



J.P. "RICK" CARNEY
DUPAGE COUNTY RECORDER
OCT. 10, 2002 10:15 AM
OTHER 06-08-308-006
004 PAGES R2002-266876

ORDINANCE NO. 5136

**APPROVING VARIATIONS OF THE LOMBARD ZONING
ORDINANCE TITLE 15, CHAPTER 155 OF THE
LOMBARD CODE OF ORDINANCES**

**ADDRESS: 202 E. Washington
Lombard, IL**

PIN: 06-08-308-006

Return To:

**Village of Lombard
Department of Community Development
255 E. Wilson Avenue
Lombard, IL 60148**

ORDINANCE NO. 5136

AN ORDINANCE APPROVING VARIATIONS
OF THE LOMBARD ZONING ORDINANCE
TITLE 15, CHAPTER 155 OF THE CODE OF LOMBARD, ILLINOIS

(ZBA 02-12: 202 E. Washington Boulevard)

WHEREAS, the President and Board of Trustees of the Village of Lombard have heretofore adopted the Lombard Zoning Ordinance, otherwise known as Title 15, Chapter 155 of the Code of Lombard, Illinois; and,

WHEREAS, the subject property is zoned R2 Single-Family Residence District; and,

WHEREAS, an application has been filed with the Village of Lombard requesting a variation from Title 15, Chapter 155, Section 155.205 (A) (1) of said Zoning Ordinance, to allow a six foot (6') tall fence in the corner side yard in the R2 Single-Family Residence District; and,

WHEREAS, an application has been filed with the Village of Lombard requesting a variation from Title 15, Chapter 155, Section 155.406 (F) (2) of said Zoning Ordinance, to reduce the required corner side yard setback from twenty feet (20') to fourteen feet (14') in the R2 Single-Family Residence District; and,

WHEREAS, a public hearing has been conducted by the Zoning Board of Appeals on May 22, 2002 pursuant to appropriate and legal notice; and,

WHEREAS, the Zoning Board of Appeals has forwarded its findings to the Board of Trustees with a recommendation to allow a 6-foot (6') high fence within a corner side yard; and,

WHEREAS, the Zoning Board of Appeals has forwarded its findings to the Board of Trustees with a recommendation allow a principal structure to be fourteen feet (14') from the corner side lot line; and,

WHEREAS, President and Board of Trustees have determined that it is in the best interest of the Village of Lombard to approve the requested variation.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LOMBARD, DU PAGE COUNTY, ILLINOIS, as follows:

SECTION 1: That a variation is hereby granted from the provisions of Title 15, Chapter 155, Section 155.205 (A) (1) of the Lombard Zoning Ordinance, for the property described in Section 3 below, so as to allow a six foot (6') tall fence in the corner side yard.

SECTION 2: That a variation is hereby granted from the provisions of Title 15, Chapter 155, Section 155.406 (F) (2) of the Lombard Zoning Ordinance, for the property described in Section 3 below, so as to allow a principal structure to be fourteen feet (14') from the corner side lot line.

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SECTION 3: That this ordinance is limited and restricted to the property generally located at 202 East Washington Boulevard, Lombard, Illinois, and legally described as follows:

LOT 4 IN H.W. ELMORE AND COMPANY'S RIDGE VIEW
RESUBDIVISION OF LOTS 1 TO 50, BOTH INCLUSIVE, IN H.W. ELMORE
AND COMPANY'S RISE VIEW SUBDIVISION, A SUBDIVISION IN THE
SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE
11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE
PLAT THEREOF RECORDED JUNE 26, 1925, AS DOCUMENT 195309 AND
RERECORDED AS DOCUMENT 197568, IN DUPAGE COUNTY, ILLINOIS.

PIN: 06-08-308-006

SECTION 3: This ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

Passed on first reading this _____ day of _____, 2002.

First reading waived by action of the Board of Trustees this 6th day of June, 2002.

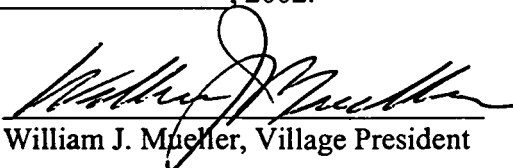
Passed on second reading this 6th day of June, 2002.

Ayes: Trustees DeStephano, Tross, Koenig, Sebby, Florey, Soderstrom


Nays: None

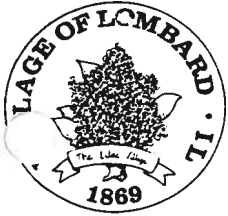
Absent: None

Approved this 6th day of June, 2002.


William J. Mueller, Village President

ATTEST:


Suzan D. Kramer, Village Clerk



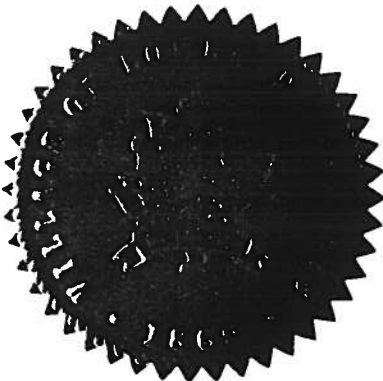
I, Suzan L. Kramer, hereby certify that I am the duly qualified Village Clerk of the **Village of Lombard**, DuPage County, Illinois, as authorized by Statute and provided by local Ordinance, and as such Village Clerk, I maintain and am safekeeper of the records and files of the President and Board of Trustees of said Village.

I further certify that attached hereto is a
copy of ORDINANCE 5136

AN ORDINANCE APPROVING VARIATIONS OF
THE LOMBARD ZONING ORDINANCE TITLE 15,
CHAPTER 155 OF THE LOMBARD CODE OF
ORDINANCES, FOR 202 E. WASHINGTON
BOULEVARD, LOMBARD, ILLINOIS
PARCEL NUMBER 06-08-308-006

of the said Village as it appears from the official records of said Village, duly approved June 6, 2002

In Witness Whereof, I have hereunto affixed my official signature and the Corporate Seal of said **Village of Lombard**, Du Page County, Illinois this 1st day of October, 2002.



Suzan L. Kramer
Suzan L. Kramer
Village Clerk
Village of Lombard
DuPage County, Illinois