

VILLAGE OF LOMBARD
REQUEST FOR BOARD OF TRUSTEES ACTION
For Inclusion on Board Agenda

 X Resolution or Ordinance (Blue) _____ *Waiver of First Requested*
_____ Recommendations of Boards, Commissions & Committees (Green)
_____ Other Business (Pink)

TO: PRESIDENT AND BOARD OF TRUSTEES

FROM: David A. Hulseberg, Village Manager

DATE: February 1, 2012 (B of T) DATE: February 16, 2012

TITLE: Intergovernmental Agreement – Carriage House Addition

SUBMITTED BY: Carl Goldsmith, Director of Public Works *CG*

BACKGROUND/POLICY IMPLICATIONS:

The Lombard Historical Society proposes an addition to the Carriage House. The Society received a grant for \$70,000 from the Department of Natural Resources. To comply with the terms of the grant agreement, the Society must complete construction on or before December 31, 2012. The Society does not have sufficient funds to proceed and has requested the Village’s assistance in funding the project. The Village will fund the utility improvements, fire/burglar system improvements and sidewalk improvements on-site. These improvements are estimated at \$81,000. The Village will loan the Society funds in the amount of \$119,694 for a period of two years. The Society will continue to raise funds to reimburse the Village and has pledged certificates of deposit in the amount of \$30,623.51 as collateral against the loan.

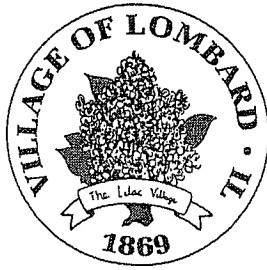
FISCAL IMPACT/FUNDING SOURCE

\$200,694 7402.756420

Review (as necessary):

Village Attorney X _____ Date _____
Finance Director X _____ Date _____
Village Manager X _____ Date _____

NOTE: Materials must be submitted to / approved by the Village Manager's Office by 12:00 pm, Wednesday, prior to the Agenda Distribution.



January 27, 2012

TO: Village President and Board of Trustees
THROUGH: David A. Hulseberg, Village Manager
FROM: Carl Goldsmith, Director of Public Works *CG*
SUBJECT: Intergovernmental Agreement – Carriage House Addition

Background

The Village staff has been working with the Lombard Historical Society and Lombard Historical Commission on an addition to the Carriage House located at 23 W. Maple Street. The proposed addition will nearly double the size of the Carriage House and provide the Society with an opportunity to more effectively display and archive Lombard history. The grounds and facilities are owned by the Village of Lombard and through an agreement dating back to April 15, 1993 (amended in June 1993, November 1998 and February 2008) the Society operates the programming of the facilities.

The Historical Society received a State of Illinois Department of Natural Resources Public Museum Capital Grant in the amount of \$70,000 for the construction of the addition the a addition. At the time that the funds were pledged, the Society was interested in constructing the project in phases, as funding became available. The Society was recently notified by the grant administrator at the Department of Natural Resources that the funding would be forfeited if the project would not be completed by December 31, 2012. The terms of the grant call for the Society to receive 50% (\$35,000) upon completion of 50% of the construction and the remaining 50% to be received upon the Society receiving a certificate of occupancy from the Village. Prior to the clarification of the grant terms, the Village was going to contribute funds to cover the cost of the utility extensions and the sidewalk improvements, as well as serve as the project manager.

A meeting was held between the Village and Society to discuss the project. The Society requested that the Village of Lombard assist in expediting the project and contribute a greater level of funding to the project. The Society does not currently have sufficient funds to cover the full cost of the project, which is estimated at \$313,720.00. As such, the Society anticipated a lack of compliance with the terms of the grant, which would result in a loss of the funding. The Village and Society as developed the attached Intergovernmental Agreement that details the obligations of the Village and the Society on the project, including the Village's contribution(s) towards the improvement. The IGA provides the following:

- The Society will design and prepare plans and specifications for the project.

- The Village shall serve as the lead agency for the project; including any bidding, award and construction of the improvement.
- The Village will fund the full cost of the addition through the use of Downtown TIF funds.
- The Society will not be required to reimburse the Village of Lombard for Village Funded Work, which includes:
 - \$45,000 for utility extensions and connections
 - \$30,000 for fir/burglar alarm installation & upgrades
 - \$6,000 for sidewalk improvements
- The Society will reimburse the Village for all non-Village Funded Work within two (2) years from the date the Village issues a certificate of occupancy. The funds would be made available through the grant, current and future donations.
- In the event that the Society does not reimburse the Village the loan amount, the Village has \$30,623.51 in unrestricted Certificates of Deposit (CDs) held by Society as collateral against the loan. The Society had previously represented to the Village that they had \$72,822.17 in unrestricted CDs. The Society does possess an additional \$75,623.51 in restricted CDs that could, at the discretion of the Society Board of Management be used as collateral. The Village and Society will finalize the mechanism necessary to have the funds jointly held and which will allow the Village to draw upon the CDs if the Society defaults on the terms of the loan.

The Lombard Historical Society Executive Board approved the IGA at their January 24, 2012 meeting. The IGA will be considered by the Lombard Historical Society Board of Management at their February 1, 2012 meeting. The agreement will be considered by the Lombard Historical Commission at their February 13, 2012 meeting. I respectfully request that this item be placed on the Village Board's agenda for the February 2, 2012 meeting.

Recommendation

Staff recommends that the Village Board of Trustees approve an Intergovernmental Agreement between the Village of Lombard, the Lombard Historical Commission and the Lombard Historical Society regarding the Carriage House Addition project.

RESOLUTION

R ____-12

A RESOLUTION AUTHORIZING SIGNATURE OF
PRESIDENT AND CLERK ON AN AGREEMENT

WHEREAS, the Corporate Authorities of the Village of Lombard have received an Intergovernmental Agreement between the Village of Lombard, the Lombard Historical Commission and the Lombard Historical Society regarding the construction of an addition to the Carriage House located at 23 W. Maple Street, Lombard, Illinois. Construction plans, estimate of cost, anticipated estimate of funding sources and certificates of deposit pledged as collateral are included as attached hereto and marked as Exhibit "A", Exhibit "B", Exhibit "C" and Exhibit "D" respectively.

WHEREAS, the Corporate Authorities deem it to be in the best interest of the Village of Lombard to approve such agreement.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LOMBARD, DU PAGE COUNTY, ILLINOIS as follows:

SECTION 1: That the Village President be and hereby is authorized to sign on behalf of the Village of Lombard said agreement as attached hereto.

SECTION 2: That the Village Clerk be and hereby is authorized to attest said agreement as attached hereto.

Adopted this 2nd day of February, 2012.

Ayes: _____

Nays: _____

Absent: _____

Approved this 2nd day of February, 2012.

William J. Mueller
Village President

ATTEST:

Brigitte O'Brien
Village Clerk

APPROVAL AS TO FORM:

Thomas P. Bayer
Village Attorney

**AN INTERGOVERNMENTAL AGREEMENT
BETWEEN THE VILLAGE OF LOMBARD, THE LOMBARD HISTORICAL
COMMISSION AND THE LOMBARD HISTORICAL SOCIETY IN REGARD TO
THE CONSTRUCTION OF AN ADDITION TO THE CARRIAGE HOUSE
USED BY THE HISTORICAL SOCIETY AS A HISTORICAL MUSEUM**

THIS AGREEMENT (hereinafter referred to as the "Agreement") is entered into this _____ day of _____, 2012, by and between the VILLAGE OF LOMBARD (hereinafter referred to as the "VILLAGE"), the LOMBARD HISTORICAL COMMISSION (hereinafter referred to as the "COMMISSION") and the LOMBARD HISTORICAL SOCIETY, INC. (hereinafter referred to as the "SOCIETY"). The VILLAGE, the COMMISSION and the SOCIETY are hereinafter sometimes individually referred to as a "Party" and collectively referred to as the "Parties."

WITNESSETH

WHEREAS, the VILLAGE and the SOCIETY, on April 15, 1993, entered into an agreement for the use of 23 West Maple Street, Lombard, Illinois, by the SOCIETY as a Historical Museum (hereinafter referred to as the "Original Agreement"); and

WHEREAS, the VILLAGE and the SOCIETY, on June 3, 1993, November 5, 1998 and February 6, 2008, entered into amendments to the Original Agreement (hereinafter referred to as the "Amendments"), (the Original Agreement, as amended by the Amendments being hereinafter referred to as the "Amended Agreement"); and

WHEREAS, the Premises and all Structures located thereon, as defined in Sections A.1. and A.2. of the Amended Agreement, are owned by the VILLAGE (Premises and Structures, as hereinafter referred to, having the same meaning as set forth in the Amended Agreement); and

WHEREAS, the SOCIETY has proposed to construct an addition to the carriage house on the Premises; said addition being more fully described in the plans and specifications attached hereto as Exhibit "A" and made part hereof (hereinafter referred to as the "Addition"); and

WHEREAS, the estimated cost for the construction of the Addition is Three Hundred Thirteen Thousand Seven Hundred Twenty and No/100 Dollars (\$313,720.00), as more fully set forth on the cost estimate attached hereto as Exhibit "B" and made part hereof (hereinafter referred to as the "Cost Estimate"); and

WHEREAS, the SOCIETY is in receipt of a State of Illinois Department of Natural Resources Public Museum Capital Grant, relative to the construction of the Addition, in the amount of Seventy Thousand and No/100 Dollars (\$70,000.00) (hereinafter referred to as "Grant"), with the terms of the Grant requiring the SOCIETY to complete fifty percent (50%) of the Addition prior to receiving the first one-half (½) of the Grant, and receive a certificate of occupancy relative to the Addition prior to receiving the remaining one-half (½) of the Grant, with said certificate of occupancy to be received no later than December 31, 2012; and

WHEREAS, the SOCIETY has raised funds during 2011, relative to the construction of the Addition, in the amount of Forty-Three Thousand Twenty-Six and No/100 Dollars (\$43,026.00), (hereinafter referred to as the "Donations"), and will continue to raise funds, after the date of this Agreement, for the construction of the Addition; and

WHEREAS, in an effort to save the SOCIETY both time and money, the VILLAGE has offered to initially fund the construction of, and construct, the Addition, provided the SOCIETY reimburses the VILLAGE for the construction costs incurred by the VILLAGE, as more fully set forth in Section 3 below; and

WHEREAS, the COMMISSION assists the VILLAGE in regard to historic preservation matters, as more fully set forth in Sections 32.075 through 32.079 of the Lombard Village Code; and

WHEREAS, the SOCIETY and the VILLAGE desire to work cooperatively with respect to the construction of the Addition; and

WHEREAS, the SOCIETY and the VILLAGE desire to set forth their respective obligations, relative to the construction and financing of the Addition; and

WHEREAS, Article VII, Section 10 of the 1970 Illinois Constitution provides authority for this Agreement; and

WHEREAS, it is in the best interests of the VILLAGE, the COMMISSION and the SOCIETY to enter into this Agreement;

NOW, THEREFORE, in consideration of the foregoing, and the mutual covenants and agreements contained herein, the Parties hereto agree as follows:

1. INCORPORATION OF PREAMBLES. The preambles hereto, as set forth above, are incorporated herein by reference and are made part hereof.
2. COVERAGE OF AGREEMENT. The Parties hereto agree and acknowledge that this Agreement is applicable only to the Addition, and is not applicable to any other aspect of the Premises or the Structures thereon.
3. CONSTRUCTION OF THE ADDITION. The VILLAGE shall proceed with the construction of the Addition, upon the VILLAGE'S receipt and approval of the final plans and specifications therefor, subject to the following conditions:
 - A. The SOCIETY, the COMMISSION and the VILLAGE agree that the Addition shall be constructed substantially as depicted and described on Exhibit "A"; subject to any field changes or change orders to be implemented only upon the mutual agreement of the VILLAGE and the SOCIETY.
 - B. The work relative to the Addition shall be competitively bid in accordance with applicable law, and shall be completed by December 31, 2012.
 - C. The SOCIETY shall have the option, subject to the approval of the VILLAGE, to reduce the cost associated with the construction of the Addition, by having volunteers perform certain portions of the work, provide donations of materials, fixtures or equipment associated with the construction of the Addition at no charge to either the VILLAGE or the SOCIETY. Should the SOCIETY desire to have a volunteer perform any such work associated with the construction of the

Addition, the SOCIETY shall so notify the VILLAGE, in writing, prior to the VILLAGE proceeding with said work, with said notice to specifically identify which line item(s) within the Cost Estimate the SOCIETY'S volunteer will be performing. The use of any such volunteers shall be at the sole and absolute discretion of the VILLAGE, provided that if the VILLAGE allows for the use of a volunteer, said volunteer shall be required to execute such hold harmless, indemnification and release forms as required by the VILLAGE prior to proceeding with any such work.

- D. The VILLAGE may proceed with the construction of the Addition in phases, as follows:
 - i) Underground work;
 - ii) On-site work prior to constructing above ground;
 - iii) Framing and exterior work; and
 - iv) Interior work.
 - E. The VILLAGE shall bring water and sanitary sewer service to the Addition, install sidewalks on the Premises and shall install the fire alarm, sprinkler and burglar alarm systems, as identified in Exhibits "A" and "B", at the VILLAGE'S sole cost and expense (hereinafter referred to as the "Village Funded Work").
 - F. Upon completion of the Addition, said Addition shall be owned by the VILLAGE, but operated and maintained by the SOCIETY, pursuant to the Amended Agreement, or any further agreement amending or superseding same.
4. FUNDING THE CONSTRUCTION OF THE ADDITION.
- A. In an effort to ensure that the SOCIETY does not forfeit the Grant, the VILLAGE shall construct the Addition, using VILLAGE funds, and shall be reimbursed by the SOCIETY, using the Grant, the Donations and other revenues as set forth in subsections B. and C. below.

B. The SOCIETY shall reimburse the VILLAGE, for the difference between the actual cost of the construction of the Addition, (exclusive of the cost of the Village Funded Work), and the Grant and Donations (hereinafter referred to as the "Funding Gap"), within two (2) years from the date that the VILLAGE issues a certificate of occupancy for the Addition, as more fully set forth on Exhibit "C", attached hereto and made part hereof.

C. The SOCIETY hereby pledges certificates of deposit held by the SOCIETY, as identified on Exhibit "D" attached hereto and made part hereof, (hereinafter referred to as the "CDs"), as collateral to pay the Funding Gap, and, to that end, agrees to take all actions necessary, upon the execution of this Agreement, to make the VILLAGE a joint owner of said CDs, such that the VILLAGE can cash all, or any portion of, said CDs, without the prior permission of the SOCIETY, in the event that the Funding Gap is not paid to the VILLAGE, by the SOCIETY, within the two (2) year period referenced in subsection B. above.

5. VILLAGE INDEMNIFICATION OF THE SOCIETY. The VILLAGE shall indemnify and hold harmless the SOCIETY, and its officers, agents and employees, with respect to any claim or loss, including, but not limited to, attorney's fees, costs and expenses of litigation, claims and judgments in connection with any and all claims for damages of any kind which may arise, either directly or indirectly, out of the acts or omissions of the VILLAGE, or its officers, agents, employees, consultants or contractors, in the performance of this Agreement. The VILLAGE further agrees to require any contractor to include the SOCIETY, and its elected officials, officers, agents and employees, as additional insureds on the insurance policies required of the contractor relative to the construction of the Addition.

6. SOCIETY INDEMNIFICATION OF THE VILLAGE. The SOCIETY shall indemnify and hold harmless the VILLAGE, and its officers, agents and employees, with respect to any

claim or loss, including, but not limited to, attorney's fees, costs and expenses of litigation, claims and judgments in connection with any and all claims for damages of any kind which may arise, either directly or indirectly, out of the acts or omissions of the SOCIETY, or its officers, agents or employees, in the performance of this Agreement.

7. THIRD PARTIES AND DEFENSES. This Agreement is entered into for the benefit of each of the Parties, solely, and not for the benefit of any third party. Nothing contained in this Agreement shall constitute a waiver of any privileges, defenses or immunities which the VILLAGE may have under the Local Governmental and Governmental Employees Tort Immunity Act with respect to any claim brought by a third party.
8. NOTICES. Notice or other writings which any Party is required to, or may wish to, serve upon the other Parties in connection with this Agreement shall be in writing and shall be delivered personally or sent by registered or certified mail, return receipt requested, postage prepaid, addressed as follows:

- | | |
|---|--|
| A. If to the VILLAGE: | B. If to the SOCIETY: |
| Village Manager
Village of Lombard
255 East Wilson Avenue
Lombard, Illinois 60148 | President
Lombard Historical Society
23 West Maple Street
Lombard, Illinois 60148 |
| C. If to the COMMISSION:
Chairperson
Lombard Historical Commission
c/o Village of Lombard
255 East Wilson Avenue
Lombard, Illinois 60148 | |

or to such other address, or additional parties, as any Party may from time to time designate in a written notice to the other Parties.

9. COUNTERPARTS. This Agreement shall be executed simultaneously in three (3) counterparts, each of which shall be deemed an original, but both of which shall constitute one and the same Agreement.
10. ENTIRE AGREEMENT. This Agreement contains the entire understanding between the

Parties and supersedes any prior understanding or written or oral agreements between them regarding the within subject matter. There are no representations, agreements, arrangements or understandings, oral or written, between and among the Parties hereto relating to the subject matter of this Agreement which are not fully expressed herein.

11. EFFECTIVE DATE. This Agreement shall be deemed dated and become effective on the date the last of the Parties execute this Agreement as set forth below.

IN WITNESS WHEREOF, the VILLAGE, pursuant to authority granted by the adoption of a Resolution by its Board of Trustees, has caused this Agreement to be executed by its President and attested by its Clerk; the SOCIETY, pursuant to the authority duly granted by the adoption of a Motion/Resolution by its Board of Directors, has caused this instrument to be signed by its President and attested by its Secretary; and the COMMISSION pursuant to the authority duly granted by the adoption of a motion by its members, has caused this instrument to be signed by its Chairperson and attested by its Secretary.

VILLAGE OF LOMBARD

By: _____
Village President

ATTEST:

Village Clerk

Dated: _____

LOMBARD HISTORICAL SOCIETY

By: _____
President

ATTEST:

Secretary

Dated: _____

LOMBARD HISTORICAL COMMISSION

By: _____
Chairperson

ATTEST:

Secretary

Dated: _____

Dated: _____

STATE OF ILLINOIS)

) SS

COUNTY OF DuPAGE)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that the above-named _____ and _____, personally known to me to be the President and Secretary of the Lombard Historical Society, and also known to me to be the same persons whose names are subscribed to the foregoing instrument as such President and Secretary, respectively, appeared before me this day in person and severally acknowledged that as such President and Secretary they signed and delivered the signed instrument, pursuant to authority given by said Lombard Historical Society, as their free and voluntary act, and as the free and voluntary act and deed of said Lombard Historical Society, for the uses and purposes therein set forth, and that said Secretary, as custodian of the corporate seal of said Lombard Historical Society, caused said seal to be affixed to said instrument as said Secretary's own free and voluntary act and as the free and voluntary act of said Lombard Historical Society, for the uses and purposes therein set forth.

GIVEN under my hand and Notary Seal, this ____ day of _____, 2012.

Notary Public

My Commission Expires: _____

STATE OF ILLINOIS)

) SS

COUNTY OF DuPAGE)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that the above-named _____ and _____, personally known to me to be the Chairperson and Secretary of the Lombard Historical Commission, and also known to me to be the same persons whose names are subscribed to the foregoing instrument as such President and Secretary, respectively, appeared before me this day in person and severally acknowledged that as such Chairperson and Secretary they signed and delivered the signed instrument, pursuant to authority given by said Lombard Historical Commission, as their free and voluntary act, and as the free and voluntary act and deed of said Lombard Historical Commission, for the uses and purposes therein set forth.

GIVEN under my hand and Notary Seal, this _____ day of _____, 2012.

Notary Public

My Commission Expires: _____

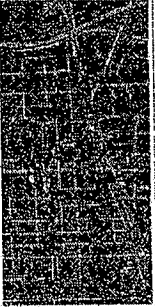
Exhibit "A"

**Plans and Specifications
for the Addition**

(attached)

Carriage House Addition for Lombard Historical Society 23 West Maple Street Lombard, IL 60148

LOCATION MAP



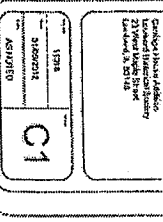
INDEX OF DRAWINGS

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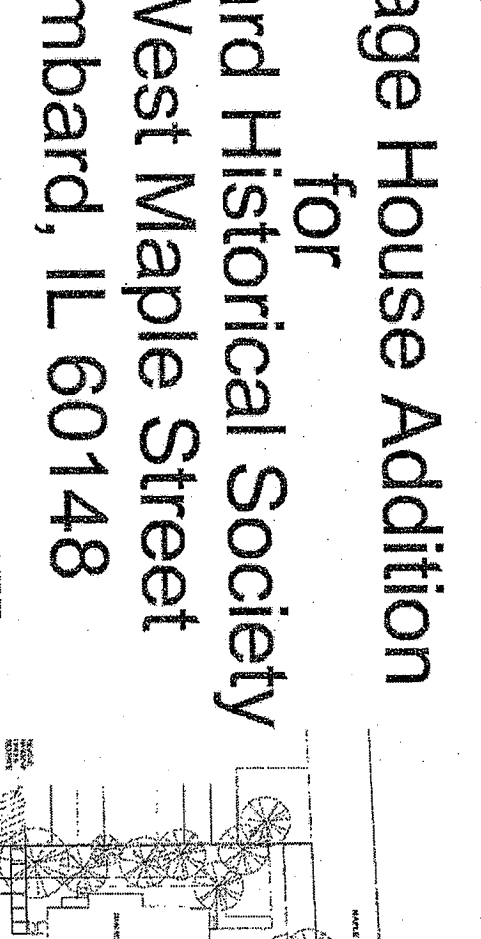
GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOMBARD, ILLINOIS, AND THE STATE OF ILLINOIS, PRIOR TO THE START OF CONSTRUCTION.
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KEY PLAN



SITE PLAN



90% CONSTRUCTION DOCUMENTS

PROJECT INFORMATION

DATE: _____

PROJECT: CARRIAGE HOUSE ADDITION

CLIENT: LOMBARD HISTORICAL SOCIETY

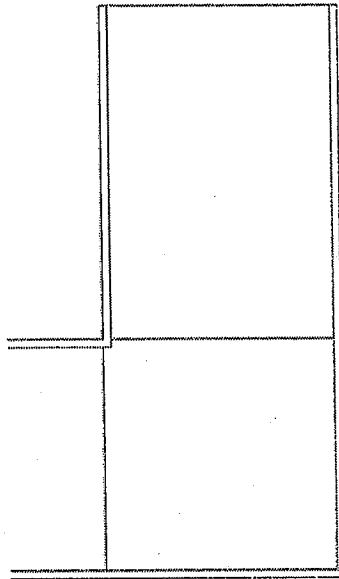
ARCHITECT: [Signature]

SCALE: AS SHOWN

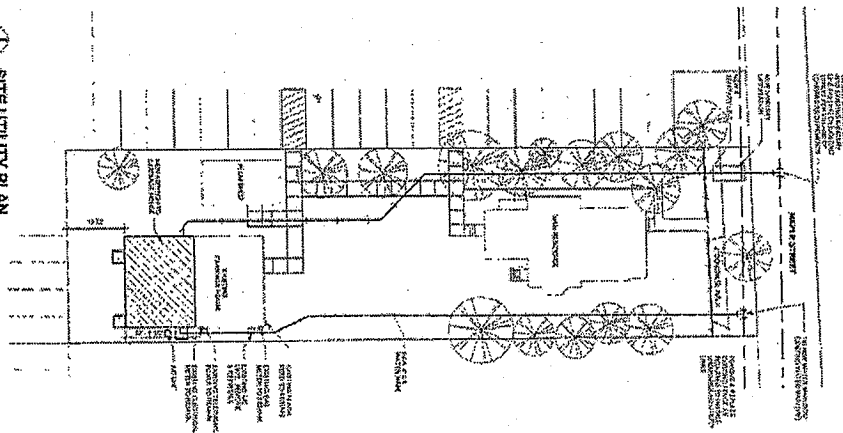
PROJECT NO: C1

DATE: 10/20/18

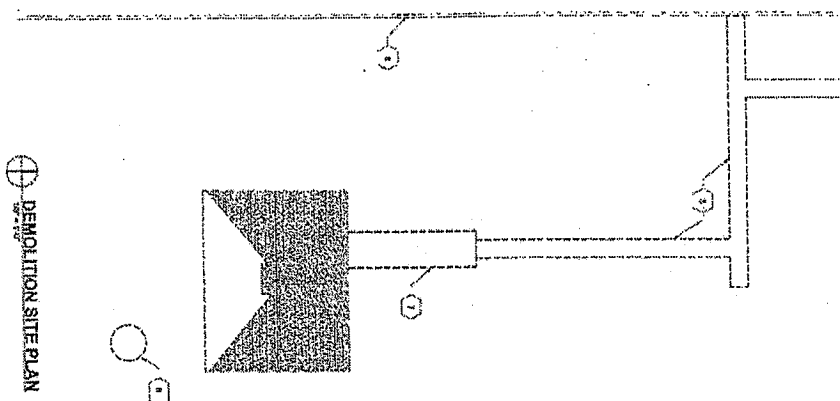
CONCRETE RAMP PLAN



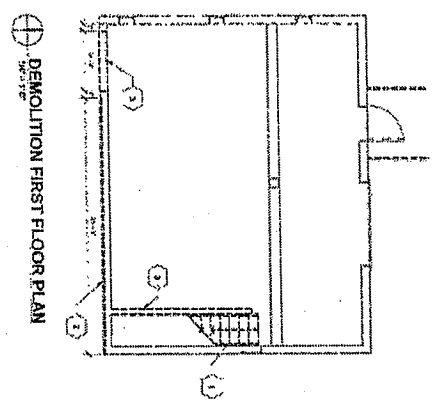
SITE UTILITY PLAN



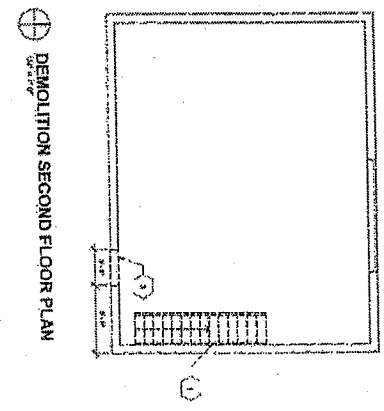
	DATE: 12/21/11 DRAWN BY: JAS/VED CHECKED BY:	C2
	CONSTRUCTION SERVICES, INC. 10000 W. 16th Ave., Suite 100 Denver, CO 80202	



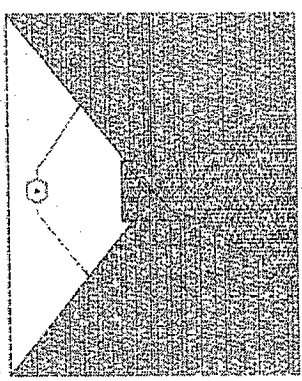
DEMOLITION SITE PLAN



DEMOLITION FIRST FLOOR PLAN



DEMOLITION SECOND FLOOR PLAN

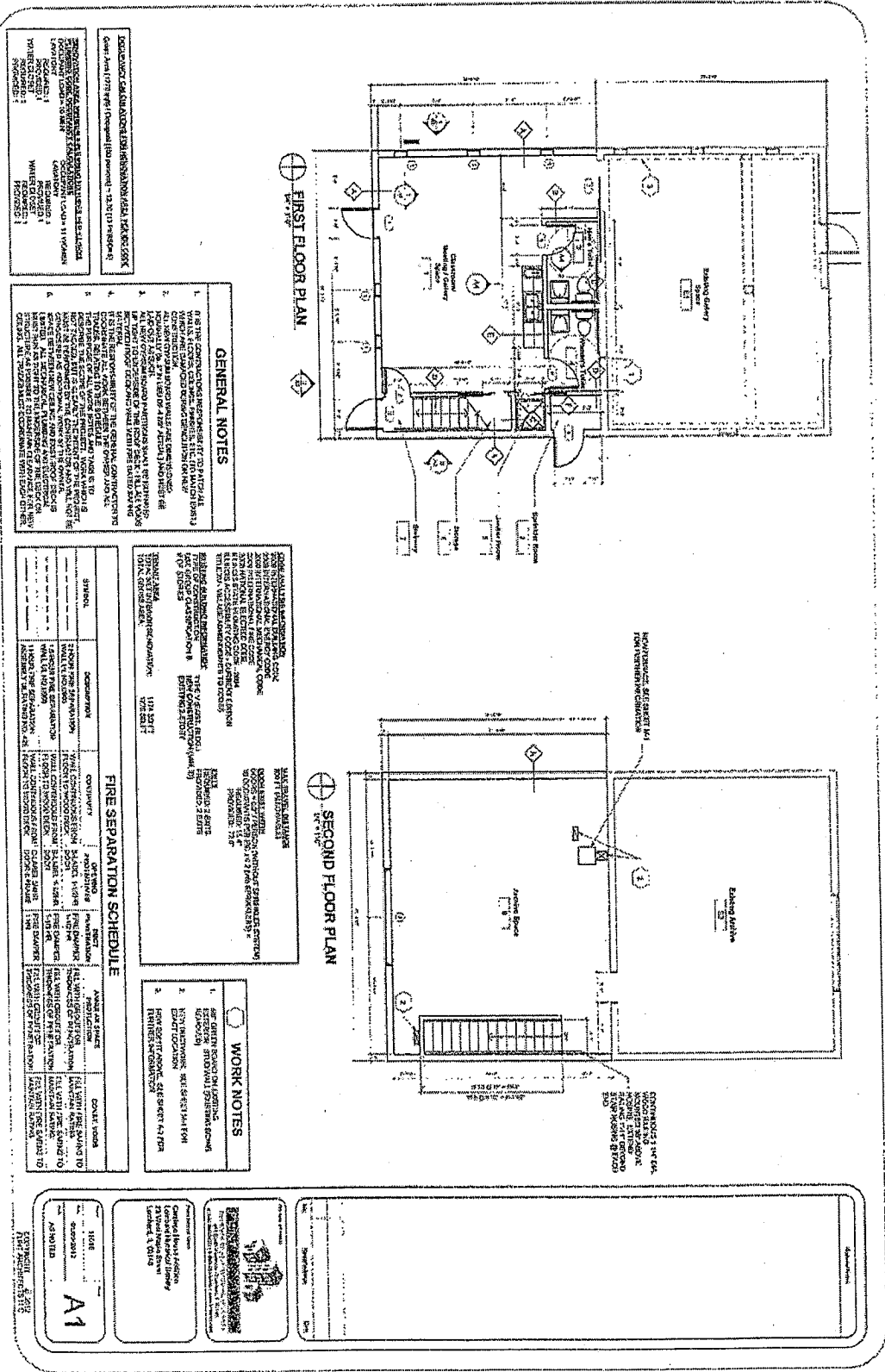


DEMOLITION ROOF PLAN

- DEMOLITION NOTES**
1. REMOVE EXISTING STAIRS.
 2. REMOVE PORTION OF EXISTING EXTERIOR WALL.
 3. REMOVE PORTION OF EXISTING WALL.
 4. REMOVE EXISTING CEILING AND INTERIOR WALLS.
 5. SAW CUT GIRDERS TO REMOVE BALCONY AREA.
 6. REMOVE EXISTING CONCRETE FOUNDATION WALLS.
 7. REMOVE EXISTING ROOF TRUSS, INCLUDING STAIRS.

<p>1195 11/15/15 D1</p>	<p>Contract Name: Atlantic Municipal Hospital Contract Number: 15-001 Contract Date: 11/15/15</p>		<p>Project Name: _____ Location: _____ Date: _____</p>
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Scale: 1/8" = 1'-0"



GENERAL NOTES

1. ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.

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4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.

FIRE SEPARATION SCHEDULE

STREET	DESCRIPTION	CONSTRUCTION	STRENGTH	PROTECTION	ASBESTOS REMOVAL	DOOR & WINDOW
STREET	STREET	STREET	STREET	STREET	STREET	STREET
STREET	STREET	STREET	STREET	STREET	STREET	STREET
STREET	STREET	STREET	STREET	STREET	STREET	STREET

WORK NOTES

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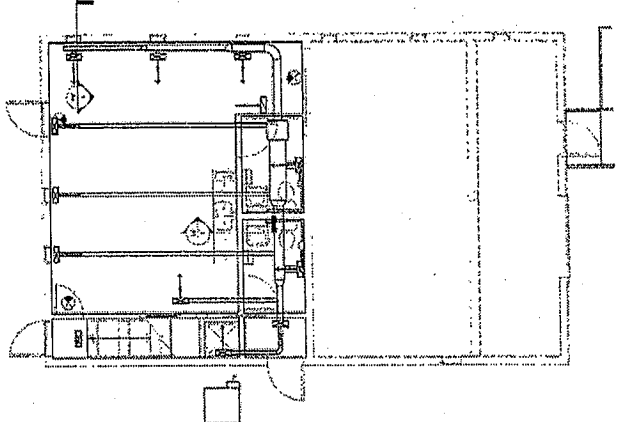
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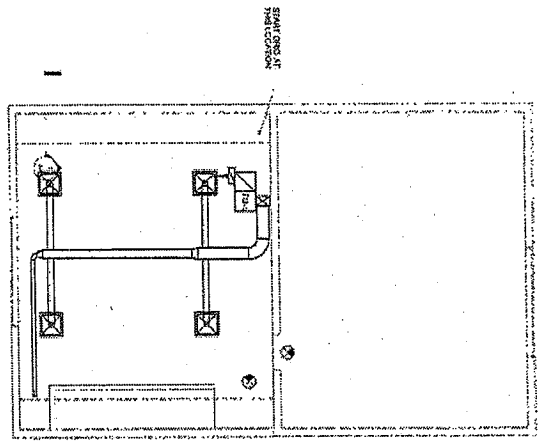
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4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AND ALL CITY ORDINANCES AND REGULATIONS.



REFLECTED CEILING PLAN FIRST FLOOR



REFLECTED CEILING PLAN SECOND FLOOR

START OVER AT THIS LOCATION

NOTES

1. ALL LINES AND DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
2. ALL SPECIFICATIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
3. ALL MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL MECHANICAL CODE (NMC).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC).
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC).
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING EXAMINERS ASSOCIATION (IMPEA) CODES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING EXAMINERS ASSOCIATION (IMPEA) CODES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING EXAMINERS ASSOCIATION (IMPEA) CODES.

SYMBOL LIST

	STRUCTURAL STEEL JOIST
	SUSPENDED CEILING GRID
	DUCTWORK
	PIPE
	ELECTRICAL PANEL
	MECHANICAL EQUIPMENT
	FIRE ALARM DEVICE
	SMOKE DETECTOR
	CHANDELIER

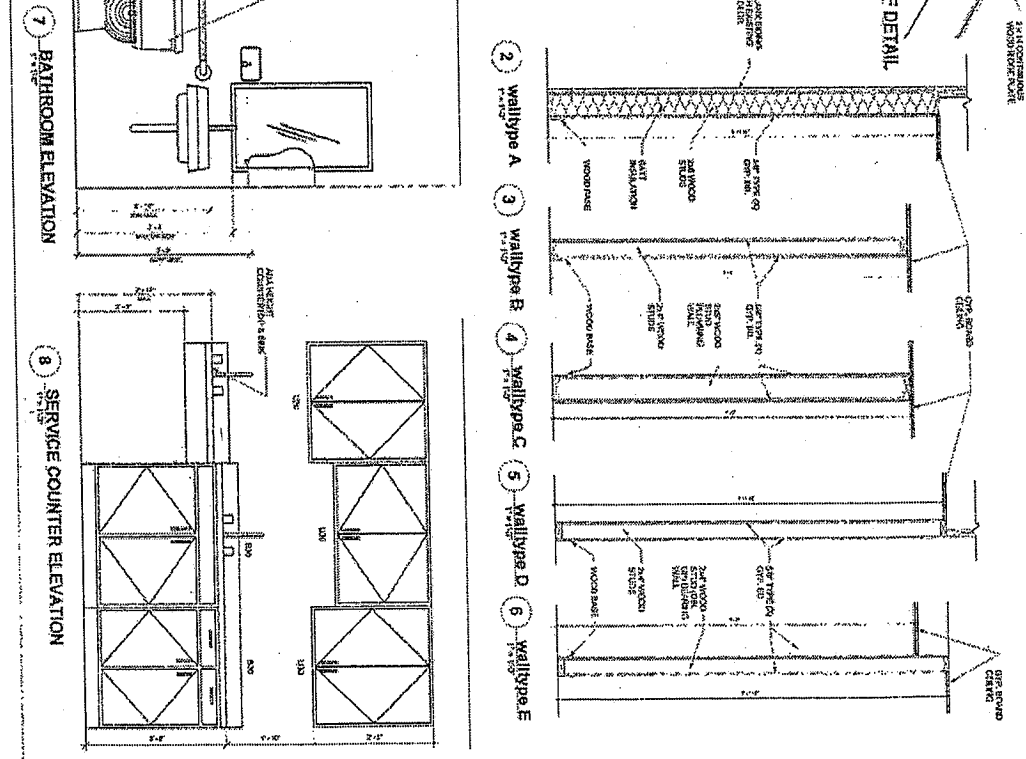
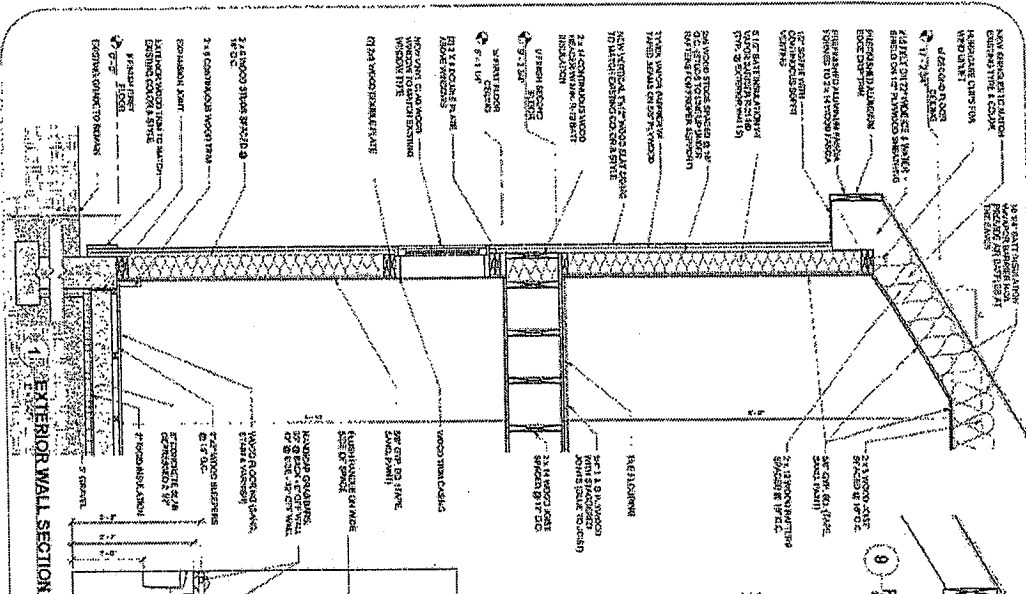
Sheet Title

No.	Revised	Date	By

1998
09/24/12
A2

City of Dallas
Department of Public Works
1500 Marilla Street
Dallas, TX 75201

DATE PLOTTED: 05/01/12
PLOT FILE: 110112.DWG



2024 ARCHITECTURAL SPECIFICATIONS

General Notes:
 1. All dimensions are in feet and inches.
 2. All materials are to be of the best quality.
 3. All work is to be in accordance with the latest edition of the Building Code of America.

NO.	REVISION	DATE

1018

AMENDED

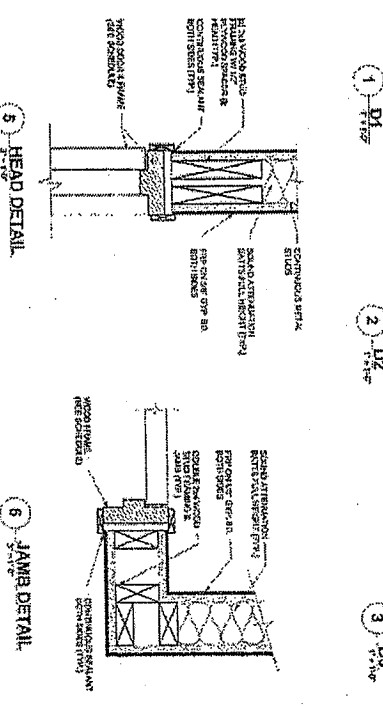
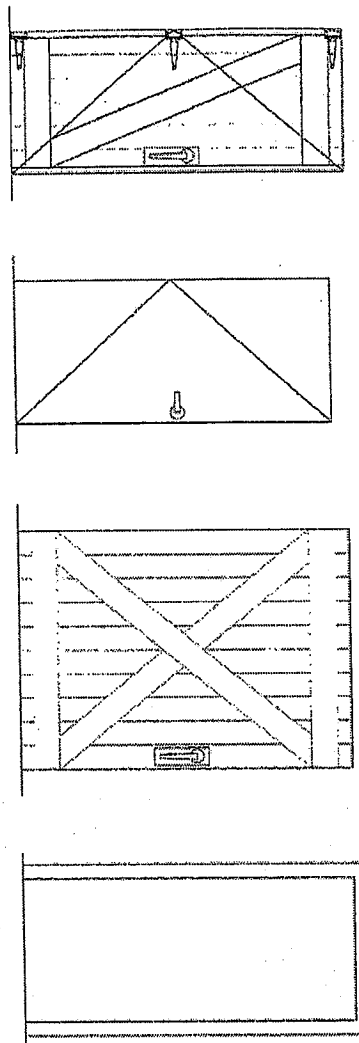
A4

DOOR & FRAME SCHEDULE

No.	Type	Material	Finish	Height	Width	Weight	FRAME		Notes
							Material	Finish	
1	10	1/2" x 10"	10	10	10	10	10	10	
2	20	1/2" x 10"	20	10	10	10	10	10	
3	30	1/2" x 10"	30	10	10	10	10	10	
4	40	1/2" x 10"	40	10	10	10	10	10	
5	50	1/2" x 10"	50	10	10	10	10	10	

ROOM FINISH SCHEDULE

No.	Room	Finish	Code	Notes
1	101	101	101	
2	102	102	102	
3	103	103	103	
4	104	104	104	
5	105	105	105	



GENERAL NOTES

1. MATERIALS TO BE USED SHALL BE AS SHOWN ON DRAWINGS.

HARDWARE SCHEDULE

No.	Description	Code	Notes
H1	1 1/2" x 1 1/2" x 1/4" BRASS HINGE	H1	
H2	1 1/2" x 1 1/2" x 1/4" BRASS HINGE	H2	
H3	1 1/2" x 1 1/2" x 1/4" BRASS HINGE	H3	
H4	1 1/2" x 1 1/2" x 1/4" BRASS HINGE	H4	
H5	1 1/2" x 1 1/2" x 1/4" BRASS HINGE	H5	
H6	1 1/2" x 1 1/2" x 1/4" BRASS HINGE	H6	

PAINTING NOTES

1. ALL SURFACES TO BE PAINTED SHALL BE PROPERLY PREPARED.
2. ALL SURFACES TO BE PAINTED SHALL BE PROPERLY PREPARED.
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HARDWARE NOTES

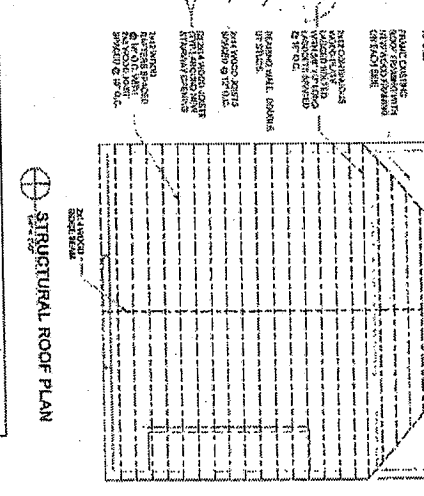
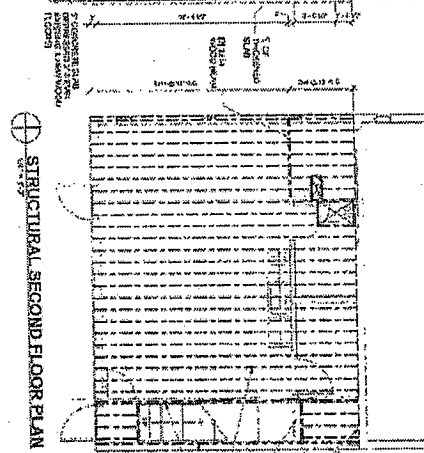
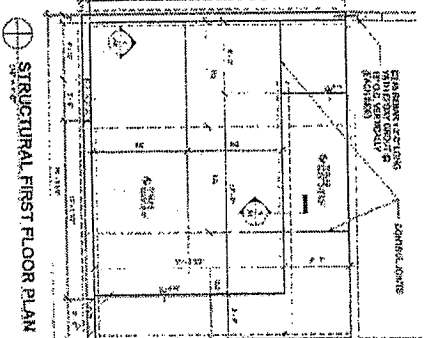
1. ALL HARDWARE SHALL BE AS SHOWN ON DRAWINGS.
2. ALL HARDWARE SHALL BE AS SHOWN ON DRAWINGS.
3. ALL HARDWARE SHALL BE AS SHOWN ON DRAWINGS.

1015

A5

1015

A5



STRUCTURAL NOTES

1. ALL ROOF TRUSS AND RAFTER MEMBERS SHALL BE FABRICATED FROM 2X4 LAMINATED TIMBER WITH A MINIMUM OF 10% DRY KILN DRYING. ALL MEMBERS SHALL BE SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.

2. ALL ROOF TRUSS AND RAFTER MEMBERS SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. ALL COLUMNS SHALL BE 10' HIGH AND SHALL BE REINFORCED WITH 4#4 BARS AT 12" ON CENTER. ALL COLUMNS SHALL BE SET ON 4" THICK CONCRETE FOOTINGS.

3. ALL ROOF TRUSS AND RAFTER MEMBERS SHALL BE BRACED TO THE EXISTING STRUCTURE TO PREVENT BUCKLING. ALL BRACING SHALL BE 2X4 LAMINATED TIMBER WITH A MINIMUM OF 10% DRY KILN DRYING.

4. ALL ROOF TRUSS AND RAFTER MEMBERS SHALL BE PROTECTED WITH 1/2" THICK GYP-SOLAR BOARD ON ALL EXPOSED SURFACES.

5. ALL ROOF TRUSS AND RAFTER MEMBERS SHALL BE PAINTED WITH A MINIMUM OF TWO COATS OF EXTERIOR GRADE PAINT.

6. ALL ROOF TRUSS AND RAFTER MEMBERS SHALL BE INSTALLED WITH A MINIMUM OF 1/4" CLEARANCE FROM ALL OTHER MEMBERS.

7. ALL ROOF TRUSS AND RAFTER MEMBERS SHALL BE INSTALLED WITH A MINIMUM OF 1/4" CLEARANCE FROM ALL OTHER MEMBERS.

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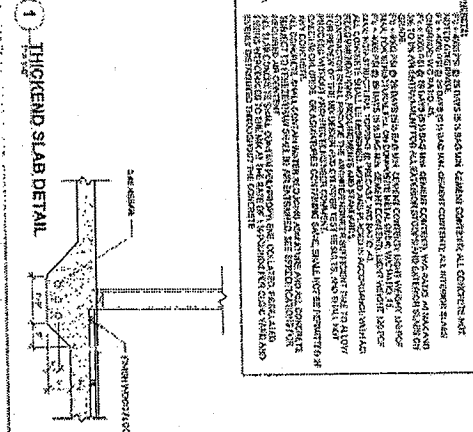
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1

THICKEND SLAB DETAIL

17/16
06/20/12
A.M.C.T.D.

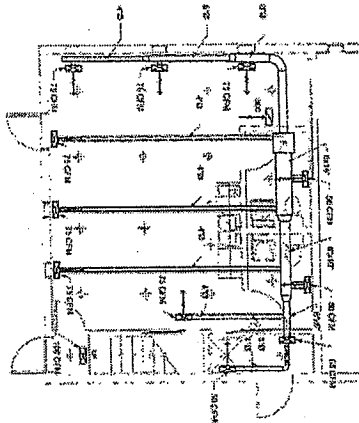
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REVISIONS

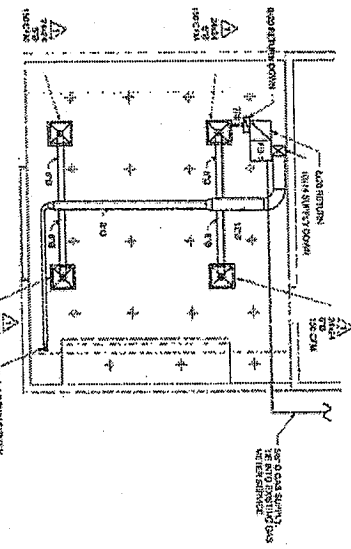
17/16
06/20/12
A.M.C.T.D.

S1

REVISIONS



MECHANICAL FIRST FLOOR PLAN



MECHANICAL SECOND FLOOR PLAN

DIFFUSER AND GRILLE SCHEDULE

ID	SYMBOL	MODEL	SIZE	LOCATION	TYPE	MATERIAL	FINISH	MANUFACTURER	SPEC. AND COMMENTS
1	Symbol	Model	Size	Location	Type 1	Steel	Painted	TCSA	
2	Symbol	Model	Size	Location	Type 2	Steel	Painted	TCSA	
3	Symbol	Model	Size	Location	Type 3	Steel	Painted	TCSA	
4	Symbol	Model	Size	Location	Type 4	Steel	Painted	TCSA	
5	Symbol	Model	Size	Location	Type 5	Steel	Painted	TCSA	
6	Symbol	Model	Size	Location	Type 6	Steel	Painted	TCSA	
7	Symbol	Model	Size	Location	Type 7	Steel	Painted	TCSA	
8	Symbol	Model	Size	Location	Type 8	Steel	Painted	TCSA	
9	Symbol	Model	Size	Location	Type 9	Steel	Painted	TCSA	
10	Symbol	Model	Size	Location	Type 10	Steel	Painted	TCSA	

SUPPLY AIR DIFFUSER NECK SIZE SCHEDULE

CALL OUT	DIFFUSER SIZE	NECK SIZE	TOTAL	UNITS
1-3	18"	18"	606	1
4-6	18"	18"	606	3
7-10	18"	18"	606	4

FURNACE SCHEDULE

NO.	MANUFACTURER	MODEL NO.	HEATING CAPACITY (BTU/HOUR)	OPERATING PRESSURE (PSIG)	VENTILATION TYPE	TERMINAL DEVICE
1	Manufacturer	Model No.	Capacity	Pressure	Type	Device

AIR COOLED CONDENSING UNIT SCHEDULE

NO.	MANUFACTURER	MODEL NO.	COOLING CAPACITY (TONS)	CONDENSING TEMP. (°F)	VENTILATION TYPE	TERMINAL DEVICE
1	Manufacturer	Model No.	Capacity	Temp.	Type	Device

FAN & HEATER SCHEDULE

NO.	MANUFACTURER	MODEL NO.	FLOW CAP. (CFM)	VOL. (GAL)	TYPE	TERMINAL DEVICE
1	Manufacturer	Model No.	Capacity	Volume	Type	Device

GENERAL MECHANICAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL CODES AND STANDARDS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE LOCAL AUTHORITY.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING SERVICES AND STRUCTURES.
5. THE CONTRACTOR SHALL PROTECT ALL ADJACENT WORK AREAS FROM DAMAGE.
6. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
7. THE CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION FOR ALL MECHANICAL EQUIPMENT.
8. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
9. THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR ALL MECHANICAL EQUIPMENT.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
11. THE CONTRACTOR SHALL MAINTAIN CLEAR ACCESS TO ALL EXISTING SERVICES AND STRUCTURES.
12. THE CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION FOR ALL MECHANICAL EQUIPMENT.
13. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
14. THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR ALL MECHANICAL EQUIPMENT.
15. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

VENTILATION SCHEDULE

NO.	ROOM NAME	COOLING LOAD (BTU/HOUR)	HEATING LOAD (BTU/HOUR)	VENTILATION TYPE	TERMINAL DEVICE
1	Office	100	50	Mechanical	Diffuser
2	Office	100	50	Mechanical	Diffuser
3	Office	100	50	Mechanical	Diffuser
4	Office	100	50	Mechanical	Diffuser
5	Office	100	50	Mechanical	Diffuser
6	Office	100	50	Mechanical	Diffuser
7	Office	100	50	Mechanical	Diffuser
8	Office	100	50	Mechanical	Diffuser
9	Office	100	50	Mechanical	Diffuser
10	Office	100	50	Mechanical	Diffuser
11	Office	100	50	Mechanical	Diffuser
12	Office	100	50	Mechanical	Diffuser
13	Office	100	50	Mechanical	Diffuser
14	Office	100	50	Mechanical	Diffuser
15	Office	100	50	Mechanical	Diffuser
16	Office	100	50	Mechanical	Diffuser
17	Office	100	50	Mechanical	Diffuser
18	Office	100	50	Mechanical	Diffuser
19	Office	100	50	Mechanical	Diffuser
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56	Office	100	50	Mechanical	Diffuser
57	Office	100	50	Mechanical	Diffuser
58	Office	100	50	Mechanical	Diffuser
59	Office	100	50	Mechanical	Diffuser
60	Office	100	50	Mechanical	Diffuser

MECHANICAL CONTRACTOR'S SIGNATURE BLOCK

Contractor: **M1**

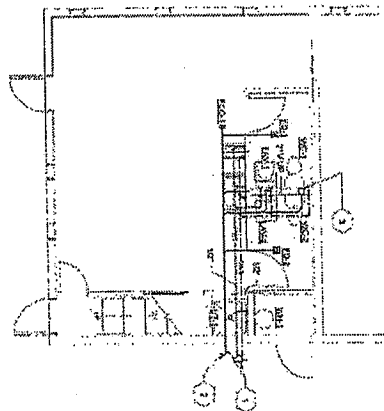
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Project: _____

Scale: _____

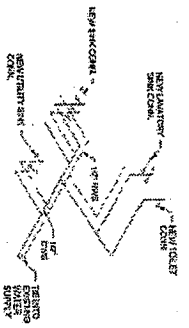
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Checked by: _____

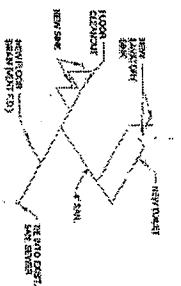


PLUMBING FIRST FLOOR PLAN

DOMESTIC WATER DISTRIBUTION PIPING DIAGRAM



SANITARY DRAINAGE, WASTE & VENT DIAGRAM



PLUMBING WORK NOTES

1. SEE MECHANICAL PLUMBING SPECIFICATIONS
2. THE FOLLOWING NOTES APPLY TO ALL WORK
3. REFER TO MECHANICAL PLUMBING SPECIFICATIONS FOR DETAILS
4. USE APPROVED MATERIALS AND METHODS

PLUMBING SYMBOLS

SYMBOL	DESCRIPTION
—•—•—	COLD WATER SUPPLY PIPING
—•—•—	HOT WATER SUPPLY PIPING
—•—•—	SEWER PIPING
—•—•—	VENT PIPING
—•—•—	WASTE PIPING
—•—•—	FIXTURE SYMBOLS

PLUMBING GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MECHANICAL PLUMBING SPECIFICATIONS FOR THE BUILDING OR PROJECT.
2. MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT.
3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
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24. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

PLUMBING FIXTURE SCHEDULE

FIXTURE	TYPE	MANUFACTURER	MODEL NO.	FINISH	INSTALLATION	DATE	REMARKS
W.C.	TOILET	AMERICAN	1234	WHITE	WALL MOUNT		
V.B.	VALVE	AMERICAN	1234	WHITE	WALL MOUNT		

DRAIN SCHEDULE

LOCATION	TYPE	MANUFACTURER	MODEL NO.	FINISH	INSTALLATION	DATE	REMARKS
TOILET	TOILET	AMERICAN	1234	WHITE	WALL MOUNT		
BATH	BATH	AMERICAN	1234	WHITE	WALL MOUNT		

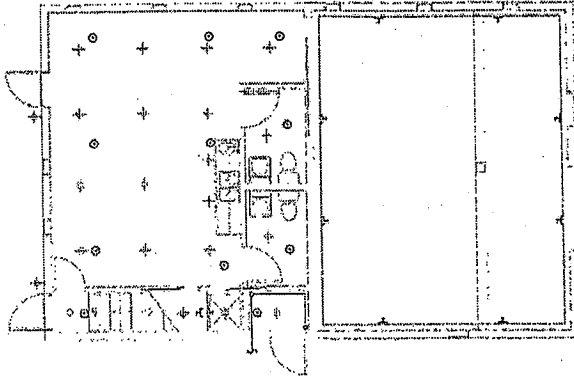
WATER HEATER SCHEDULE

WATER HEATER	TYPE	MANUFACTURER	MODEL NO.	FINISH	INSTALLATION	DATE	REMARKS
WATER HEATER	WATER HEATER	AMERICAN	1234	WHITE	WALL MOUNT		

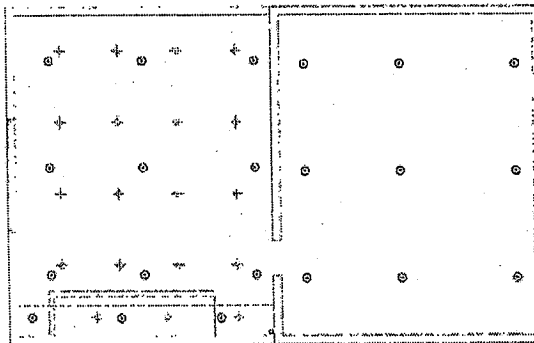
1018
1018
P1

1018
1018
P1

⊕ SPRINKLER SYSTEM FIRST FLOOR PLAN



⊕ SPRINKLER SYSTEM SECOND FLOOR PLAN



PIRE SUPPRESSION GENERAL NOTES

1. INSTALLATION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL FIRE DEPARTMENT.
2. THE FIRE DEPARTMENT SHALL BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO THE DATE OF INSTALLATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT.
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29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT.
31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT.
32. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT.

Contract Name: _____

Contract Number: _____

Contract Date: _____

Contract Location: _____

Contractor Name: _____

Contractor License Number: _____

Contractor Address: _____

Contractor Phone: _____

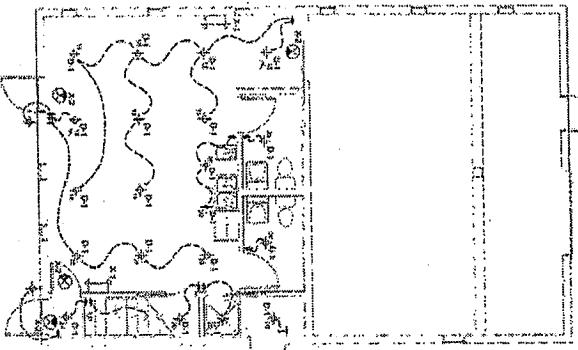
Contractor Signature: _____

Contractor Title: _____

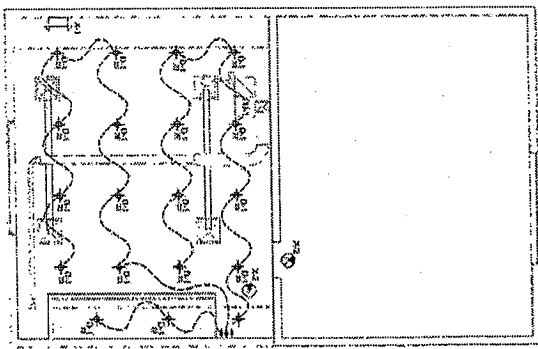
Contractor Date: _____

Contractor Seal: _____

ELECTRICAL LIGHTING FIRST FLOOR PLAN



ELECTRICAL LIGHTING PLAN SECOND FLOOR



ELECTRICAL CODE INFORMATION

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARMS CODE (NFPA).
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE.
3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON FIRE DEPARTMENT CODE.

LIGHTING FIXTURE NOTES

1. PROVIDE SPECIFIC LIGHTING FIXTURES TO EACH ROOM AND AREA OF LOCAL LIGHTING.
2. PROVIDE SPECIFIC LIGHTING FIXTURES TO EACH ROOM AND AREA OF LOCAL LIGHTING.
3. PROVIDE SPECIFIC LIGHTING FIXTURES TO EACH ROOM AND AREA OF LOCAL LIGHTING.
4. PROVIDE SPECIFIC LIGHTING FIXTURES TO EACH ROOM AND AREA OF LOCAL LIGHTING.
5. PROVIDE SPECIFIC LIGHTING FIXTURES TO EACH ROOM AND AREA OF LOCAL LIGHTING.
6. PROVIDE SPECIFIC LIGHTING FIXTURES TO EACH ROOM AND AREA OF LOCAL LIGHTING.
7. PROVIDE SPECIFIC LIGHTING FIXTURES TO EACH ROOM AND AREA OF LOCAL LIGHTING.
8. PROVIDE SPECIFIC LIGHTING FIXTURES TO EACH ROOM AND AREA OF LOCAL LIGHTING.

LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	SPRINKLER	VOLUME	WATTAGE	TYPE	FIXTURE	INSTALLATION	REMARKS
A1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
A2	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
B1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
B2	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
C1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
D1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
E1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
F1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
G1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
H1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
I1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
J1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
K1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
L1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
M1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED
N1	2' x 4' RECESSED FLUORESCENT WITH DARK ENAMEL	NO	120V	120W	FLUORESCENT	RECESSED	RECESSED	RECESSED

1916
E2

1916
E2

1916
E2

PANEL DATA SCHEDULE

NAME: [] UNIT PRICE: []
 ADDRESS: [] CONTRACTOR: []
 PROJECT: [] SHEET NO: []
 DATE: [] DRAWN BY: []
 CHECKED BY: [] APPROVED BY: []
 PROJECT NO: [] SHEET TITLE: []

*** SHEET NO. OF 42 ***


NO.	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
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1124
 22012
 E3
 11/20/2012
 11/20/2012

DIVISION 16 ELECTRICAL SPECIFICATIONS

<p>SECTION 16000 - ELECTRICAL</p> <p>16000 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16010 - ELECTRICAL</p> <p>16010 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16020 - ELECTRICAL</p> <p>16020 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16030 - ELECTRICAL</p> <p>16030 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical
<p>16040 - ELECTRICAL</p> <p>16040 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16050 - ELECTRICAL</p> <p>16050 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16060 - ELECTRICAL</p> <p>16060 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16070 - ELECTRICAL</p> <p>16070 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical
<p>16080 - ELECTRICAL</p> <p>16080 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16090 - ELECTRICAL</p> <p>16090 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16100 - ELECTRICAL</p> <p>16100 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16110 - ELECTRICAL</p> <p>16110 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical
<p>16120 - ELECTRICAL</p> <p>16120 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16130 - ELECTRICAL</p> <p>16130 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16140 - ELECTRICAL</p> <p>16140 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical 	<p>16150 - ELECTRICAL</p> <p>16150 - ELECTRICAL</p> <p>1. Section Includes</p> <ul style="list-style-type: none"> Electrical

1316
E4




Electrical Contractors Association of America
1200 K Street, N.W.
Washington, D.C. 20004-2001
Tel: 202/462-6000
Fax: 202/462-6001

1316
E4

DIVISION 16 ELECTRICAL SPECIFICATIONS (cont.)

<p>16-00000 ELECTRICAL</p> <p>16-01000 WIRING</p> <p>16-01100 WIRING</p> <p>16-01110 WIRING</p> <p>16-01111 WIRING</p> <p>16-01112 WIRING</p> <p>16-01113 WIRING</p> <p>16-01114 WIRING</p> <p>16-01115 WIRING</p> <p>16-01116 WIRING</p> <p>16-01117 WIRING</p> <p>16-01118 WIRING</p> <p>16-01119 WIRING</p> <p>16-01120 WIRING</p> <p>16-01121 WIRING</p> <p>16-01122 WIRING</p> <p>16-01123 WIRING</p> <p>16-01124 WIRING</p> <p>16-01125 WIRING</p> <p>16-01126 WIRING</p> <p>16-01127 WIRING</p> <p>16-01128 WIRING</p> <p>16-01129 WIRING</p> <p>16-01130 WIRING</p> <p>16-01131 WIRING</p> <p>16-01132 WIRING</p> <p>16-01133 WIRING</p> <p>16-01134 WIRING</p> <p>16-01135 WIRING</p> <p>16-01136 WIRING</p> <p>16-01137 WIRING</p> <p>16-01138 WIRING</p> <p>16-01139 WIRING</p> <p>16-01140 WIRING</p> <p>16-01141 WIRING</p> <p>16-01142 WIRING</p> <p>16-01143 WIRING</p> <p>16-01144 WIRING</p> <p>16-01145 WIRING</p> <p>16-01146 WIRING</p> <p>16-01147 WIRING</p> <p>16-01148 WIRING</p> <p>16-01149 WIRING</p> <p>16-01150 WIRING</p> <p>16-01151 WIRING</p> <p>16-01152 WIRING</p> <p>16-01153 WIRING</p> <p>16-01154 WIRING</p> <p>16-01155 WIRING</p> <p>16-01156 WIRING</p> <p>16-01157 WIRING</p> <p>16-01158 WIRING</p> <p>16-01159 WIRING</p> <p>16-01160 WIRING</p> <p>16-01161 WIRING</p> <p>16-01162 WIRING</p> <p>16-01163 WIRING</p> <p>16-01164 WIRING</p> <p>16-01165 WIRING</p> <p>16-01166 WIRING</p> <p>16-01167 WIRING</p> <p>16-01168 WIRING</p> <p>16-01169 WIRING</p> <p>16-01170 WIRING</p> <p>16-01171 WIRING</p> <p>16-01172 WIRING</p> <p>16-01173 WIRING</p> <p>16-01174 WIRING</p> <p>16-01175 WIRING</p> <p>16-01176 WIRING</p> <p>16-01177 WIRING</p> <p>16-01178 WIRING</p> <p>16-01179 WIRING</p> <p>16-01180 WIRING</p> <p>16-01181 WIRING</p> <p>16-01182 WIRING</p> <p>16-01183 WIRING</p> <p>16-01184 WIRING</p> <p>16-01185 WIRING</p> <p>16-01186 WIRING</p> <p>16-01187 WIRING</p> <p>16-01188 WIRING</p> <p>16-01189 WIRING</p> <p>16-01190 WIRING</p> <p>16-01191 WIRING</p> <p>16-01192 WIRING</p> <p>16-01193 WIRING</p> <p>16-01194 WIRING</p> <p>16-01195 WIRING</p> <p>16-01196 WIRING</p> <p>16-01197 WIRING</p> <p>16-01198 WIRING</p> <p>16-01199 WIRING</p> <p>16-01200 WIRING</p>	<p>16-02000 LIGHTING</p> <p>16-02100 LIGHTING</p> <p>16-02110 LIGHTING</p> <p>16-02111 LIGHTING</p> <p>16-02112 LIGHTING</p> <p>16-02113 LIGHTING</p> <p>16-02114 LIGHTING</p> <p>16-02115 LIGHTING</p> <p>16-02116 LIGHTING</p> <p>16-02117 LIGHTING</p> <p>16-02118 LIGHTING</p> <p>16-02119 LIGHTING</p> <p>16-02120 LIGHTING</p> <p>16-02121 LIGHTING</p> <p>16-02122 LIGHTING</p> <p>16-02123 LIGHTING</p> <p>16-02124 LIGHTING</p> <p>16-02125 LIGHTING</p> <p>16-02126 LIGHTING</p> <p>16-02127 LIGHTING</p> <p>16-02128 LIGHTING</p> <p>16-02129 LIGHTING</p> <p>16-02130 LIGHTING</p> <p>16-02131 LIGHTING</p> <p>16-02132 LIGHTING</p> <p>16-02133 LIGHTING</p> <p>16-02134 LIGHTING</p> <p>16-02135 LIGHTING</p> <p>16-02136 LIGHTING</p> <p>16-02137 LIGHTING</p> <p>16-02138 LIGHTING</p> <p>16-02139 LIGHTING</p> <p>16-02140 LIGHTING</p> <p>16-02141 LIGHTING</p> <p>16-02142 LIGHTING</p> <p>16-02143 LIGHTING</p> <p>16-02144 LIGHTING</p> <p>16-02145 LIGHTING</p> <p>16-02146 LIGHTING</p> <p>16-02147 LIGHTING</p> <p>16-02148 LIGHTING</p> <p>16-02149 LIGHTING</p> <p>16-02150 LIGHTING</p> <p>16-02151 LIGHTING</p> <p>16-02152 LIGHTING</p> <p>16-02153 LIGHTING</p> <p>16-02154 LIGHTING</p> <p>16-02155 LIGHTING</p> <p>16-02156 LIGHTING</p> <p>16-02157 LIGHTING</p> <p>16-02158 LIGHTING</p> <p>16-02159 LIGHTING</p> <p>16-02160 LIGHTING</p> <p>16-02161 LIGHTING</p> <p>16-02162 LIGHTING</p> <p>16-02163 LIGHTING</p> <p>16-02164 LIGHTING</p> <p>16-02165 LIGHTING</p> <p>16-02166 LIGHTING</p> <p>16-02167 LIGHTING</p> <p>16-02168 LIGHTING</p> <p>16-02169 LIGHTING</p> <p>16-02170 LIGHTING</p> <p>16-02171 LIGHTING</p> <p>16-02172 LIGHTING</p> <p>16-02173 LIGHTING</p> <p>16-02174 LIGHTING</p> <p>16-02175 LIGHTING</p> <p>16-02176 LIGHTING</p> <p>16-02177 LIGHTING</p> <p>16-02178 LIGHTING</p> <p>16-02179 LIGHTING</p> <p>16-02180 LIGHTING</p> <p>16-02181 LIGHTING</p> <p>16-02182 LIGHTING</p> <p>16-02183 LIGHTING</p> <p>16-02184 LIGHTING</p> <p>16-02185 LIGHTING</p> <p>16-02186 LIGHTING</p> <p>16-02187 LIGHTING</p> <p>16-02188 LIGHTING</p> <p>16-02189 LIGHTING</p> <p>16-02190 LIGHTING</p> <p>16-02191 LIGHTING</p> <p>16-02192 LIGHTING</p> <p>16-02193 LIGHTING</p> <p>16-02194 LIGHTING</p> <p>16-02195 LIGHTING</p> <p>16-02196 LIGHTING</p> <p>16-02197 LIGHTING</p> <p>16-02198 LIGHTING</p> <p>16-02199 LIGHTING</p> <p>16-02200 LIGHTING</p>
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<p>16-01100</p> <p>WIRING</p> <p>16-01100</p>	<p>16-02100</p> <p>LIGHTING</p> <p>16-02100</p>	<p>E5</p>
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Central Office Address
 Department of Transportation
 Lansing, Michigan 48913

Exhibit "B"

**Cost Estimate
for the Addition**

(attached)

Carriage House
Construction/Revenue Projections

	Revenue	Expenditures
<u>Construction</u>		
Architect/Eng/Design		18,000
Construction		227,000
Prevailing Wage Add.		37,200
Soil and Concrete Testing		3,000
Contingency		28,520
<u>Revenue</u>		
2011 (actual as of 12/21/11)	43,026	
2012 Projection		
Donations	29,000	
Events	14,000	
Grants	70,000	
V.O.L. Utilities	45,000	
V.O.L. Sidewalks/Curbs	6,000	
V.O.L. Fire and Burglar	30,000	
In-Kind Donations	4,000	
<u>Sub Total</u>	241,026	313,720
<u>Hold Items</u>		
One Bathroom		-5,000
Wood Floor		-4,000
Second Floor, Build Out		-5,000
Wood Interior Walls		-3,000
Kitchen Sinks/Cabinets		-1,500
<u>Sub Total</u>		-18,500
<u>Total</u>	241,026	295,220
<u>Difference</u>		54,194

***Projections based upon the high estimates for construction by the Architect and the low estimates for revenue by the Society.

Exhibit "C"

**Anticipated Estimate of the
Funding Sources for the Addition**

Total Estimated Addition Cost	\$313,720.00
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Estimated Cost of the Village Funded Work

Utilities	(\$45,000.00)
Sidewalk	(\$ 6,000.00)
Fire/Burglar Alarms	(\$30,000.00)

Additional Costs to be Funded by the SOCIETY \$232,720.00

Grant	(\$70,000.00)
Donations	(\$43,026.00)

Funding Gap \$119,694.00

Anticipated Sources of Funds to Pay the Funding Gap:

- A. 2012, 2013 and 2014 donations to the SOCIETY
- B. Special SOCIETY Event Proceeds
- C. The Certificates of Deposit as referenced in Exhibit "D"

Exhibit "D"

**Certificates of Deposit
Pledged as Collateral for the Funding Gap**

Unrestricted Accounts:

Name	Account #	Maturity	Balance
LHS CD - Cole Taylor	[REDACTED]	April 2012	\$ 9,939.30
Memorial Checking - Fifth Third	[REDACTED]	N/A	\$20,330.31
Total Unrestricted:			\$30,269.61

Restricted* Accounts:

Name	Account #	Maturity	Balance
Zeigler Memorial DSW	[REDACTED]	N/A	\$10,036.73
Peck Investment UBS	[REDACTED]	N/A	\$11,889.55
Peck CD- Harris	[REDACTED]	April 2012	\$12,300.54
Peck CD- Harris	[REDACTED]	March 2012	\$12,457.84
Peck CD- Harris	[REDACTED]	March 2012	\$16,214.63
Peck CD- Harris	[REDACTED]	February 2012	\$12,724.22
Total Restricted:			\$75,623.51

**Restricted funds if approved by the LHS Board of Management could be used as collateral for a loan to the Society.*