



MEMORANDUM

TO: Trustee Anthony Puccio, Chairperson
Economic and Community Development Committee

FROM: William J. Heniff, AICP, Director of Community Development *WA*

MEETING DATE: November 11, 2024

SUBJECT: **2-8 W. St. Charles Road (Grove Tavern): Three Grants (Possible Resolution Amendment)**

On September 21, 2023 and after due consideration by the ECDC, the Village Board approved the attached Resolution 49-23 which approved three grant applications by the owner of the 2-8 W. St. Charles Road property (10 W. St. Charles LLC/George Garifalis), and on behalf of the existing proposed/tenant for the properties at 2-8 W. St. Charles Road (Egg House):

1. A Downtown Renovation and Improvement Grant (Façade Grant) of up to \$50,000 for the proposed façade modifications and related eligible components.
2. A Restaurant Forgivable Loan of up to \$100,000 for the proposed tenant modification and build out of the existing vacant building at 6 West. St. Charles and ancillary and related tenant modifications in the 2 West St. Charles restaurant space.
3. A Downtown Retail Business Grant of up to \$20,000 for the proposed tenant modification and outside capital improvements.

As the ECDC members are aware, the Village approved building permits to provide for the proposed expansion project which includes the following components:

- a complete renovation of the 6 W. St. Charles Road building to accommodate the dinner restaurant component;
- connecting the building to the adjacent 2 W. St. Charles building via a to be created access/egress door to allow for additional seating, access to reconfigured restrooms and use of the existing Egg House Kitchen food preparation infrastructure by their staff; and
- providing for an outdoor patio seating/dining area.

Work continues on the project and the owner provided the attached schedule of work as well as the following construction notes:

- The roof will be fully completed within 10 days (i.e., November 15).
- The windows and doors were ordered.
- The furniture and equipment was ordered.

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2-8 W. St. Charles Road – Possible Resolution Amendment

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- The plumbing and electrical work is in process.
- Owner's contractors will then pour the concrete flooring later in November. The target is to button up the building heading into December to let the carpentry and detail work begin in earnest.

The reason this item is being placed upon the ECDC agenda is to address timing issues relative to the grant request close out and the end of the Downtown Lombard Tax Increment Financing (TIF) District. In order for the Village to release TIF funds, and per Village Policies, the work must be completed, submittals of final construction costs, paid invoices and waivers of lien have to be submitted and approved by Village staff. Based upon ongoing discussions with the owner, work is continuing but there are possibilities that all work may not be completed by December 31, 2024.

The owner's goal is to get as much done as possible and with a possibility of having the project completed. Given the amount of work done to date and which will occur over the next seven weeks, Village staff has been reviewing some possible contingencies to address a scenario in which completion does not occur by December 31, 2024. Rather than simply stating that as the project was not done, no funds are available, Community Development and Finance staff have been discussing the possibility of providing some TIF grant funding based upon work completed by a specified 2024 date and utilizing provisions of the Downtown Grant Program/Economic Development Funds to pay for any other previously approved grant funds. While this could theoretically be accomplished by staff, the approved Resolution 49-23 (attached) specifically stated that the Downtown Lombard TIF Grant would be the funding source. So given this possibility, an amendment to the approved Resolution is contemplated.

Please note that the grant funding structure or the amount that could be awarded would not change, only the funding source of the grant reimbursement.

ACTION REQUESTED

This item is being placed on the November 11 ECDC agenda. Staff is seeking direction and concurrence by the ECDC that, if necessary, staff shall prepare a First Amendment to Resolution 49-23 which would allow utilization of the Village's Economic Development Funds to pay for any project completion funds that otherwise could not be paid by the Downtown Lombard TIF District funding source.

| Grove Tavern Project | | Budget | | TOTALS | Paid | NOTES FOR VILLAGE | Façade 2x50K | Façade Notes | Rest FG 3x100K | Rest FG Notes | Retail 20K |
|----------------------|--------------------|------------|------------|------------|------------|---------------------------------------|---------------|-------------------------------|----------------|-----------------------------|------------|
| | Contractor | Amount | Adj | | | | | | | | |
| Concrete | Samal Construction | \$ 89,000 | \$ 110,000 | | \$ 59,700 | | \$ 10,000.00 | Patio Stamping | \$ 20,000.00 | New Flooring | n/a |
| Electrical | Pavel Jenk | \$ 79,000 | \$ 100,000 | | \$ 15,000 | Will be complete by 12/1 | \$ 3,000.00 | Outdoor Lights | \$ 62,000.00 | All new wiring inside Space | Yes |
| HVAC | Pending | \$ 90,000 | \$ 90,000 | | \$ 40,000 | Planned 70% complete by 12/1 | | | \$ 86,000.00 | New HVAC and Kitchen Hood | Yes |
| Plumbing | Kara Plumbing | \$ 63,000 | \$ 66,000 | | | Planned 90% completion by 12/15 | | | \$ 65,000.00 | All New Plumbing | Yes |
| Mason | IMD Masonry | \$ 38,000 | \$ 80,000 | | \$ 58,500 | 50% as of today. 100% by 12/15 | | | \$ 15,000.00 | Door Openings | n/a |
| GC | RWB Group | \$ 50,000 | \$ 50,000 | | \$ 20,000 | 90% complete. 100% complete by 12/1 | | Exterior Façade Work | | | Yes |
| Carpentry | RWB Group | \$ 80,000 | \$ 100,000 | | \$ 8,500 | Ongoing over project | | | \$ 50,000.00 | Interior Carpentry | Yes |
| Fence | Pending | \$ 10,000 | \$ 10,000 | | | Not sure yet | | Labor for Trip | \$ 5,000.00 | New Fire Doors | n/a |
| Doors | Pending | \$ 13,200 | \$ 10,000 | | | Planned completion by 12/15 | | Exterior Fencing | | | n/a |
| Windows | Pending | \$ 50,000 | \$ 80,000 | | | Planned completion by 12/15 (ordered) | | All the new Windows and Doors | \$ 4,250.00 | | n/a |
| Tree/Lumber | Nichols Logging | \$ 4,250 | \$ 5,000 | | \$ 4,250 | Complete | | | | | |
| Dumpsters | Hairmasters | \$ 5,000 | \$ 8,000 | | \$ 6,071 | | | | | | |
| Demolition | Jose | \$ 5,000 | \$ 5,000 | | \$ 4,478 | | | | | | |
| Roof | Pending | \$ 25,000 | \$ 30,000 | | | | | | | | |
| Bar/Bathrooms | Pending | \$ 20,000 | \$ 10,000 | | | | | | | | |
| Misc Supplies | Pending | \$ 10,000 | \$ 5,000 | | \$ 703 | | \$ 10,000.00 | Trax Trim | | | |
| Contingency | | \$ 55,000 | \$ - | | | | | | | | |
| Financing (Constr) | | \$ 15,000 | \$ 15,000 | | \$ 8,965 | | | | | | |
| Sub Total | | | | \$ 774,000 | | | | | | | |
| Renderings | | \$ 3,000 | \$ - | | | | | | | | |
| Architect | Capital Architects | \$ 15,000 | \$ 20,000 | | \$ 10,800 | Complete by 12/1 | | | | | |
| Int Design | Georgios | \$ 15,000 | \$ 20,000 | | \$ 12,000 | Complete by 12/1 | | | | | |
| Permits | | \$ 4,000 | \$ 10,000 | | \$ 8,566 | Complete by 12/1 | | | | | |
| BUILDING TOTAL | | | | \$ 50,000 | | | | | | | |
| Furniture | | \$ 30,000 | \$ 30,000 | | | | | | \$ 30,000 | | |
| Cooler | | \$ 20,000 | \$ 10,000 | | | Ordered and delivered by 12/15 | | | \$ 10,000 | | |
| Equipment | | \$ 50,000 | \$ 40,000 | | \$ 900 | Completed | | | \$ 40,000 | | |
| Security | | \$ 20,000 | \$ 10,000 | | | Ordered and delivered by 12/15 | | | \$ 10,000 | | |
| TV / Audio | | \$ 20,000 | \$ 10,000 | | | 50% complete by 12/15 | | | \$ 10,000 | | n/a |
| Sign | | \$ 6,656 | \$ 7,500 | | | 25% complete by 12/15 | \$ 6,656 | | | | |
| RESTAURANT TOTAL | | | | \$ 107,500 | | | | | | | |
| PROJECT TOTAL | | \$ 885,106 | \$ 931,500 | \$ 931,500 | \$ 258,434 | | \$ 143,000.00 | | \$ 407,250 | | |

RESOLUTION
R 49-23

**A RESOLUTION APPROVING A DOWNTOWN RESTAURANT FORGIVABLE
LOAN, A DOWNTOWN RETAIL BUSINESS GRANT AND A DOWNTOWN
RENOVATION AND IMPROVEMENT GRANT FOR THE PROPERTY
COMMONLY KNOWN AS 2-8 W. ST. CHARLES ROAD**

WHEREAS, the Village of Lombard (the "Village") disburses funds for the Downtown Restaurant Forgivable Loan Program, the Downtown Retail Business Grant and the Downtown Renovation and Improvement Grant (the "Programs") under the authority of the Village Board of Trustees, and will provide monetary grants to qualified property owners in the Lombard Downtown Tax Increment Financing (TIF) District to enhance and improve buildings and parking areas; and,

WHEREAS, property owner 10 W. St. Charles LLC (the "Applicant"), desires to participate in these Programs for interior and exterior renovations to the building (the "Project") located at 2-8 W. St. Charles Road, Lombard, Illinois (the "Subject Properties") and,

WHEREAS, the Project shall consist of those renovations on the Subject Properties as set forth on Exhibit "A" attached hereto and made part hereof; and,

WHEREAS, the Project will complement and support the Village's plans to maintain a quality Central Business District;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LOMBARD, DUPAGE COUNTY, ILLINOIS, as follows:

SECTION 1: That the Village shall provide the Applicant with the following:

1. A Downtown Renovation and Improvement Grant of up to \$50,000 for the proposed façade modifications and related eligible components; and
2. A Restaurant Forgivable Loan of up to \$100,000 and a Downtown Retail Business Grant of up to \$20,000 for the proposed tenant modification and build out of the existing vacant building at 6 W. St. Charles Road and related tenant modifications in the 2 West St. Charles restaurant space.

Such funding shall be available to the Applicant upon the authorization of the Village's Director of Community Development, after receipt of satisfactory evidence that the Project components have been completed, and that the Applicant has paid all invoices for labor and materials in connection therewith.

SECTION 2: The Applicant, as well as any subsequent business or property owner, will perform the following obligations in connection with the Project:

1. Building permits must be received for the applicable work, with completion and passage of all required inspections.
2. Work shall be complete one year from the date of approval by the ECDC.
3. Before the grant can be paid out, 10 W. St. Charles Road LLC shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and an IRS W-9 form. The Village shall pay out to the grant recipient based upon the grant parameters limitations set forth within the respective Policies.
4. After the grant funds are paid, 10 W. St. Charles Road LLC shall display the Village window sign acknowledging they received a grant.

SECTION 3: The Applicant, and any subsequent business or property owner, shall be required to maintain the subject Property in accordance with all Village codes and ordinances, and obtain all necessary licenses and permits required relative thereto.

SECTION 4: That the Program Agreement, relative to the Project, attached hereto as Exhibit "B" and made part hereof is hereby approved (the "Agreement")

SECTION 5: That the Owner agrees that the Agreement may be duly recorded against the subject Property, to serve as notice upon future purchasers, assigns, estate representatives, mortgages, and all other interested persons of the conditions outlined in the Agreement.

SECTION 6: The Village may terminate the Agreement if the Applicant or Owner, or any subsequent business or property owner, fails to comply with any of the terms of the Agreement. In the event of termination, the Owner shall be required to repay any amount of the Grant disbursed.

Resolution No. 49-23
2-8 W. St. Charles Road

SECTION 7: That the Village President and Village Clerk are hereby authorized and directed to sign, on behalf of the Village of Lombard, the Agreement attached hereto as Exhibit "B".

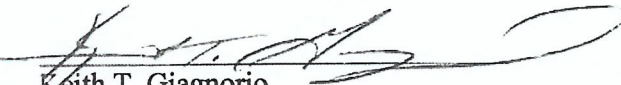
Adopted this 21st day of September 2023, pursuant to a roll call vote as follows:

Ayes: Trustee LaVaque, Dudek, Puccio, Honig, and Bachner

Nays: None

Absent: Trustee Militello

Approved by me this 21st day of September 2023.


Keith T. Giagnorio
Village President

ATTEST:

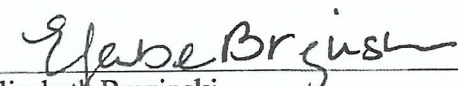

Elizabeth Brezinski
Village Clerk

EXHIBIT A
Legal Description

2 W. ST. CHARLES ROAD (06-07-206-042)

LOT 2 AND THAT PART OF LOT 3, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF ST. CHARLES ROAD (FORMERLY LAKE STREET) 65.0 FEET EASTERLY FROM THE SOUTHEAST CORNER OF LOT 5 IN BLOCK 11; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 5, 68.0 FEET, MORE OR LESS TO THE SOUTH LINE OF THE SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF SAID LOT 3; THENCE EAST ALONG THE SOUTH LINE OF SAID SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF LOT 3 TO THE EAST LINE OF SAID LOT 3 (BEING THE WEST LINE OF MAIN STREET); THENCE SOUTH ALONG THE EAST LINE OF LOT 3, 30.0 FEET, PRE PRESS. TO THE NORTHWESTERLY CORNER OF SAID LOT 2; THENCE SOUTHERLY ALONG THE WEST LINE OF LOT 2, 35.0 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 2 (BEING THE NORTH LINE OF ST. CHARLES ROAD)(FORMERLY LAKE STREET); THENCE WESTERLY ALONG THE NORTH LINE OF ST. CHARLES ROAD, 39-28 FEET TO THE PLACE OF BEGINNING (EXCEPTING THE WESTERLY 20-5 FEET OF SAID PART OF LOT 3 AFORESAID) IN BLOCK 11 IN THE TOWN OF LOMBARD, BEING A SUBDIVISION OF PART OF SECTION 5 TO 18, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, ALSO

6 WEST ST. CHARLES ROAD (06-07-206-022)

THE WESTERLY 20.5 FEET OF THE PART OF LOT 3 IN BLOCK 11 OF THE PLAT OF THE TOWN OF LOMBARD DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF LAKE STREET 65 FEET EASTERLY FROM THE SOUTHEAST CORNER OF LOT 5 IN SAID BLOCK 11; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 5, 70 FEET; THENCE EASTERLY IN A STRAIGHT LINE TO A POINT ON THE WEST LINE OF MAIN STREET, 22 FEET NORTHERLY FROM THE NORTHEASTERLY CORNER OF LOT 2 IN SAID BLOCK; THENCE SOUTH ALONG THE WEST LINE OF MAIN STREET, 22 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 2; THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT, 23 FEET TO THE NORTHWESTERLY CORNER OF SAID LOT 2; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID LOT 2, 35 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 2 AND THE NORTH LINE OF LAKE STREET; THENCE WESTERLY ALONG THE NORTHERLY LINE OF LAKE STREET 39-28 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS; ALSO

8 W. ST. CHARLES ROAD (06-07-206-032)

THE SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF LOTS 3 AND 4 AND THE SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF THAT PART OF LOT 5 (BEING 20.0 FEET MORE OR LESS) LYING EAST OF THE EAST LINE OF THE PROPERTY DESCRIBED IN THE WARRANTY DEED FROM JOSEPH B. HULL TO ISAAC CLAFLIN AND RECORDED OCTOBER 121, 1869, AS DOCUMENT 11925 (EXCEPTING THEREFROM THAT PART THEREOF FALLING IN THE FOLLOWING DESCRIBED TRACT, TO-WIT: BEGINNING ON THE SOUTH LINE OF SAID LOT 4, 5.0 FEET EAST OF THE SOUTHWEST CORNER

Resolution No. 49-23
2-8 W. St. Charles Road

THEREOF; ALONG AN OLD FENCE LINE) 5.0 FEET; THENCE EASTERLY PARALLEL WITH THE SOUTH LINE OF SAID LOTS (BEING ALONG AN OLD FENCE LINE) 35.0 FEET; THENCE SOUTHERLY PARALLEL WITH THE WES LINE OF SAID LOT 3 (BEING ALONG AN OLD FENCE LINE)70.0 FEET TO THE SOUTH LINE OF SAID BLOCK; THENCE WESTERLY ALONG SAID SOUTH LINE 60.0 FEET TO THE PLACE OF BEGINNING (AND BEING THE SAME PROPERTY AS DESCRIBED IN QUIT CLAIM DEED FROM GEORGE H. FISCHER AND WIFE, TO MARY S. OTT AND MAY OTT RECORDED APRIL 18, 1930, AS DOCUMENT 296170) IN BLOCK 11 IN THE TOWN OF LOMBARD, BEING A SUBDIVISION OF PART OF SECTIONS 5 TO 8 AND 18, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT B

DOWNTOWN RESTAURANT FORGIVABLE LOAN PROGRAM AGREEMENT

This Downtown Restaurant Forgivable Loan Program (hereinafter referred to as the “Agreement”) Agreement is entered into this 21st day of September, 2023, by and between the Village of Lombard, Illinois, (hereinafter referred to as the “Village”), and property owner 10 W. St. Charles LLC (hereinafter referred to as “Applicant”), for the property located at 2-8 W. St. Charles Road, Lombard, Illinois (said location being legally described on Exhibit “1” attached hereto and made part hereof – hereinafter referred to as the “Subject Property”).

WITNESSETH

WHEREAS, the Village, pursuant to Chapter 36 of the Lombard Village Code, has established a Downtown Restaurant Forgivable Loan, Downtown Retail Business Grant and Downtown Renovation and Improvement Grant Programs (hereinafter referred to as the “Programs”), and, as such, will provide assistance to qualified business owners and property owners in the Eligible TIF Districts (as said term is defined in Section 36.51 of the Lombard Village Code) for selected interior and exterior renovations; and

WHEREAS, the Program compliments and supports the Village's plans to maintain a quality Central Business District; and

WHEREAS, interior renovations are desirable within the Central Business District and contribute to an economically strong Central Business District; a commercial area where the image, appearance, and environment encourage the attraction of shoppers; and

WHEREAS, the Applicant desires to participate in the Programs, for proposed renovations at the Subject Property; with said renovations being more specifically described in Exhibit “2” attached hereto and made part hereof (hereinafter referred to as the “Project”);

NOW, THEREFORE, in consideration of the foregoing, and other good and valuable consideration, the receipt of which is hereby acknowledged by the Parties hereto, the Parties agree as follows:

SECTION 1: The Village shall provide the Applicant with a grant under the Program in the following not to exceed amounts (hereinafter referred to as the “Grants”).

1. A Downtown Renovation and Improvement Grant (Façade Grant) of up to \$50,000 for the proposed façade modifications and related eligible components.

2. A Restaurant Forgivable Loan of up to \$100,000 for the proposed tenant modification and build-out of the existing vacant building at 6 West. St. Charles and ancillary and related tenant modifications in the 2 West St. Charles restaurant space.
3. A Downtown Retail Business Grant of up to \$20,000 for the proposed tenant modification and outside capital improvements.

Such Grants shall be available to the Applicant, upon the authorization of the Village's Director of Community Development, after the Applicant has constructed the Project, complied with the provisions of this Agreement and Chapter 36 of the Lombard Village Code, and has paid for the Project.

The maximum amount of the Downtown Renovation and Improvement Grant, as set forth above, is based upon the Applicant expending no less than one hundred thousand and 00/100 dollars (\$100,000.00) in eligible costs relation to the Project. If the Applicant's expenditures for the Project are less, the Grant shall be reduced such that the maximum amount of the Grant shall not exceed one-half (1/2) of the amount expended by the Applicant in relation to the Project.

The maximum amount of the Restaurant Forgivable Loan, as set forth above, is based upon the Applicant expending no less than three hundred thousand and 00/100 dollars (\$300,000.00) in eligible costs in relation to the Project. If the Applicant's expenditures for the Project are less, the Grant shall be reduced such that the maximum amount of the Grant shall not exceed one-third (1/3) of the amount expended by the Applicant in relation to the Project.

The maximum amount of the Downtown Retail Business Grant, as set forth above, is based upon the Applicant expending no less than forty thousand and 00/100 dollars (\$40,000.00) in eligible costs in relation to the Project. If the Applicant's expenditures for the Project are less, the Grant shall be reduced such that the maximum amount of the Grant shall not exceed one-half (1/2) of the amount expended by the Applicant in relation to the Project.

SECTION 2: The Applicant shall undertake the following in connection with the Project:

4. Building permits must be received for the applicable work, with completion and passage of all required inspections.
5. Work shall be complete one year from the date of approval by the ECDC.
6. Before the grant can be paid out, 10 W. St. Charles Road LLC shall submit a final receipt (showing the project is paid in full), waivers of lien from contractors, and

an IRS W-9 form. The Village shall pay out to the grant recipient based upon the grant parameters limitations set forth within the respective Policies.

7. After the grant funds are paid, 10 W. St. Charles Road LLC shall display the Village window sign acknowledging they received a grant.

SECTION 3: Upon completion of the Project, the Applicant shall maintain the Subject Property and the business located thereon, in accordance with all applicable federal, state and local laws, rules and regulations.

SECTION 4: The Owner hereby consents to the recording of this Agreement to serve as notice to future purchasers, assigns, estate representatives, mortgagees, and all other interested persons of the conditions outlined in this Agreement.

SECTION 5: The Owner hereby agrees to be bound by the lien conditions set forth in Section 36.55 of the Lombard Village Code, which are incorporated herein by reference as if set forth in full herein, including, but not limited to, the condition that, upon disbursement of the Restaurant Forgivable Loan funds by the Village, no business, other than a restaurant, may operate at the subject Property for a period of ten (10) years from the recording of the lien referenced in said Section 36.55 of the Lombard Village Code, without the consent of the Village.


SECTION 6: In the event the Village terminates this Agreement as a result of the Applicant or Owner failing to comply with any of the terms of this Agreement, the Applicant and/or Owner shall be required to repay any amount of the Grant that has been disbursed by the Village. In the event said amount is not repaid within thirty (30) days of the Village's written demand for repayment, interest shall accrue at a rate of two percent (2%) per month on the unpaid amount due until the amount due is paid in full, and the Village shall have the right to record a lien against the Subject Property for said amount, and foreclose upon said lien in the same manner as in regard to a mortgage.

SECTION 7: The Applicant and Owner agree not to substantially change the use of the business or interior space for which the Grant was received for a period of not less than ten (10) years from the date the Agreement was executed.

SECTION 8: This Agreement shall be binding upon the successors and assigns of the Parties hereto.

Resolution No. 49-23
2-8 W. St. Charles Road

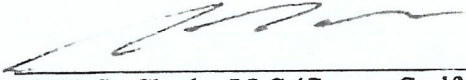
VILLAGE OF LOMBARD


By: Keith T. Giagnorio, Village President


Attest: Elizabeth Brezinski, Village Clerk

Resolution No. _____
2-8 W. St. Charles Road

APPLICANT/OWNER



10 W. St. Charles LLC (George Garifalis)

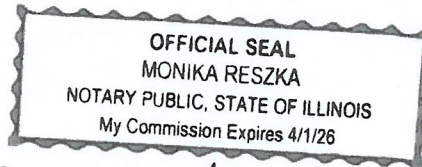
Resolution No. 49-23
2-8 W. St. Charles Road

STATE OF ILLINOIS)
)SS
COUNTY OF DUPAGE)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that Keith T. Giagnorio, personally known to me to be the President of the Village of Lombard, and Elizabeth Brezinski, personally known to me to be the Village Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such President and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this 21st day of Sept, 2023.

Commission expires April 1, 2026.



Monika Reszka
Notary Public

EXHIBIT 1
Legal Description

2 W. ST. CHARLES ROAD (06-07-206-042)

LOT 2 AND THAT PART OF LOT 3, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF ST. CHARLES ROAD (FORMERLY LAKE STREET) 65.0 FEET EASTERLY FROM THE SOUTHEAST CORNER OF LOT 5 IN BLOCK 11; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 5, 68.0 FEET, MORE OR LESS TO THE SOUTH LINE OF THE SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF SAID LOT 3; THENCE EAST ALONG THE SOUTH LINE OF SAID SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF LOT 3 TO THE EAST LINE OF SAID LOT 3 (BEING THE WEST LINE OF MAIN STREET); THENCE SOUTH ALONG THE EAST LINE OF LOT 3, 30.0 FEET, PRE PRESS. TP THE NORTHWESTERLY CORNER OF SAID LOT 2; THENCE SOUTHERLY ALONG THE WEST LOINE OF LOT 2, 35.0 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 2 (BEING THE NORTH LINE OF ST. CHARLES ROAD)(FORMERLY LAKE STREET); THENCE WESTERLY ALONG THE NORTH LINE OF ST. CHARLES ROAD, 39-28 FEET TO THE PLACE OF BEGINNING (EXCEPTING THE WESTERLY 20-5 FEET OF SAID PART OF LOT 3 AFORESAID) IN BLOCK 11 IN THE TOWN OF LOMBARD, BEING A SUBDIVISION OF PART OF SECTION 5 TO 18, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, ALSO

6 WEST ST. CHARLES ROAD (06-07-206-022)

THE WESTERLY 20.5 FEET OF THE PART OF LOT 3 IN BLOCK 11 OF THE PLAT OF THE TOWN OF LOMBARD DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF LAKE STREET 65 FEET EASTERLY FROM THE SOUTHEAST CORNER OF LOT 5 IN SAID BLOCK 11; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 5, 70 FEET; THENCE EASTERLY IN A STRAIGHT LINE TO A POINT ON THE WEST LINE OF MAIN STREET, 22 FEET NORTHERLY FROM THE NORTHEASTERLY CORNER OF LOT 2 IN SAID BLOCK; THENCE SOUTH ALONG THE WEST LINE OF MAIN STREET, 22 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 2; THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT, 23 FEET TO THE NORTHWESTERLY CORNER OF SAID LOT 2; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID LOT 2, 35 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 2 AND THE NORTH LINE OF LAKE STREET; THENCE WESTERLY ALONG THE NORTHERLY LINE OF LAKE STREET 39-28 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS; ALSO

8 W. ST. CHARLES ROAD (06-07-206-032)

THE SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF LOTS 3 AND 4 AND THE SOUTH 36.0 FEET OF THE NORTH 76.0 FEET OF THAT PART OF LOT 5 (BEING 20.0 FEET MORE OR LESS) LYING EAST OF THE EAST LINE OF THE PROPERTY DESCRIBED IN THE WARRANTY DEED FROM JOSEPH B. HULL TO ISAAC CLAFLIN AND RECORDED OCTOBER 121, 1869, AS DOCUMENT 11925 (EXCEPTING THEREFROM THAT PART THEREOF FALLING IN THE FOLLOWING DESCRIBED TRACT, TO-WIT: BEGINNING ON THE SOUTH LINE OF SAID LOT 4, 5.0 FEET EAST OF THE SOUTHWEST CORNER

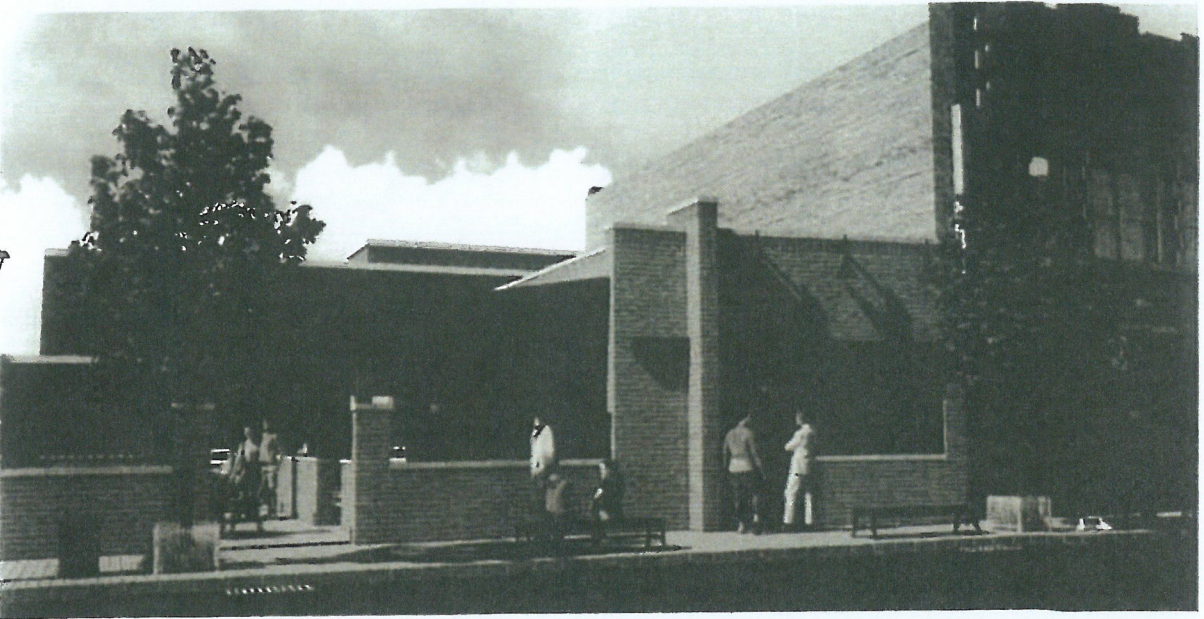
Resolution No. 49-23
2-8 W. St. Charles Road

THEREOF; ALONG AN OLD FENCE LINE) 5.0 FEET; THENCE EASTERLY PARALLEL WITH THE SOUTH LINE OF SAID LOTS (BEING ALONG AN OLD FENCE LINE) 35.0 FEET; THENCE SOUTHERLY PARALLEL WITH THE WEST LINE OF SAID LOT 3 (BEING ALONG AN OLD FENCE LINE) 70.0 FEET TO THE SOUTH LINE OF SAID BLOCK; THENCE WESTERLY ALONG SAID SOUTH LINE 60.0 FEET TO THE PLACE OF BEGINNING (AND BEING THE SAME PROPERTY AS DESCRIBED IN QUIT CLAIM DEED FROM GEORGE H. FISCHER AND WIFE, TO MARY S. OTT AND MAY OTT RECORDED APRIL 18, 1930, AS DOCUMENT 296170) IN BLOCK 11 IN THE TOWN OF LOMBARD, BEING A SUBDIVISION OF PART OF SECTIONS 5 TO 8 AND 18, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT 2






The Village of Lombard Community Development Department retains a copy of the complete submittal to the Village. This submittal includes contractor's quotes and a description of the work to be completed as part of the Project. The Applicant/Owner proposes to install interior improvements for a new full-service sit-down restaurant. Such improvements include, but are not limited to, plumbing, framing, electric, HVAC, windows, doors, bathrooms, restaurant capital infrastructure, restroom accommodations and life/safety improvements. Additionally, the Project includes exterior modifications and enhancements to the south building façade and decorative fencing. Said conceptual plans are attached as a part of this Exhibit.

Resolution No. _____
2-8 W. St. Charles Road



| | | |
|----|-------------------|----------|
| No | Description | Date |
| 1 | ISSUED FOR REVIEW | 11-13-20 |


PARTITION TYPE LEGEND:

-  EXISTING WALL PARTITION TO REMAIN
-  1/2" O.C. METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. FASTEN TO UNFINISHED FLOOR ABOVE.
-  1/2" O.C. METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON ONE SIDE AND 1/2" GYPSUM BOARD ON OTHER SIDE. FASTEN TO UNFINISHED FLOOR ABOVE TO UNFINISHED FLOOR ABOVE.
-  1/2" O.C. METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. FASTEN TO UNFINISHED FLOOR ABOVE TO UNFINISHED FLOOR ABOVE. FILL SHED WITH SOUND BATT INSULATION.
-  1/2" O.C. METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. FASTEN TO UNFINISHED FLOOR ABOVE TO UNFINISHED FLOOR ABOVE. FILL SHED WITH SOUND BATT INSULATION.

CONSTRUCTION KEY NOTES

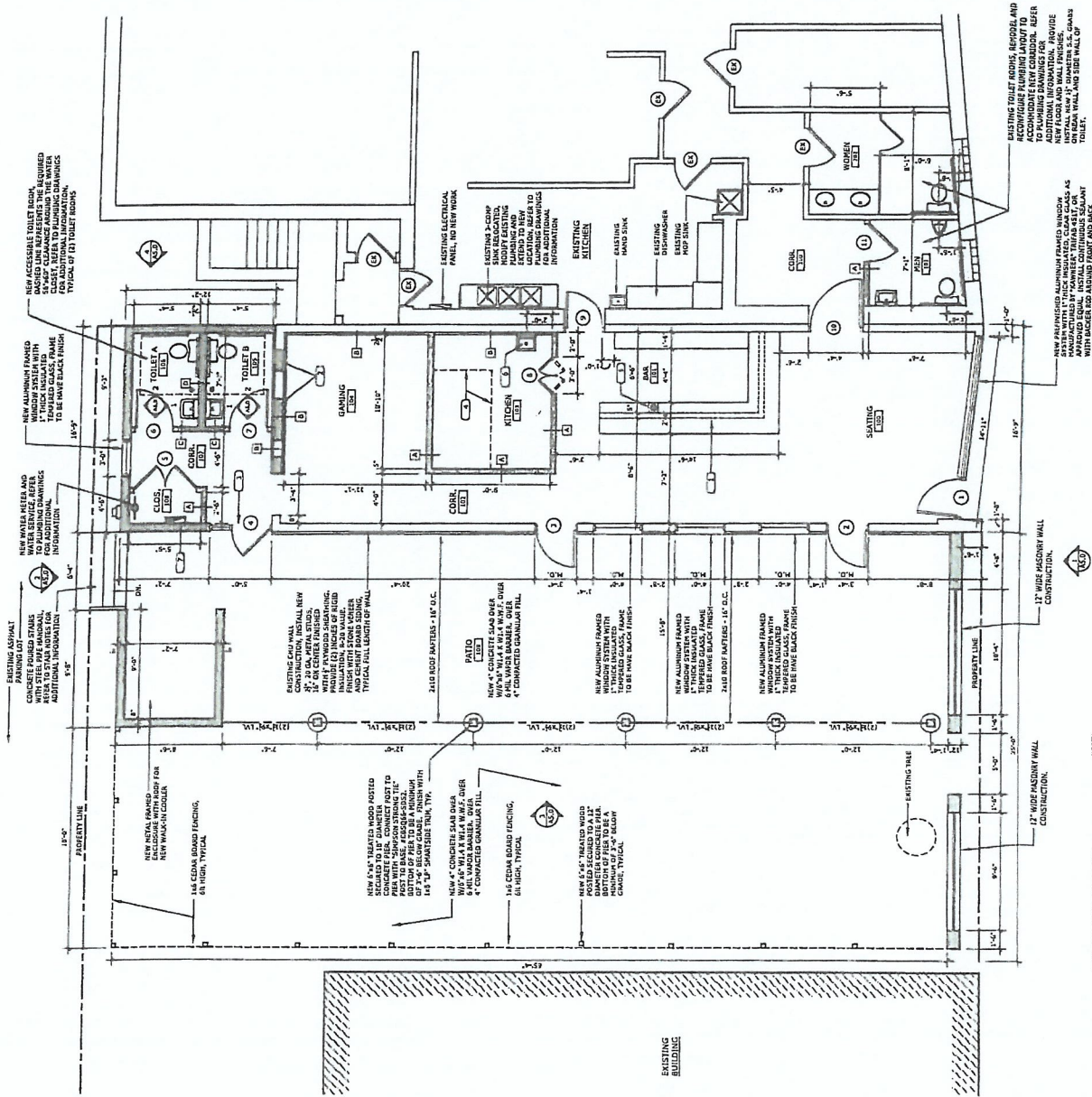
- 1** NEW BAR COUNTERTOP, 3/4" THK. EDGES, 2 1/4" O.C. @ CENTER WITH 1/4" ROUNDED BACKSIDE. SERVICE SIDE TO BE FINISHED WITH METALLIC FINISH. CUSTOMER TO PROVIDE FINISH. PROVIDE 1/4" WOOD BACK WALL TO EXTEND COUNTER TOP TO 3/4" FINISH. 1/2" SOLID SURFACE COUNTER TOP.
- 2** FULL MASONRY BRICKS WITH 1/2" METAL STUD FRAMING FINISHED WITH 1/2" CORE BOARD. SPACE FINISHING TO ACHIEVE DEPTH OF EXISTING WALL.
- 3** NEW PREFINISHED ALUMINUM FRAMED GATE ZODS FINISHED WITH CLEAR GLASS AND 1 1/2" ALUMINUM FINISH. PROVIDE 1/4" ROUNDED BACKSIDE. SERVICE SIDE TO BE FINISHED WITH METALLIC FINISH. CUSTOMER TO PROVIDE FINISH. PROVIDE 1/4" WOOD BACK WALL TO EXTEND COUNTER TOP TO 3/4" FINISH. 1/2" SOLID SURFACE COUNTER TOP. (INSIDE OF THE GATE ZODS).
- 4** SPACE CROWN TO BE BLACK.
- 5** EXHAUST FLOOR, REFER TO MECHANICAL SCHEDULE FOR ADDITIONAL INFORMATION.
- 6** NEW 5/8" FLOOR SINK, SAWCUT EXISTING FLOOR LOCATION. REFER TO PLUMBING DRAWINGS FOR DRAIN IN TIE-UP WITH ATTACHED EQUIPMENT CONNECTION.
- 7** NEW 5/8" FLOOR SINK, SAWCUT EXISTING FLOOR WITH 2" DEPTH ABOVE FINISHED FLOOR. REFER TO PLUMBING DRAWINGS FOR DRAIN IN TIE-UP WITH ATTACHED EQUIPMENT CONNECTION.
- 8** NEW 3/4" ELECTRICAL SERVICE AND PANEL WITH NEW 20 AMP SERVICE TO BUILDING. INSTALL NEW CONSULT AND NEUTRAL.

SYMBOL LEGEND

-  DOOR AND FRAME. REFER TO ADDITIONAL INFORMATION.

GENERAL CONSTRUCTION NOTES

- 1** ALL SERVICE AND DRAIN SHALL BE RERUN FROM THE EXISTING SERVICE AND DRAIN. REFER TO PLUMBING CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO STARTING FINAL BID.



1 CONSTRUCTION PLAN
 1/4" = 1'-0"



6 W. Saint Charles Road
 Lombard, IL 60148

Capital Architects
 Architect

PLANNING & DESIGN

422 N. High Street
 Barrington, Illinois 60010
 Tel: (847) 209-1125

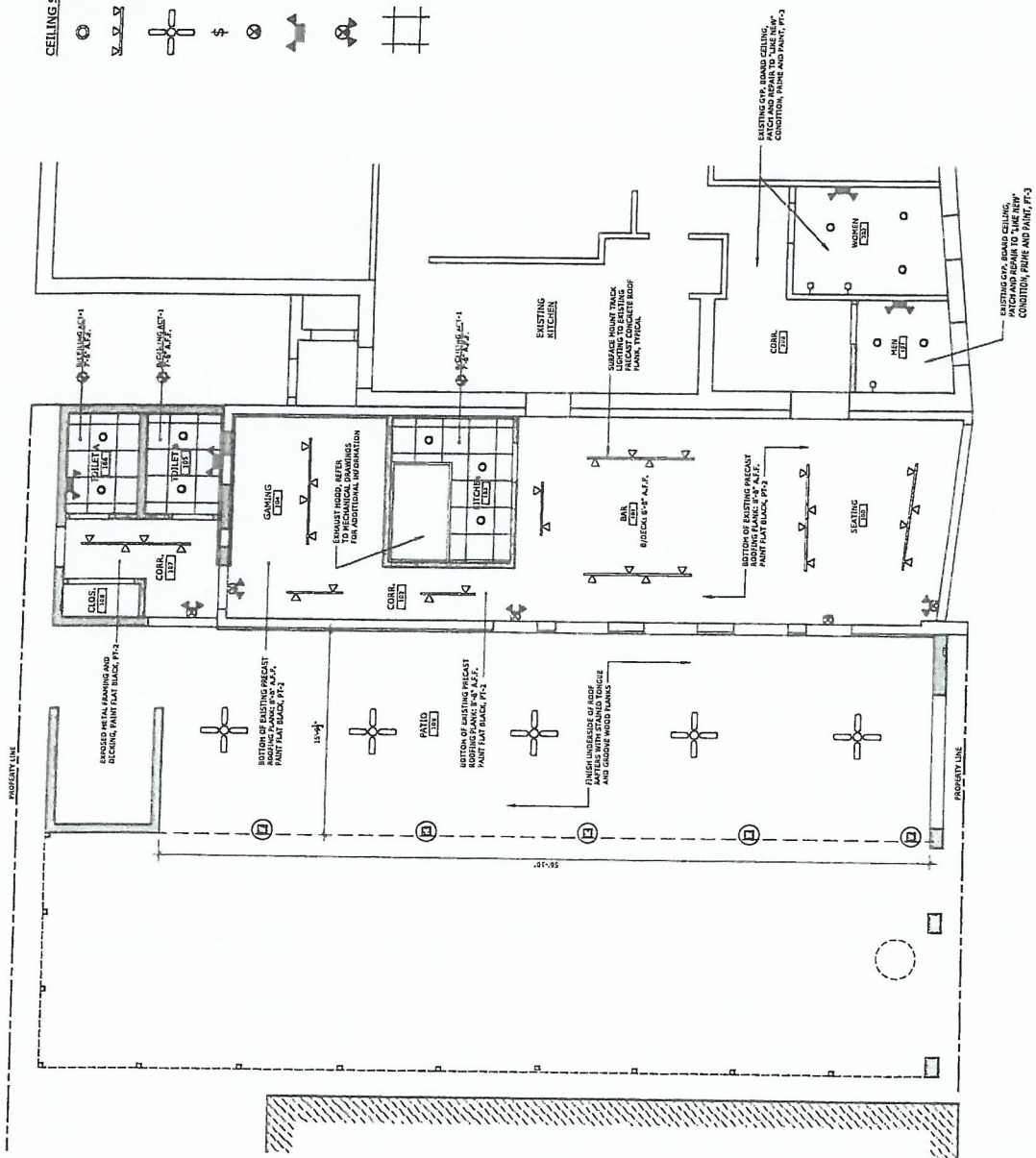
Project No: **22102**

| No. | Description: | Date: |
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| 1 | ISSUED FOR REVIEW | 5-17-17 |

Sheet Title
**REFLECTED CEILING
 PLAN**

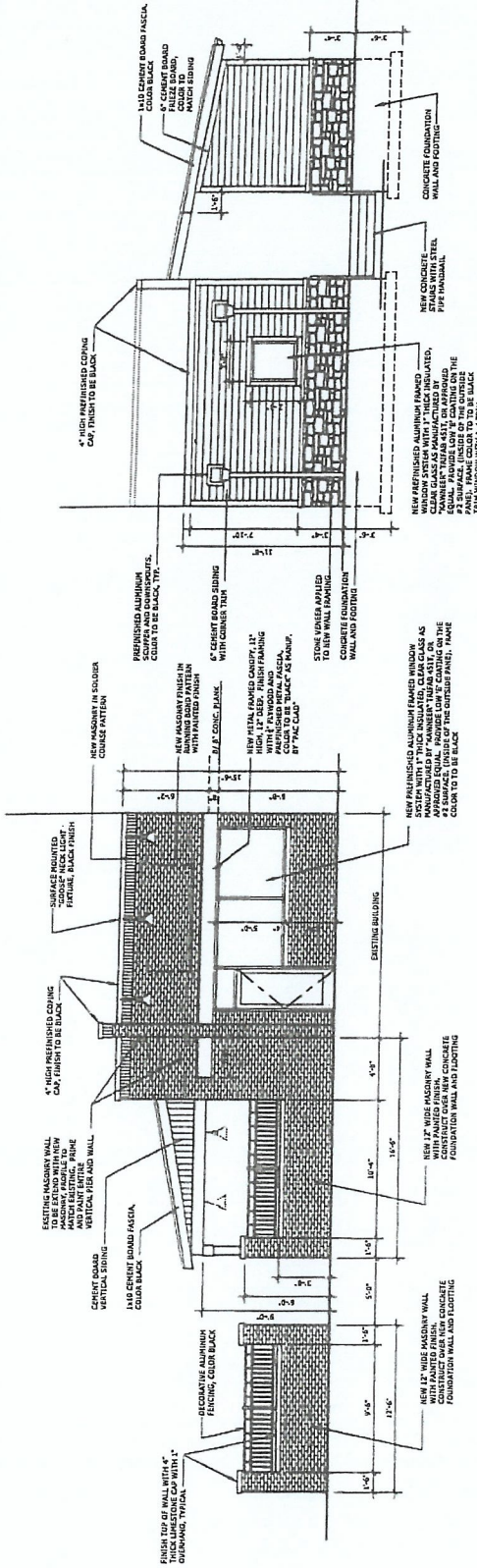
Sheet No:
A4.0

- CEILING SYMBOL KEY:**
- NEW RECESSED CAN LIGHT FIXTURE
350K, 4.0A, W/ 12" ROUND.
 - 8x8 METAL FRAMING AND DECKING
PAINT F/AT BLACK P1-2
SECTION IN THIS DRAWING: PARO 80
 - EXTENSION WATER CEILING FAN
 - WALL SWITCH
 - NEW "LITHONIK" LED EXIT SIGN
#100-1-6-15-1317
 - NEW "LITHONIK" LED EMERGENCY LIGHT SIGN
#100-1-6-15-1317
 - COMBINATION EXIT/EMERGENCY "LITHONIK" SIGN/EXIT OR APPROX. QTY.
 - NEW VINYL FACED 2x2 CEILING TILE
NO. 842, ACT-1, BOTTOM OF CEILING SPACE
SPACE CEILING GRID EQUALS WITHIN THE FRONT AND LENGTH OF THE ROOM



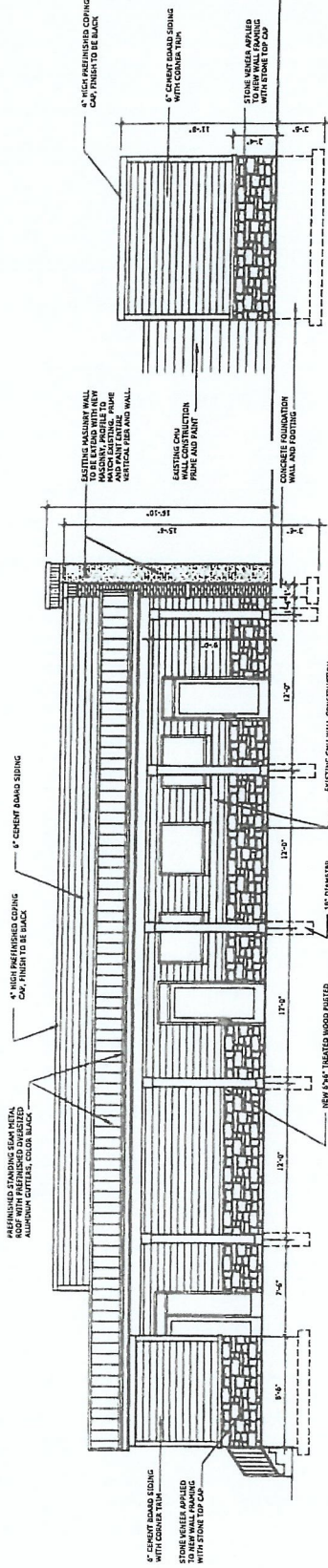
1 REFLECTED CEILING PLAN
 1/4" = 1'-0"
 NORTH

| No. | Description | Date |
|-----|-------------------|---------|
| 1 | ISSUED FOR REVIEW | 1-15-21 |
| 2 | Revised | |



1 FRONT ELEVATION
 1/4" = 1'-0"

2 REAR ELEVATION
 1/4" = 1'-0"



3 WEST ELEVATION
 1/4" = 1'-0"

4 EAST ELEVATION
 1/4" = 1'-0"

Interior Remodel / Addition
GROVE TAVERN

6 W. Sixth Street, Road
 Lombard, IL 60148

**Capital Architects
 Architect**

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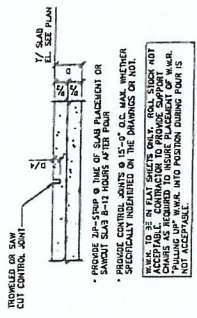
Project No: **22102**

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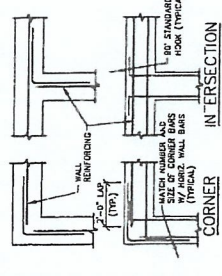
Sheet Title
**FOUNDATION PLAN,
 FOUNDATION DETAILS**

Sheet No: **S1.0**

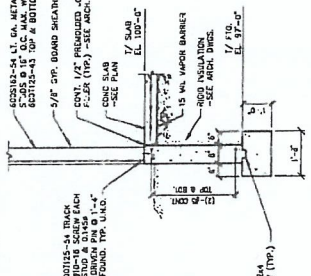
- FOUNDATION PLAN NOTES & SYMBOLS**
- CONTINUED TO COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS.
 - SEE DETAIL 1A FOR REINFORCEMENT OF NEW W.A. IN CONCRETE SLAB ON GRADE.
 - SEE DETAIL 2A FOR TYPICAL SLAB CONTROL JOINT DETAIL.
 - SEE DETAIL 3A FOR TYPICAL FOUNDATION WALL CORNER BAR DETAILS.
 - □ INDICATES SLAB CONTROL JOINT, SEE TYPICAL DETAIL 1B.
 - SLAB S1 (TYPICAL INTERIOR SLAB) INDICATES 5# CONCRETE 6" RIB REINFORCEMENT WITH 1/2" W.A. REINFORCED IN PART SHEETS ONLY. ON 12" W.A. WARD BARRIERS OVER 1" COMPACTED GRANULAR FILL. SEE TYPICAL DETAIL 1B.
 - SEE DETAILS 2B & 4B FOR TYPICAL DETAILS.
 - SEE DETAILS 2B & 4B FOR TYPICAL DETAILS.
 - NOTE (P-1): AT EACH END OF ALL BRACED SHEAR WALLS, PROVIDE (1) W.A. WARD BARRIER BY THE TOP OF THE FOUNDATION WALL WITH 1/2" W.A. 1/4" DIA. W.A. ALL THROUGH REINFORCED TO 1/2" INTO THE CONCRETE FOUNDATION WALL & SET WHILST IN POUR ADHESIVE.



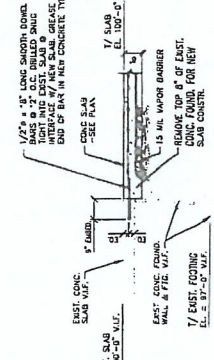
1 SCALE: N.T.S.



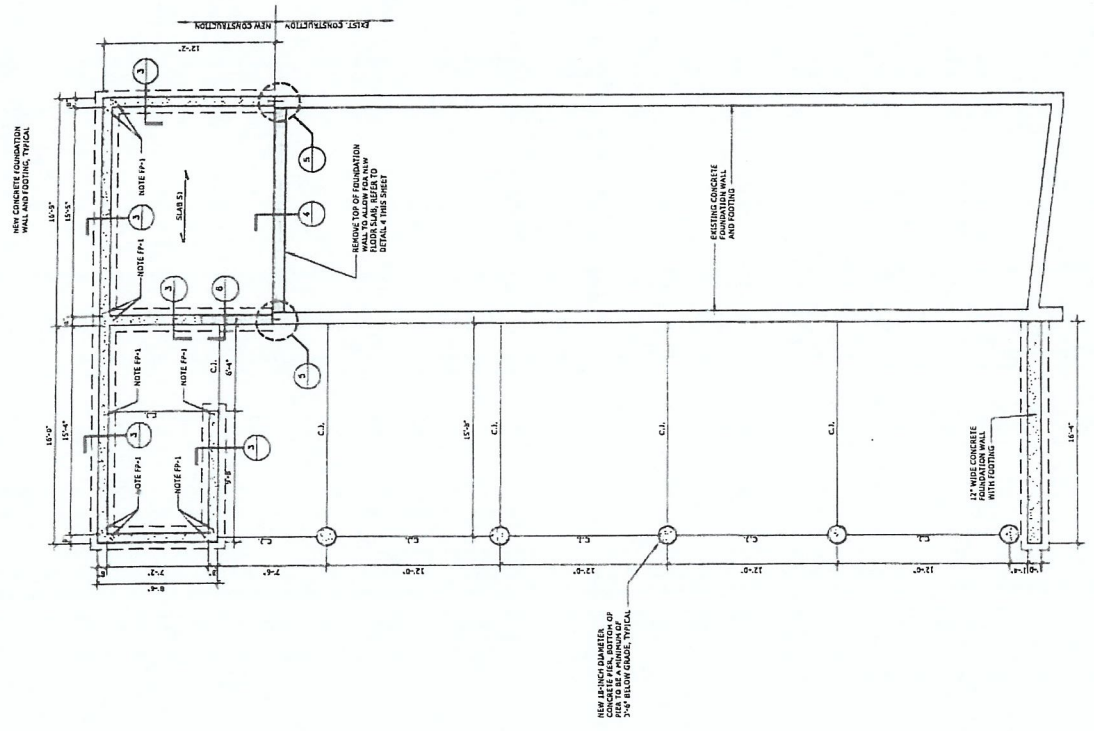
2 SCALE: N.T.S.



3 SCALE: N.T.S.



4 SCALE: N.T.S.

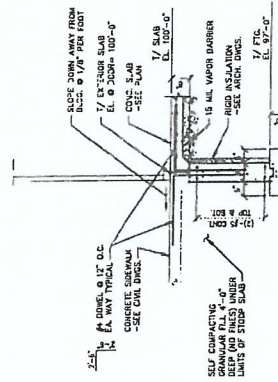


A FOUNDATION PLAN
 1/4" = 1'-0"



NEW REINFORCING DIAMETERS
 CONCRETE OVER BOTTOM OF
 FOUNDATION WALL WITH FOOTING
 3/4" BELOW GRADE, TYPICAL

5 SCALE: N.T.S.



6 SCALE: N.T.S.



7 SCALE: N.T.S.



8 SCALE: N.T.S.

Interior Remodel
GROVE TAVERN

6 W. Saint Charles Road
 Lombard, IL 60548

**Capital Architects
 Architect**

PLANNING & DESIGN

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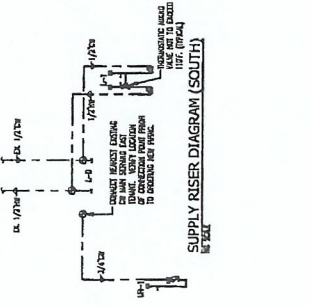
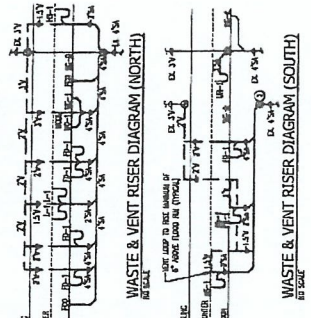
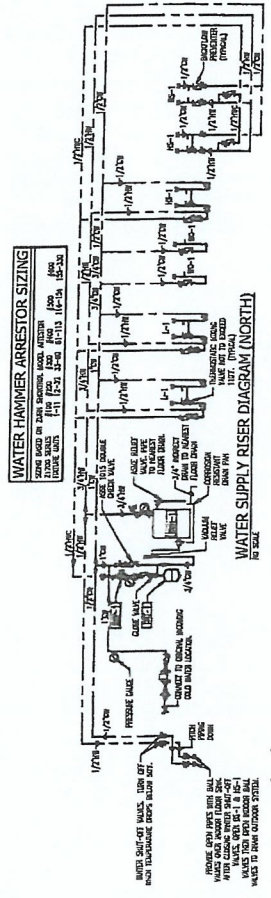
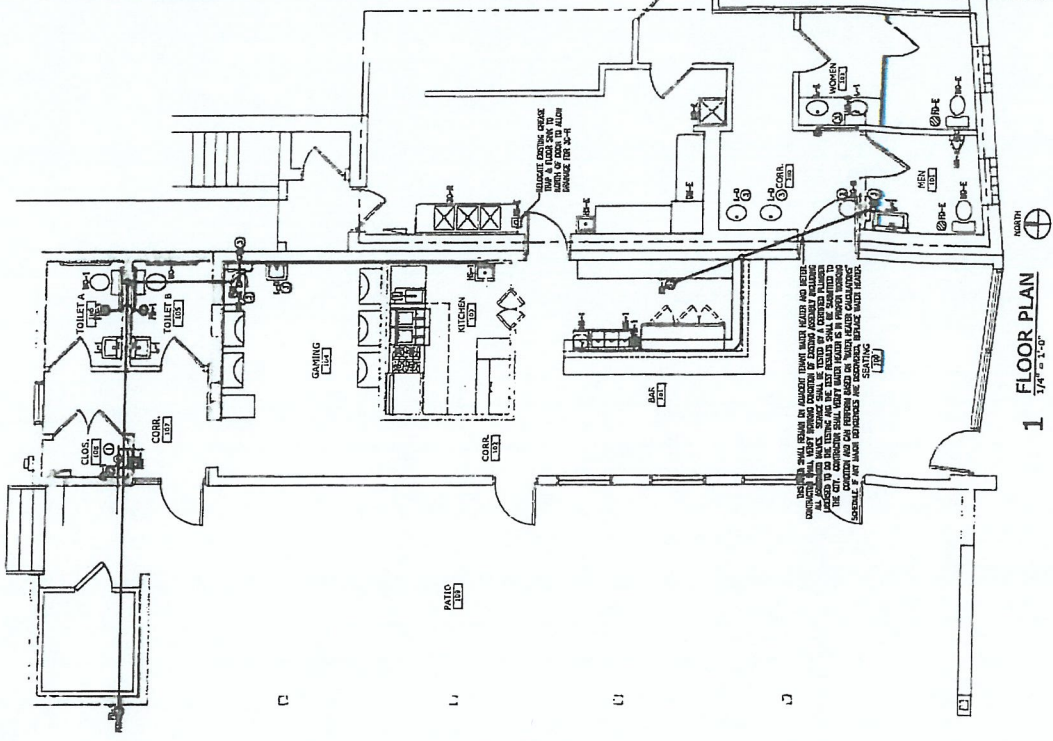


Project No: **22.102**

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| No. | Description | Date |
| 1 | ISSUED FOR PERMIT | 5-13-2023 |

Sheet Title
PLUMBING PLAN

Sheet No.
P1.0



PLUMBING DRAWING NOTES

- ALL PERMITS AND LOCAL ORDINANCES SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING ALL FEES ASSOCIATED THEREWITH.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL NEW PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UPC AND THE IRC.
- ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UPC AND THE IRC.
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PLUMBING SYMBOLS

| | |
|---------------|---------------|
| 1/2" PIPING | 1/2" PIPING |
| 3/4" PIPING | 3/4" PIPING |
| 1" PIPING | 1" PIPING |
| 1 1/2" PIPING | 1 1/2" PIPING |
| 2" PIPING | 2" PIPING |
| 3" PIPING | 3" PIPING |
| 4" PIPING | 4" PIPING |
| 6" PIPING | 6" PIPING |
| 8" PIPING | 8" PIPING |
| 10" PIPING | 10" PIPING |
| 12" PIPING | 12" PIPING |
| 14" PIPING | 14" PIPING |
| 16" PIPING | 16" PIPING |
| 18" PIPING | 18" PIPING |
| 20" PIPING | 20" PIPING |
| 24" PIPING | 24" PIPING |
| 30" PIPING | 30" PIPING |
| 36" PIPING | 36" PIPING |
| 42" PIPING | 42" PIPING |
| 48" PIPING | 48" PIPING |
| 54" PIPING | 54" PIPING |
| 60" PIPING | 60" PIPING |
| 72" PIPING | 72" PIPING |
| 84" PIPING | 84" PIPING |
| 96" PIPING | 96" PIPING |
| 108" PIPING | 108" PIPING |
| 120" PIPING | 120" PIPING |

PLUMBING ABBREVIATIONS

| | |
|----|------------------|
| AV | AIR VALVE |
| BA | BATH |
| BR | BREAK ROOM |
| CL | CLOSET |
| CO | COIN OPERATED |
| CR | CORRIDOR |
| CU | CUPBOARD |
| DC | DISPENSER |
| DR | DRAWER |
| DU | DUCT |
| EV | ELEVATOR |
| EX | EXTERIOR |
| FI | FIRE |
| FL | FLOOR |
| FR | FRIDGE |
| GA | GAS |
| GL | GLASS |
| GR | GRATE |
| GU | GUY WIRE |
| HA | HANGING |
| HC | HOT WATER |
| LD | LOADING DOCK |
| LI | LIFT |
| LO | LOADING |
| LU | LUBRICATION |
| LV | LEVEL |
| MA | MACHINE |
| ME | MEDIA |
| MI | MISCELLANEOUS |
| MO | MOTOR |
| MS | MATERIAL STORAGE |
| MT | MOUNTING |
| NU | NUCLEONIC |
| OR | ORIENTED |
| OS | OUTSIDE |
| OT | OUTLET |
| PA | PANEL |
| PC | PIPE |
| PE | PIPE |
| PF | PIPE |
| PI | PIPE |
| PL | PIPE |
| PM | PIPE |
| PN | PIPE |
| PO | PIPE |
| PP | PIPE |
| PS | PIPE |
| PT | PIPE |
| PU | PIPE |
| PV | PIPE |
| RA | RADIATION |
| RB | RADIATION |
| RC | RADIATION |
| RD | RADIATION |
| RE | RADIATION |
| RF | RADIATION |
| RG | RADIATION |
| RH | RADIATION |
| RI | RADIATION |
| RJ | RADIATION |
| RK | RADIATION |
| RL | RADIATION |
| RM | RADIATION |
| RO | RADIATION |
| RP | RADIATION |
| RS | RADIATION |
| RT | RADIATION |
| RU | RADIATION |
| RV | RADIATION |
| RW | RADIATION |
| RY | RADIATION |
| RZ | RADIATION |
| SA | SANITARY |
| SB | SANITARY |
| SC | SANITARY |
| SD | SANITARY |
| SE | SANITARY |
| SF | SANITARY |
| SG | SANITARY |
| SH | SANITARY |
| SI | SANITARY |
| SJ | SANITARY |
| SK | SANITARY |
| SL | SANITARY |
| SM | SANITARY |
| SN | SANITARY |
| SO | SANITARY |
| SP | SANITARY |
| SQ | SANITARY |
| SR | SANITARY |
| SS | SANITARY |
| ST | SANITARY |
| SV | SANITARY |
| SW | SANITARY |
| SX | SANITARY |
| SY | SANITARY |
| SZ | SANITARY |
| TA | TANK |
| TB | TANK |
| TC | TANK |
| TD | TANK |
| TE | TANK |
| TF | TANK |
| TG | TANK |
| TH | TANK |
| TI | TANK |
| TJ | TANK |
| TK | TANK |
| TL | TANK |
| TM | TANK |
| TN | TANK |
| TO | TANK |
| TP | TANK |
| TQ | TANK |
| TR | TANK |
| TS | TANK |
| TT | TANK |
| TU | TANK |
| TV | TANK |
| TW | TANK |
| TX | TANK |
| TY | TANK |
| TZ | TANK |

1 FLOOR PLAN
 1/4" = 1'-0"



T. C. Minsky
 09/16/2023

Project No. **22102**

| | | |
|-----|-------------------|-----------|
| NO. | DESCRIPTION | DATE |
| 1 | ISSUED FOR PERMIT | 5-12-2023 |
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Sheet No.

POWER PLAN

Sheet No.

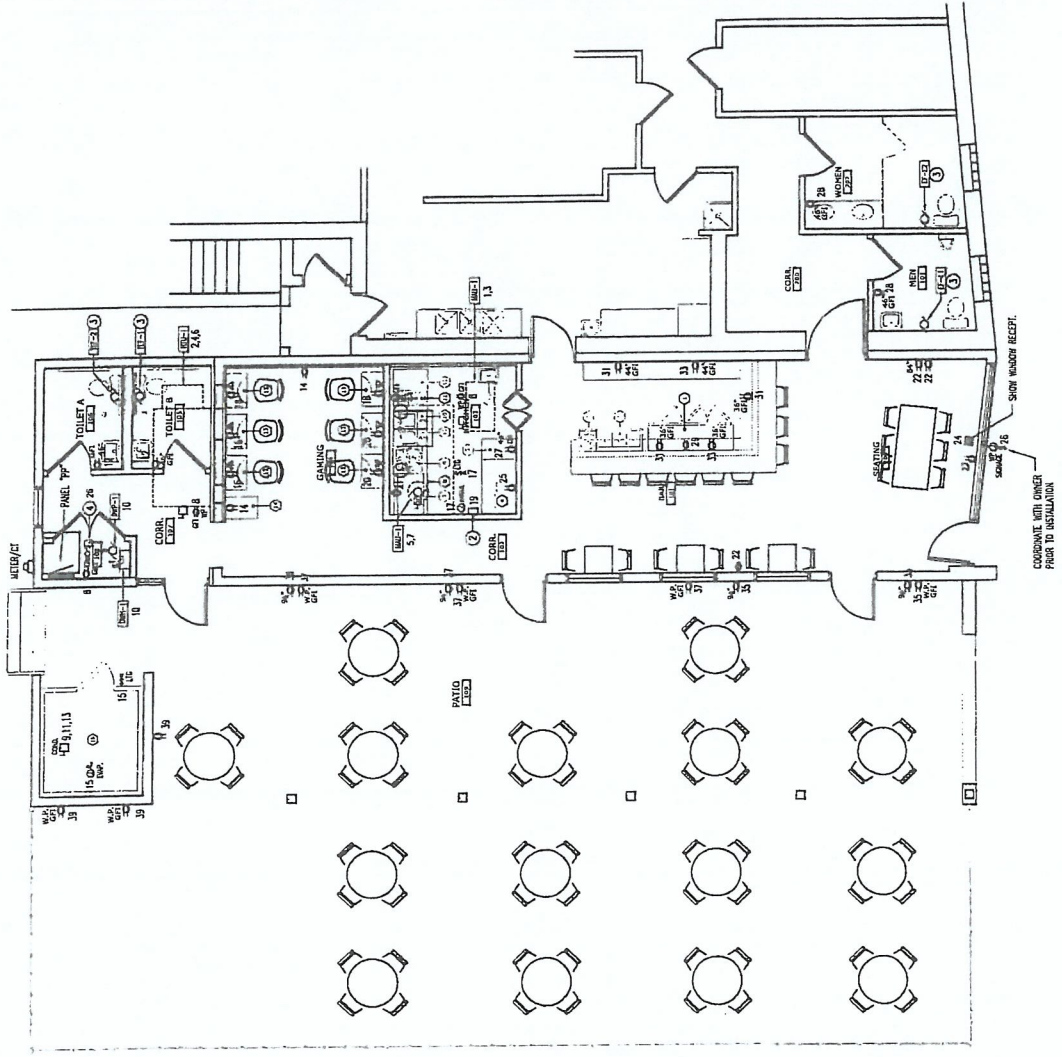
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EQUIPMENT SCHEDULE

| NO. | ITEM | ELECTRICAL |
|-----|-----------------------------------|--------------------|
| 1 | UNDER COUNTER 30" RANGE IN COOKER | 115V, 7 AMPS |
| 2 | 2" x 4" x 1/2" AT EIA SHIRT | |
| 3 | HOT 2 SW-1P-3 | |
| 4 | MPV SMOOTHIE PREP ASSEMBLY | 115V, 72 AMPS |
| 5 | 18" x 24" SS. F. 12 | |
| 6 | 5.5" x 18" x 12" x 4 | |
| 7 | 30" x 45" 1/4" GA. AL. | |
| 8 | WINE TOP COOLER | 115V, 3 AMPS |
| 9 | 1000 BTU - 120V (120V) | |
| 10 | 6.5" x 18" | |
| 11 | FRY DUMP STATION | 115V, 4.3 AMPS |
| 12 | 2" x 4" x 1/2" AT EIA SHIRT | |
| 13 | 18" x 24" SS. F. 12 | |
| 14 | 115V, 20 AMPS | |
| 15 | ATM MACHINE | 115V, 20 AMPS |
| 16 | EXTERIOR WALK IN COOLER CONT. | 200V, 20 8.32 AMPS |
| 17 | EXTERIOR WALK IN COOLER BANK | 115V, 1.6 AMPS |

POWER PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL PENETRATIONS, SEALS AND STUCCO AS REQUIRED THROUGH PENETRATIONS TO MAINTAIN THE FIRE RATING OF THE WALL. ALL PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE PROPERLY SEALED AND TREATED TO MAINTAIN THE FIRE STOPPING RATING OF THE WALL.
2. ALL RECEPTACLES ARE TO BE INSTALLED OTHER, NOT BACK TO BACK.
3. REFER TO MECHANICAL AND PLUMBING SHEETS FOR ADDITIONAL EQUIPMENT INFORMATION.
4. ALL RECEPTACLES 50 AMP AND LESS LOCKED IN THE KITCHEN, PREP, SERVICE, DOWNSHANGING AREA SHALL BE OF PROTECTED. CONTRACTOR SHALL PROVIDE GFCI PROTECTION AT THE RECEPTACLE OR BREAKER.
5. ALL OUTLETS BELOW HOODS SHALL HAVE SHUNT TRIP BREAKERS AND BE INTERLOCKED WITH ANSUL SYSTEM.
6. DRAWING NOTES (TYPICAL FOR THIS DRAWING ONLY)
 1. PROVIDE 120V/240V CONNECTION WITH SHUNT TRIP AND INTERLOCK TO ANSUL SYSTEM. ALL CONNECTIONS SHALL BE MADE VIA THIS CONNECTION.
 2. PROVIDE CUT SHEETS AND WIRING SCHEMATICS TO THE OWNER.
 3. USE HOOD CONTROL PANEL. CONNECT IML-1, ICF-1 AND CONTROLS PER MECHANICAL SHEETS.
 4. CONNECT TO THE SPECIFIED SIDE OF THE LIGHTING CIRCUIT IN THIS ROOM.
 5. PROVIDE 7-DAY INTERMEDIATE PROGRAMMABLE ASTRONOMICAL TIME CLOCK TO CONTROL EXTERIOR SCENES.



1 POWER PLAN
 1/4" = 1'-0"

Interior Remodel
GROVE TAVERN

8 W. Sixth, Charles Road
 Lombard, IL 60148

Capital Architects
 Architect

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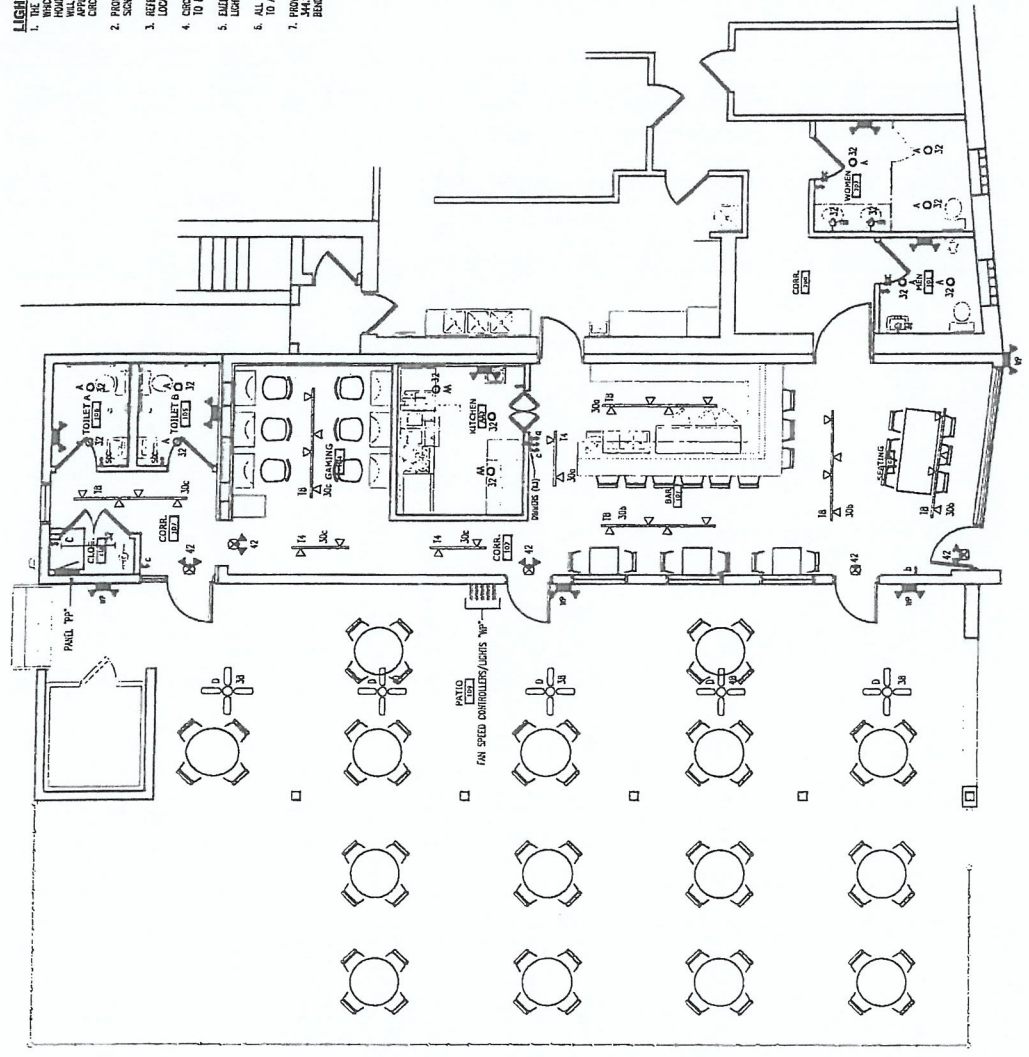
Project No: **22102**

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|-----|-------------------|-----------|
| No. | Description | Date |
| 1 | ISSUED FOR PERMIT | 1-15-2023 |

Sheet Title:
LIGHTING PLAN

Sheet No:
E2.0

- LIGHTING PLAN GENERAL NOTES:**
1. THE NUMBER OF LIGHT FIXTURES SHALL BE 75% AND EXCEPT FOR NEUTRAL CONDUCTORS WHICH THE MINIMUM SHALL BE 3/4" UNLESS OTHERWISE INDICATED. ALL LIGHTING SHALL BE HOUSINGS SHALL BE 3/4" UNLESS OTHERWISE INDICATED. ALL LIGHTING SHALL BE HOUSINGS SHALL BE 3/4" UNLESS OTHERWISE INDICATED. ALL LIGHTING SHALL BE HOUSINGS SHALL BE 3/4" UNLESS OTHERWISE INDICATED.
 2. PROVIDE LOCK-OUT CHECK BREAKER DEVICE FOR ALL EMERGENCY LIGHTING & EXIT SIGN BRANCH CIRCUITS.
 3. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LIGHTING FIXTURE LOCATION.
 4. CIRCUIT NUMBERS ARE SHOWN FOR A GUIDE ONLY. VERIFY EXACT CIRCUIT NUMBER TO BE UTILIZED IN FIELD.
 5. EMERGENCY BATTERY PACKS SHALL BE TO BE CONNECTED TO THE NEAREST LIGHTING BRANCH CIRCUIT AHEAD OF LOCAL SWITCH UNITS.
 6. ALL LAMP-IN FIXTURES SHALL BE INDEPENDENTLY SUPPORTED AT OPPOSITE CORNERS TO A STRUCTURAL MEMBER.
 7. FIXTURES SHALL BE SPACED BETWEEN PULL POINTS AS REQUIRED TO COMPLY WITH NEC 410.10. ALL LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENT OF FOUR QUARTER BOND (90 DEGREE BOND) BETWEEN PULL POINTS.



1 LIGHTING PLAN
 1/4" = 1'-0"