOR THE TOILET ACCESSORIES SCHEDULE AND TYPICAL MOUNTING HEIGHTS.
4. REFER TO DRAWING A21 FOR SLIDE TOWER STAIR PLAN.

KITCHEN EQUIPMENT SCHEDULE

GENERAL NOTES:

1. ITEMS INDICATED ARE TO BE SUPPLIED BY OWNER. ELECTRICAL PLUMBING CONTRACTOR TO PROVIDE FINAL HOOPUP FOR EQUIPMENT. SEE TYPE DRAWING.
2. ITEMS 1, 3, 4, 5, 6, 8, 9, 10, 11, AND 12 SHALL BE EQUIPPED WITH CASTERS.
3. ALL EQUIPMENT SHALL BE NSF OR EQUIVALENT.
4. CALC AND SEAL ALL EXPOSED EQUIPMENT TO WALLS AND FLOORS.
5. ALL FOOD SERVICE EQUIPMENT MUST COMPLY WITH THE NATIONAL SANITATION FOUNDATION (NSF) OR RECOGNIZED EQUIVALENT STANDARDS.

MARK	ITEM DESCRIPTION
1	POPCORN MACHINE
2	PIZZA BARRIER
3	PRETZEL BARBER
4	HOT DOG STEAKER
5	PIZZA OVEN
6	SOFT DRINK DISPENSER - 8 SPOCKETS
7	CHEESE BARBER
8	SLUSH MACHINE - 3 FLAVOR
9	ICE CREAM FREEZER
10	ICE MACHINE
11	REFRIGERATOR
12	FREEZER
13	FREEZER
14	FRIDGE
15	CASH REGISTER
16	VENDING
17	WORK TABLE
18	STORAGE RACK
19	DISPLAY REFRIGERATOR

CONOCCAN, CLARK & ASSOCIATES, INC.
ARCHITECTS - ENGINEERS - PLANNERS
718 North West Street
Chicago, IL 60610
Tel: 312.467.1000
Fax: 312.467.0800

WATER TECHNOLOGY, INC.
433 EAST ST. CHARLES ROAD
LOMBARD PARK DISTRICT

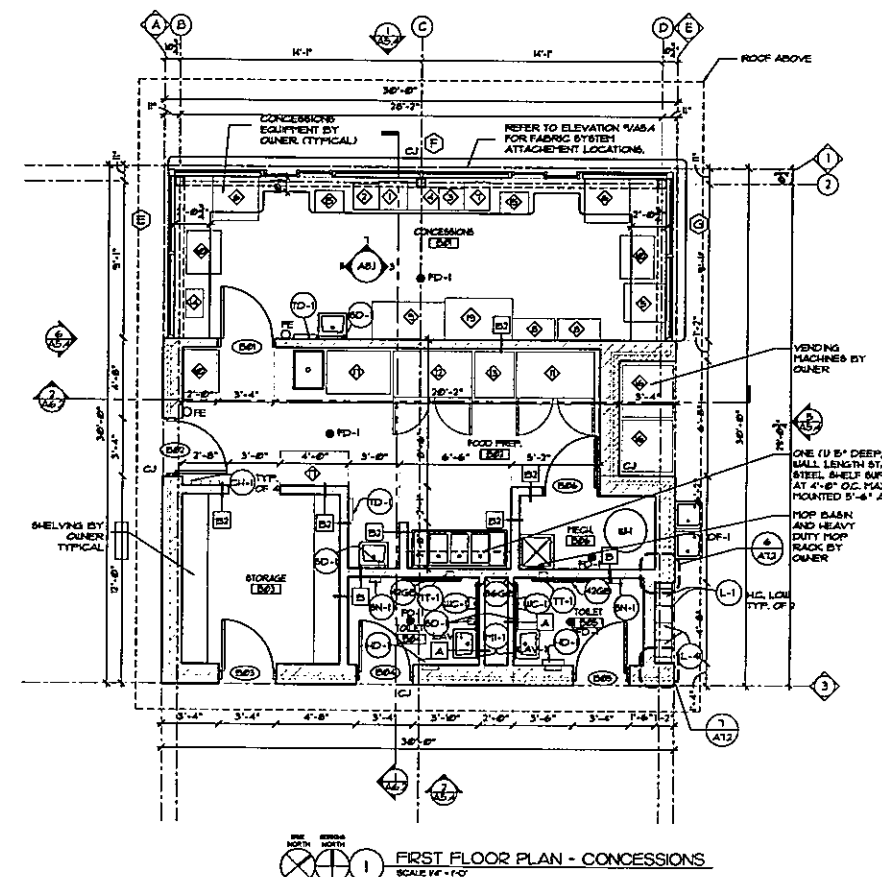
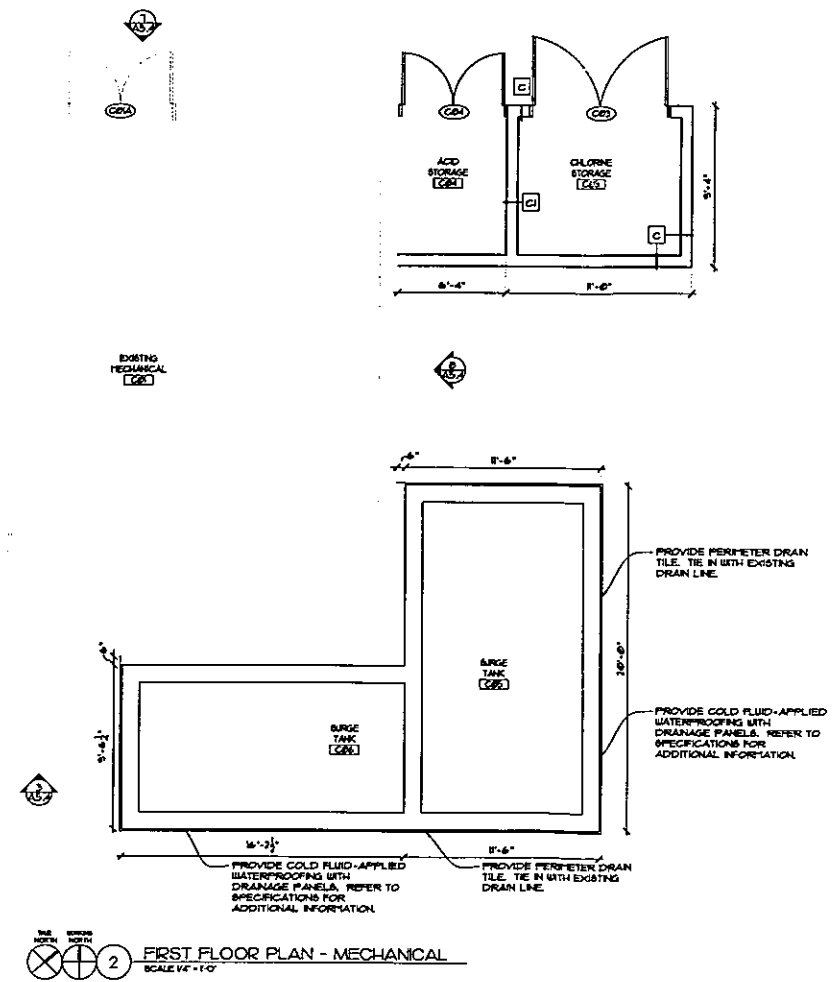
WATER TECHNOLOGY, INC.
433 EAST ST. CHARLES ROAD
LOMBARD PARK DISTRICT

LOMBARD WATER PARK
433 EAST ST. CHARLES ROAD
LOMBARD PARK DISTRICT

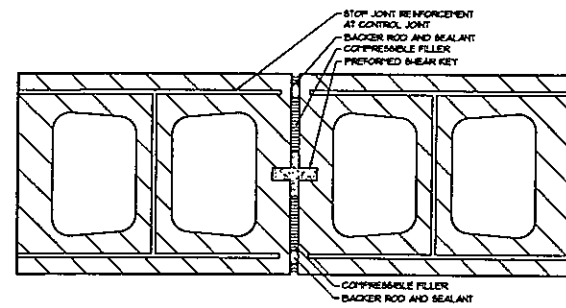
FLOOR PLANS
CONCESSIONS AND MECHANICAL
WALL TYPES

JOB NUMBER
06340
DATE
08.07.06
BD SET
REVISIONS
SHEET

A2.2

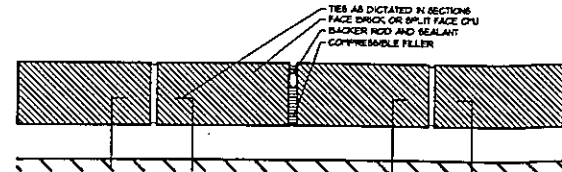


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NOTE:
REFER TO FLOOR PLAN FOR CMU CONTROL JOINT LOCATIONS

4 TYP. C.M.U. CONTROL JOINT
SCALE 3" = 1'-0"



NOTE:
REFER TO BUILDING ELEVATIONS FOR VENEER EXPANSION JOINT LOCATIONS

3 TYP. VENEER EXPANSION JOINT
SCALE 3" = 1'-0"

KEYNOTES

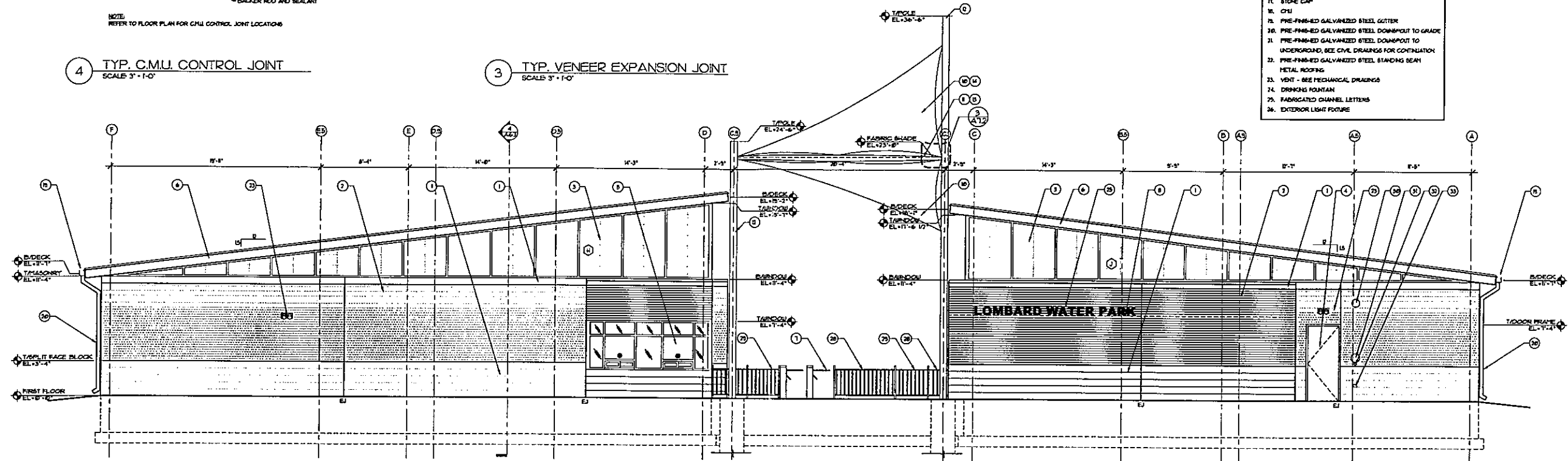
71. NEW CAP
26. PAINTED GALVANIZED STEEL PICKET FENCE
71. PAINTED GALVANIZED STEEL BRICK GATE
16. ALUMINIUM
31. BARBER CONNECTION
32. TEST CONNECTION
33. PICKET PROOF HOLE END

KEYNOTES

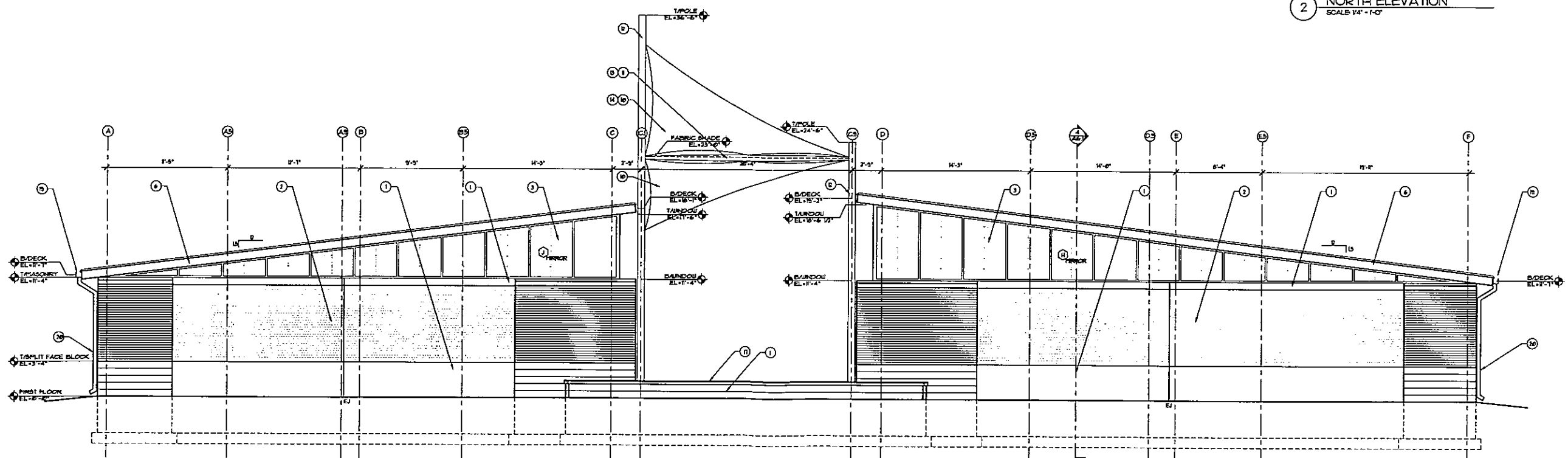
1. SPLIT FACE CONCRETE BLOCK
2. BRICK VENEER
3. FABRICATED CHANNEL LETTER
4. EXTERIOR DOWNSPOUT (SEE DOOR SCHEDULE)
5. PRE-FINISHED ALUMINUM WINDOW FRAME SYSTEM (VCMR)
6. DOME WHITE FINISH
7. METAL FACIA (SCOTT)
8. TURNSTILE
9. GATE BEYOND
10. FRENCH LOCKERS
11. FABRIC SHAL
12. FABRIC SHADE BEYOND
13. COLPIM FOR FABRIC SHAL - GALVANIZED AND PAINTED
14. FABRIC PANEL COLOR 1
15. FABRIC PANEL COLOR 2
16. EXISTING BUILDING
17. STONE GAP
18. CMU
19. PRE-FINISHED GALVANIZED STEEL GUTTER
20. PRE-FINISHED GALVANIZED STEEL DOWNSPOUT TO GRADE
21. PRE-FINISHED GALVANIZED STEEL DOWNSPOUT TO UNDERGROUND, SEE CIVIL DRAWINGS FOR CONTINUATION
22. PRE-FINISHED GALVANIZED STEEL STANDING SEAM METAL ROOFING
23. VENT - SEE MECHANICAL DRAWINGS
24. DRINKING FOUNTAIN
25. FABRICATED CHANNEL LETTERS
26. EXTERIOR LIGHT FIXTURE

GENERAL NOTES

1. PRECAST CONCRETE FLASH BLOCKS SHALL BE PROVIDED AT ALL DOWNSPOUT LOCATIONS WHICH TERMINATE AT GRADE LEVEL.
2. FABRICATED CHANNEL LETTERS SHALL BE NON-ALLOYED ALUMINUM WITH 1/2" RETURN. CHARACTER SHALL BE INDIVIDUAL 1/2" PROJECTED POINT. FONT SHALL BE 1/2" HEIGHT. FINISH SHALL BE BLACK ANODIZED ALUMINUM. BOTTOM OF LETTERS SHALL BE FINISHED 1/2" ABOVE FINISH GRADE.
3. DRAWINGS FOR THE FABRIC STRUCTURE ARE FOR DESIGN CONCEPT ONLY. ALL STRUCTURAL REPAIR, CONNECTION, AND FABRIC DESIGN SHALL BE PREPARED BY THE FABRICER IN SPECIALTY UNDER THE SUPERVISION OF AN ILLINOIS LICENSED STRUCTURAL ENGINEER. ALL CALCULATIONS SHALL BE SIGNED AND SEALED BY THE ILLINOIS LICENSED STRUCTURAL ENGINEER AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. REFER TO DETAIL 'SMA12' FOR ADDITIONAL INFORMATION.



2 NORTH ELEVATION
SCALE 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE 1/4" = 1'-0"

CONCOGAN, CLARK & ASSOCIATES, INC. - ARCHITECTS
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Chicago, IL 60642
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Fax: 312.343.8877

LOMBARD WATER PARK
433 EAST ST. CHARLES ROAD
LOMBARD, ILL. 60148

BUILDING ELEVATIONS
BATH HOUSE

JOB NUMBER	06340
DATE	08.07.06
NO SET	
REVISIONS	
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REVISIONS	
REVISIONS	
SHEET	

A51

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- KEYNOTES**
1. MULTI FACE CONCRETE BLOCK
 2. BRICK VENEER
 3. TRANSLUCENT BALL PANEL
 4. EXTERIOR DOOR(S), SEE DOOR SCHEDULE
 5. PRE-FINISHED ALUMINUM WINDOW FRAME SYSTEM, KYNAR BONE WHITE FINISH
 6. METAL FASCIA + SOFFIT
 7. TURNSTILE
 8. GATE BEYOND
 9. PHENOLIC LOCKERS
 10. FABRIC SAIL
 11. FABRIC SHADE BEYOND
 12. COLUMN FOR FABRIC SAIL - GALVANIZED AND PAINTED
 13. FABRIC PANEL COLOR 1
 14. FABRIC PANEL COLOR 2
 15. FABRIC PANEL COLOR 3
 16. EXISTING BUILDING
 17. STONE CAP
 18. GFI
 19. PRE-FINISHED GALVANIZED STEEL GUTTER
 20. PRE-FINISHED GALVANIZED STEEL DOWNPOUT TO GRADE
 21. PRE-FINISHED GALVANIZED STEEL DOWNPOUT TO UNDERGROUND, SEE CIVIL DRAWINGS FOR CONTINUATION
 22. PRE-FINISHED GALVANIZED STEEL STANDING BEAM METAL ROOFING
 23. VENT - SEE MECHANICAL DRAWINGS
 24. DRINKING FOUNTAIN
 25. FABRICATED CHANNEL LETTERS
 26. EXTERIOR LIGHT FIXTURE
 27. NEW CAP
 28. PAINTED GALVANIZED STEEL POCKET FENCE
 29. PAINTED GALVANIZED STEEL BRWG GATE
 30. ALARM
 31. BAYEUSE CONNECTION
 32. TEST CONNECTION
 33. FROST PROOF HOSE BIB

GENERAL NOTES

1. PRECAST CONCRETE SPLAIN BLOCKS SHALL BE PROVIDED AT ALL DOWNPOUT LOCATIONS WHICH TERMINATE AT GRADE LEVEL.
2. DRAWINGS FOR THE FABRIC STRUCTURES ARE FOR DESIGN CONCEPT ONLY. ALL STRUCTURAL MEMBER CONNECTION AND FABRIC DESIGN SHALL BE PREPARED BY THE FABRIC SYSTEM SPECIALIST UNDER THE SUPERVISION OF AN ILLINOIS LICENSED STRUCTURAL ENGINEER. ALL CALCULATIONS SHALL BE SIGNED AND SEALED BY THE ILLINOIS LICENSED STRUCTURAL ENGINEER AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. REFER TO DETAIL 3412 FOR ADDITIONAL INFORMATION.

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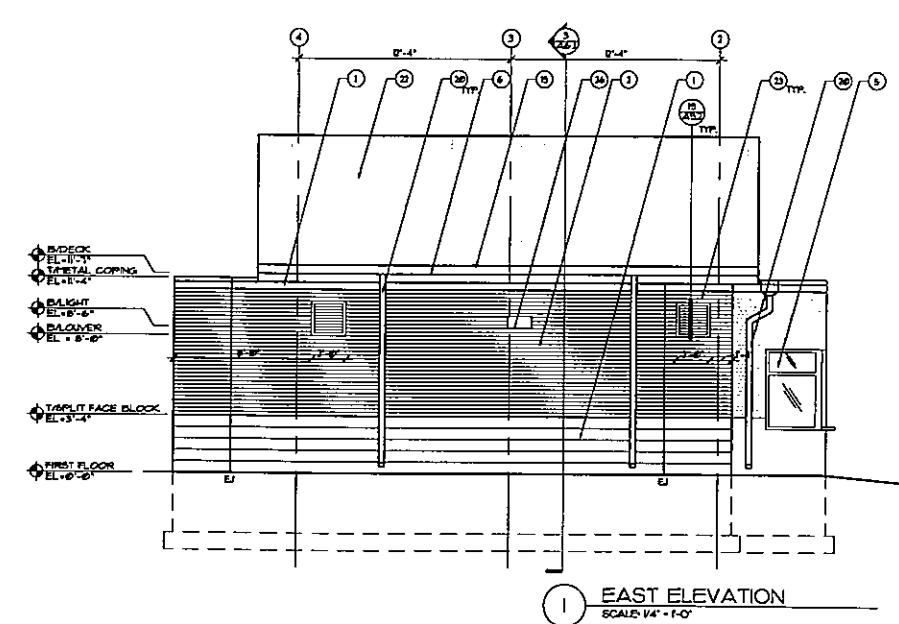
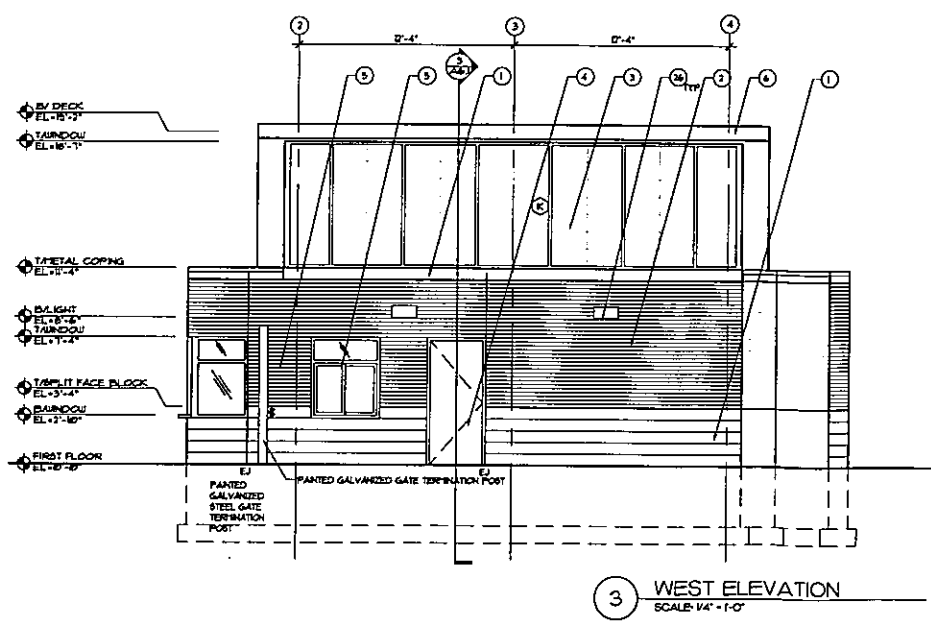
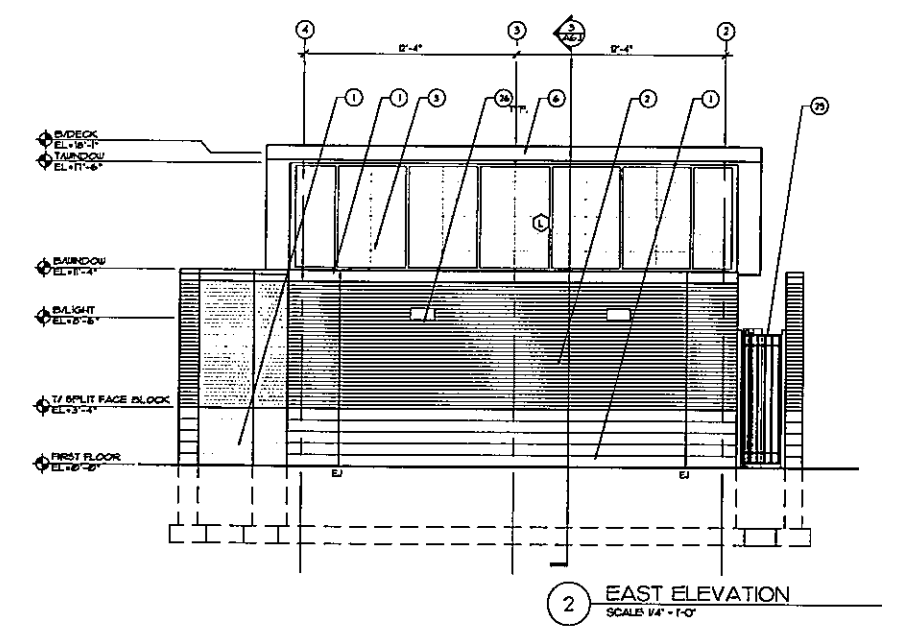
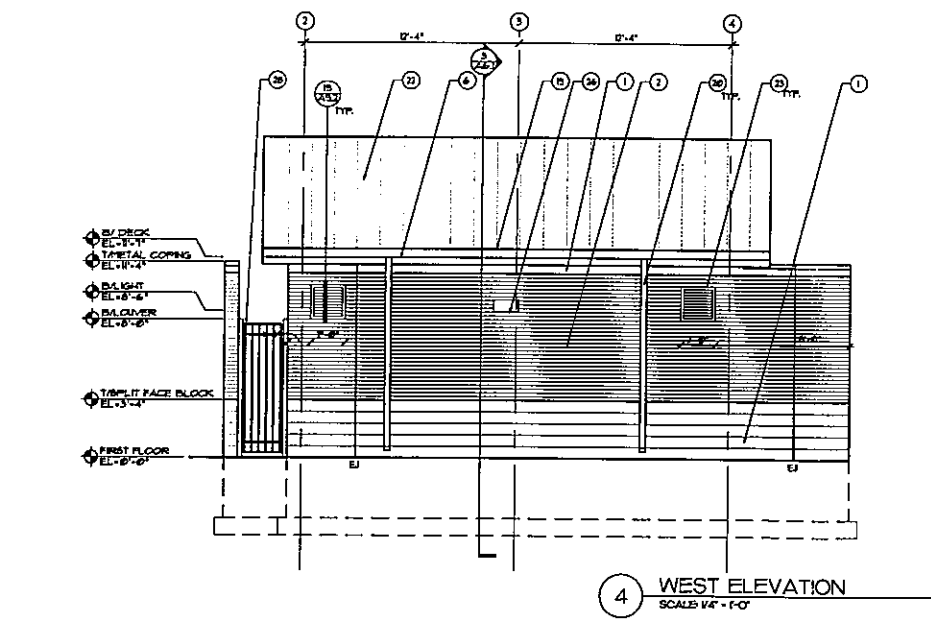
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LOMBARD WATER PARK
 433 EAST ST. CHARLES ROAD
 LOMBARD PARK DISTRICT

BUILDING ELEVATIONS
 BATH HOUSE

JOB NUMBER	06340
DATE	08.07.06
BID SET	
REVISIONS	
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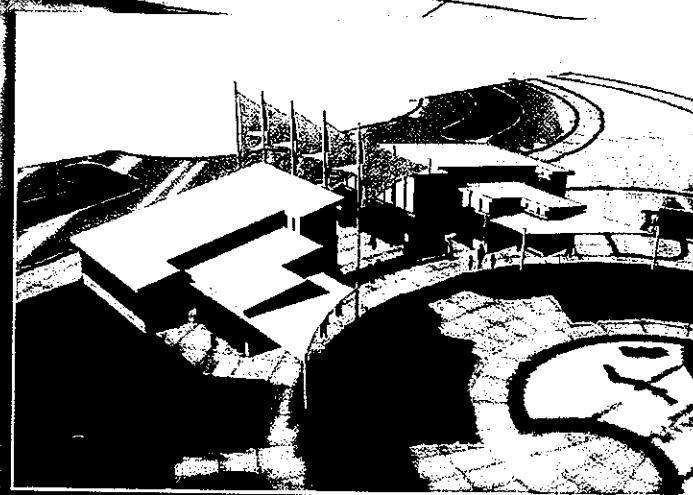
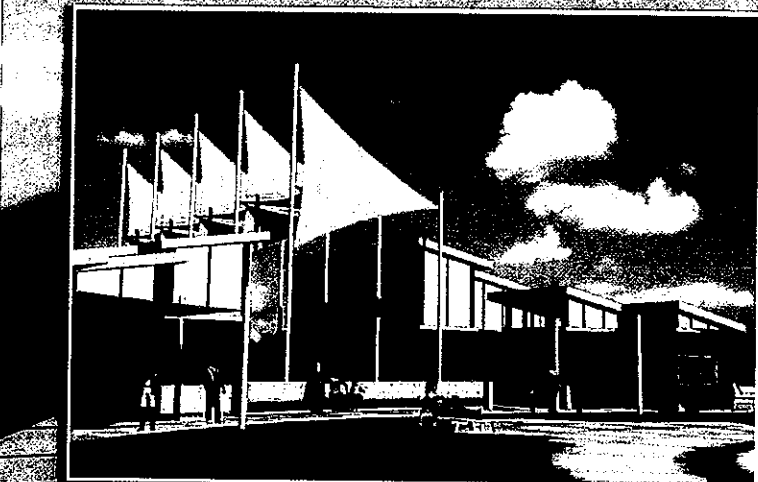
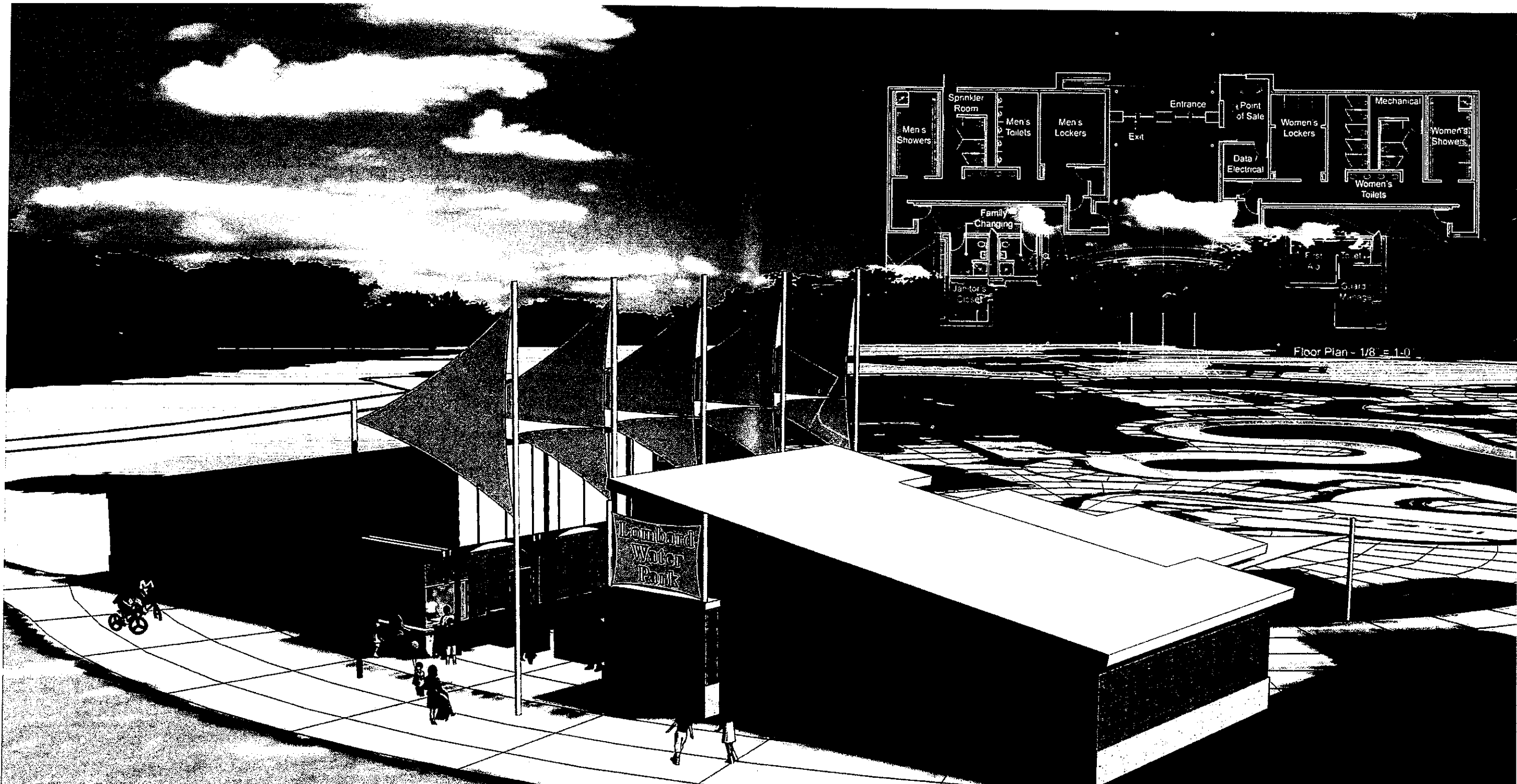


Lombard Water Park

July 25, 2006



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J. P. HOLDY, INC. ARCHITECTS & ENGINEERS

May 23, 2006



Lombard Water Park

JULY 25, 2006

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