

Daniel Law Office, P.C.

PROJECT NARRATIVE

Usmania Prime – Site Plan Review – Conditional Uses and Variations
855 East Roosevelt Road, Lombard, Illinois, 60148
Permanent Index Number: 06-21-100-013

INTRODUCTION

Several years ago, the undersigned made inquiry of staff concerning the availability of parcels in Lombard for a restaurant and banquet center. After obtaining their input, it became apparent that the sites in town were largely unavailable, in part due to regulations that led to synergy in areas such as Yorktown or in shopping centers with large, shared parking fields. These sites generally require heavily-capitalized national restaurant chains and the land has proven to be beyond the reach of more local businesses. After looking at several sites, Safa Property, LLC (“Applicant”) acquired 855 East Roosevelt Road¹ (the “Subject Property”).

Applicant seeks three conditional use approvals, a parking variation, a loading design variation, a lighting variation and a collection of landscape design variations. Applicant is constructing a three-story restaurant with an area for banquets to be operated by Usmania Prime. Specifically, Safa Property, LLC intends to operate a permitted use with the following elements that require a conditional uses:

1. Entertainment and dancing (see Sec. 155.417(G)(2)(a)(vii) of the Zoning Ordinance);
2. An additional five feet for building height (Section 155.417(G)(2)(c)(vii)); and
3. Seasonal non-peak hour cultural events and bazaars along the south side of the building and the rooftop area involve outdoor display, so a conditional use is necessary under Section 155.417(G)(10)(b).

116 parking spaces should be sufficient for operations at the Subject Property. Applicant’s kitchens are exceptionally large and exist on each floor of the building. The standard size of a restaurant dining area is 60% of the overall floor area, but the proposed dining area comprises only 35% of the floor area. A variation from Sections 155.417(G)(12) and 155.602(C)(Table 6.3) will avoid the hardship of being unable to design an attractive smaller building with the same

¹ Please note that the Subject Property has occasionally been known as 849 E. Roosevelt. After closing and obtaining title insurance and a past tax deed that recited 849 E. Roosevelt as the address of the Subject Property and proceeding with portions of the entitlement process (preliminary meetings and EcoCAT), Applicant and the Village determined the application should proceed under the Village-assigned GIS address of 855 E. Roosevelt Road rather than the title policy address of 849 E. Roosevelt Road. The County GIS places 855 East Roosevelt Road slightly east of the Subject Property. The Subject Property, under either address used in this process, is the vacant land west of PepBoys and east of Los Burritos Tapatios.

dining area and do so without the cost and burdens of excessive parking while also recognizing the special management areas on site that present hardship.

The remaining variations relate primarily to design. Applicant tucks a voluntary loading zone on the east side of the building but does not need to forfeit three parking spaces due to the design requirements (Sec. 155.603(A)) for an infrequently-used area. Lighting variations relate to the access easement area and evening uplighting of trees. (Secs. 155.417(G)(14) and 155.602(A)(10)(d)) Applicant seeks a variation from planting area requirements to allow pads for two rickshaws on the approach to the west side of the building. (Sec. 155.706(B)(2)(c)) Applicant is not planting or sodding the special management area which will largely remain in its natural condition, including within the 30-foot transition yard. (Sec. 155.707(B)(4)(d)) Applicant plans for five foot or larger landscaping areas along the foundation and east loading area wall, but asks the Village to approve an attractive plan for foundation landscaping with less depth and no such landscaping on the south side of the building. (Sec. 155.708) Although the Landscape Plan meets nearly every regulation, Applicant seeks general variations from the detailed requirements of Article XI because there are elements of interpretation, staff discretion and authority and a concern that the code was not written for a lot with significant planning challenges such as the Subject Property. (Secs. 155.701 through 155.710)

Approval of the above relief, as well as the site plan and landscaping plan (Sections 155.103(I) and 155.702) will allow a highly productive use of a difficult site that happens to be the last unplanned site along the B4A Roosevelt Road corridor.

About Usmania Prime

Usmania Prime is owned and operated by the same family that operates Usmania on Devon Avenue in Chicago. Prime intends to operate a destination dining and banquet location serving authentic South Asian cuisine. Its menu includes traditional Pakistani-Indian cuisine with authentic traditional flavors in an atmosphere that offers an excellent dining and cultural experience. An extended menu provides a variety of food ranging from traditional, barbeque, fast-food and kid-friendly items. Food items are prepared with top-quality ingredients and Zabiha Halal meat. The dining experience, as well as some banquets, will include musical and dance entertainment, dancing, cultural events and cultural bazaars. Menu items are also available for local catering as well as out-of-state catering options for Usmania's most loyal customers.

The restaurant will be open from noon until midnight most days. There is no alcohol served. While not a driving force behind all of the zoning decisions at issue, the restaurant should have first full year sales of \$3,000,000. Similar banquet sales should be approximately \$1,000,000.00 and catering should bring in \$500,000.00. Year-to-year growth should be 8-11% for a substantial period after the first year. Local revenues from the project will be substantial and the effort falls squarely in line with the intent of the Comprehensive Plan and the general and district regulations in the Zoning Ordinance. Additionally, Usmania Prime and the development of this site add new construction and new cultural opportunity to Lombard and contributes to the

depth of experience residents and guests alike can enjoy while in the Village. The zoning requests related to the project largely improve the experience at the site and the ability of the development and operations to properly blend within the area.

Site Planning and Operations

The building will contain three floors and a cellar (below grade) where storage and large refrigeration occurs. The ground floor entry opens to the host table and main dining room as well as a large staircase with access to the banquet area and indoor and outdoor rooftop dining area. The first-floor dining area offers 1,900 square feet and up to 112 seats, served by a 1,053 square foot kitchen. A feature staircase, emergency stairs, an elevator and a service elevator connect the two floors and rooftop. The second floor features a banquet area with 2,115 square feet and up to 180 seats as well as a 625 square foot kitchen. The third floor features the smallest dining area (1,600 square feet, 58 seats) and kitchen (876 square feet) as well as a 770 square foot rooftop dining area with seating for 14.

The rule of thumb for restaurant planning is that the operator would have a minimum of 60% of the gross floor area reserved for dining. In this instance, Applicant plans 45% of the above ground floor area for dining (including the cellar, 35%). The basis for determining the size of the dining area arose from three circumstances. First, the dining rooms needed to be sized to be operationally independent, yet still function together. Second, Applicant required more and larger kitchens than would normally be used. Third, Applicant understood that parking could be restricted by the westerly special management area. As a result, Applicant necessarily planned to physically limit the intensity of use of the Subject Property by controlling dining area size. In any event, the building is proposed for what is practically the smallest building pad.

The full access driveway is located at the west access for the PepBoys cross-access drive as Lombard has intended for decades. Placement of the building along the east property line allows for a sufficient throat at the driveway and parking on each side of the access drive as it winds east towards PepBoys. The development respects the large special management area, but Applicant may need to obtain reasonable relief in handling site development at the east perimeter of the flood way, floodplain and wetland area.

The waste enclosure and loading area are tucked behind a wall east of the building in order to avoid placement closer to the neighbors to the south. Loading will occur into the rear of the kitchen along the east wall to the service elevator then to the cellar. Loading occurs during non-peak hours, typically before the restaurant opens. Waste operations will typically occur in the early morning, again before the restaurant opens. The design of the loading and waste enclosure area benefits the area, but a distinct loading zone is not required. Due to its limited use, Applicant intends to place three employee parking spaces at the head of the loading area.

Due to the special management area, the parking fields will have no impact on residential uses to the south. The nearest paved area is more than 37 feet north of the residential boundary.

The spaces are aligned towards the adjacent retail and automotive use. The south end of the drive aisle includes substantial landscaping in an area where the growth from the wetland area was insufficient to serve as a screen for the unincorporated residential area to the south.

The photometric plan reflects that lighting will comply with Lombard requirements. The only concerns arise in relation to (a) lighting for the access aisle near the lot east line north of the building and (b) lighting that will highlight trees and the rickshaws on the west side of the building. Lighting of the cross access may exceed allowable intensity and require lighting that is cast in the direction of the access aisle where it crosses the lot line. North of a line that is 100 feet from the residential boundary, Applicant intends to upright the rickshaw in each of the two islands west of the main entrance and to use lighting to highlight trees.

Landscaping planning and site planning for natural areas is complex. The project involves the construction of a retaining wall along the planned east line of the wetland and floodplain area and preservation of the natural wetland area west and southwest of this retaining wall. The density of trees and undergrowth in the wetland and floodplain offer a complete screen even during winter months. There is no intended adjustment to the creek or any other element of the wetland and floodplain area that will have an impact on the public or private properties to the south of the Subject Property.

A system of permeable pavers and underground oversized pipes will contribute to the required retention volume and the development will comply with post-construction best management practices. Following a pre-application meeting with Village and DuPage County staff concerning site planning and compliance with the DuPage County Countywide Stormwater and Floodplain Ordinance, Applicant eliminated southwesterly rows of parking containing 15-20 spaces. Applicant's civil engineering and landscape design team believes adjustments to the plan over the past month merit support from the Village and County regulatory officials.

About the Subject Property

The Subject Property has never been developed. Located in Lombard's B4A Roosevelt Road Corridor District, the Subject Property is comprised of 2.45 acres. The Subject Property includes Sugar Creek which developed following decades of farming and a subsequent lack of maintenance and repair of tiles. With development in the surrounding area, the creek formed in the 1960's and 1970's and was redirected during the construction of Illinois Route 38. Sugar Creek flowed into and through the residential development to the south, but between 1987 and 1993 conditions changed and a pond took hold south of the Subject Property. Sugar Creek, the related wetland, floodway and flood plain impact roughly 1.2 acres (half of the Subject Property). The impacted 1.2-acre area has hundreds of trees and substantial undergrowth, most of which will not be disturbed during development. (Applicant considered spot landscaping work to improve screening between July 2021 and early February 2022, but the impacted area offers a dense screen all year and most of the parking is 100 feet north of the south lot line (all of it is 40 feet north of the south lot line)).

The Subject Property was part of the Christofaro & Difebo Subdivision, the plat of which was recorded as R1997-052817. The plat includes a platted access route between the existing PepBoys driveway and the planned driveway for the project. Applicant is not changing the location of the access easement. There is no known easement for shared or cooperative parking. There is a platted 60-foot building setback line. The public sidewalk along the south line of Roosevelt Road at the west edge of the Subject Property extends east across the Subject Property and PepBoys, transitioning into a public sidewalk easement just west of the proposed driveway. In addition to ordinary easements, a clear sight easement applies on each side of the planned driveway. (Applicant believes its planning exceeds the demands of the clear sight easement).

The Subject Property is nearly 1,000 feet west of Westmore-Meyers Avenue and 500 feet east of a stoplight just west of Century Tile to the west. The state jurisdiction highway offers two through lanes at a 35 m.p.h. speed limit and a central left turn lane the turns into an exclusively left turn lane midway across the Subject Property. The driveway serving the Subject Property will oppose the driveway planned for the self-storage use to the north.

Surrounding Zoning and Land Use

The Subject Property is in Lombard's B4A Roosevelt Road Corridor zoning district. With few exceptions, the B4A district stretches along both sides of Roosevelt Road/Illinois Route 38 from east to its west. Throughout the zoning district, lots vary substantially in shape, dimension and depth and, thus, in capacity for development. The Subject Property abuts B4A zoning and use to its north, east and west (with the exception of a 68-foot southerly portion of the west lot line). South of the Subject Property lies a 100-acre unincorporated R-3 detached single family residential zoning district.

The closest incorporated residential area is the R1 zoning district north of the several lots on the north frontage of Roosevelt Road. Far to the northwest is one of the Village's R2 zoning districts. The Village's R0 zoning classification applies to properties well east of the Subject Property along the west side of School Street past the former Township Highway Department garage. East of this R0 district lies a collection of unincorporated parcels that have occasionally been the subject of expressed interests in annexation and redevelopment.

Ordinances Nos. 3961, 4120, 4185, and 4233 approved a conditional use for PepBoys (851 E. Roosevelt), an automobile service facility accessory to retail sales of automobile parts and accessories. Within the same subdivision approved in 1997, the eastern lot was substantially more capable of hosting a substantial commercial use. PepBoys shares an access aisle, so it is worth noting that the peak hours for trip generation are substantially different for PepBoys (daytime) than the Subject Property (evenings, 7:00 PM or later). The customer entrance to PepBoys is situated on the north elevation while the east elevation contains 11 service garages. A loading zone occupies a lane south of the PepBoys building and there is no access along the east

wall of PepBoys. There is no practical potential of additional interconnection with the Subject Property unless PepBoys redevelops.

North of the Subject Property lies another vacant tract (880 E. Roosevelt), but that parcel is the subject of recent entitlements for Beyond Storage. The driveway entrance for Beyond Storage is roughly 70 feet west of the long-planned driveway at the Subject Property. Beyond Storage contemplates partial filling of the Sugar Creek drainage way, but the project should not increase the volume or rate or change the direction of flow into the Subject Property as a matter of law or as a function of the IDOT improvements lying between the two parcels. The peak hours of the three-story Beyond Storage facility precede those that will prevail for Usmania Prime.

Applicant has a good relationship with the owner of the parcel west of the Subject Property (801-849 E. Roosevelt). This shopping center has generally sufficient parking on the Roosevelt Road side of the stores, but it has an abundance of underutilized rear parking (the site is actually substantially overparked). Applicant has addressed Usmania Prime with this owner, and the owner has indicated a willingness to allow parking for Usmania Prime. The arrangement should not be required as a function of zoning and such an arrangement would likely be the subject of a Village special event permit. To the west of the adjacent shopping center is the 1.1-acre Century Tile site (747 E. Roosevelt, which faces access, parking and wetland challenges and may eventually depend on the adjacent center for its redevelopment).

Smaller commercial establishments line the north and south Roosevelt Road frontages east of the Subject Property to Westmore-Meyers Avenue. Northwest of the Subject Property there is a mix of fast food restaurant, retail, auto service, fitness and recreation, office and brewery use. West along Roosevelt Road, there are small and large commercial developments. Most recent development and redevelopment has occurred well west of the Subject Property.

The few homes that are near the Subject Property are more than 320 feet from the proposed building. A billboard and small strip center (tobacco, beauty, small grocer and fast carry-out) lie between the Subject Property and the closest residence to the north (1156 S. Ahrens). The unincorporated DuPage County territory south of the Subject Property was mostly developed by the mid-1970's. Homes in the area continue to be well-maintained for single-family residential use. Sugar Creek flows across the Subject Property into a pond that is part of a 3.11 acre open space called Co-op Community Park and operated by the York Center Park District. The north extension of Co-op Community Park splits two large single family residential uses that have existed since 1931 (18W780 13th, west) and at least 1956 (east, 18W740 13th). The east tract includes a large tax parcel that remains vacant and faces development challenges due to its elevation and the pond and regulatory wetland primarily located in Co-op Community Park. Further to the west, 1S051 Chase (a 1917 residence) shares a part of the Subject Property's west lot line. None of the residential areas face a risk of cut-through traffic due to the nearby road planning and as a result of the project's lack of connection with areas to the south.

Notably, throughout the Village, it is apparent that large restaurants generally do not occupy individual zoning lots that are not planned in conjunction with other properties. Falak Restaurant and Banquets operates at 233 East Roosevelt Road. Otherwise, there are few if any other large standalone restaurants. Studies of the several restaurant locations that exist in the area indicate that the Zoning Ordinance requires more parking spaces than are reasonably necessary for the use and more parking spaces than are reasonable available to the use. At the west end of the B4A Roosevelt Road Corridor district, Falak (formerly Viceroy) operates with 130 parking spaces. Applicant has no means through which to compare the balance between dining area and kitchen area or the balance between banquet and dining operations, but it presents the dining operations at the Subject Property as restaurant operations as directed by the definitions of use in the Zoning Ordinance (a banquet use is only such a use if it is purely banquet use).

APPLICANT'S REQUESTS MERIT APPROVAL

Section 155.417(G)(1)(a)(xl) identifies restaurants as a permitted use, but it is the character of this restaurant and the planning for its development that merit conditional use approval, approval of variations and site plan approval. Applicant addresses the merits of each type of request below.

The Conditional Use for Entertainment and Dancing Warrants Approval

Section 155.417(G)(2)(a)(vii) authorizes a conditional use permit for “Restaurants, including entertainment, dancing, and/or amusement devices when conducted as part of the restaurant operations and secondary to the principal use.” Applicant proposes a restaurant with entertainment and dancing. Notably, no liquor license is necessary for the use and the service of alcoholic beverages would require an amendment of the conditional use permit. Applicant seeks authorization for live music, broadcast music, dancing of patrons, and performance dancing. All entertainment and dance activities have a cultural or an event element to them. The entertainment and dance activities are customarily associated with banquet-style events. The entertainment and dance activities could also occur in either indoor dining room. They will not occur outdoors except in the event the Village issues a special event permit.

The conditional use for entertainment and dancing meets the standards of Section 155.103(F) of the Zoning Ordinance. The entertainment and dancing will occur indoors, will be of a style that is traditional for a restaurant and banquet operation and is fully respectful of all Village ordinances. Alcohol is not served as part of operations at the Subject Property and this often eliminates or substantially diminishes concerns over ill effects from dancing or live/broadcast music. It will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare. The dancing and entertainment will not be visible or audible outside the building, so it should have no impact on uses already permitted and will not substantially diminish and impair property values nearby. Dancing and live entertainment on the interior of the restaurant will not obstruct or prevent the maintenance, repair or improvement of properties in the area for uses that are authorized within the B4A or any other zoning district.

Although Applicant must address connections that have been removed over the years of inactivity at the Subject Property, there are adequate public utilities, access roads, drainage and other facilities available to serve the development. Applicant is pursuing the long-planned ingress and egress that has been platted so as to minimize traffic congestion in the public streets. The dancing and entertainment is a part of the development of a restaurant that offers real estate tax and high sales tax expectancy (one of the objectives of planning in and along the B4A Roosevelt Road Corridor). Preserving natural areas (even ones of debatable benefit) and adding to the cultural depth of experience available in the Village are two elements of this project that are consistent with the Comprehensive Plan. For a project of this value and with environmental pressures, there are relatively very few variations necessary to the development. Applicant is willing to stand behind its work, including reasonable conditions and restrictions deemed necessary for the protection of the public interest.

The Conditional Use for an Additional Five Feet of Building Height Merits Approval

The ordinary maximum height for a building in the B4A district is 40 feet, but Section 155.417(G)(6) authorizes a conditional use permit to allow a building with a height of 45 feet. The Zoning Ordinance defines building height as follows:

Building height is the vertical distance measured from the reference level (curb level, or its equivalent, or the average elevation of the finished lot grade in front of the building) to the highest point of the roof surface of a flat roof; to the deck of a mansard roof; and to the mean height level between eaves and ridge of gable, hip, pitch and gambrel roofs.

The top of roof elevation depicted in the roof plans is 41 feet. The elevation of the third floor is 31 feet. Applicant wished to maintain roughly the same height on the third floor as was planned for the ground floor and the second floor. The third floor could not operate with a nine foot height and the ten feet reflected in the plans is still meaningfully less than desired for the style of dining experience Applicant and Usmania Prime intend to provide. Applicants' plans and elevations reflect a top of roof elevation of 41 feet and a top of parapet or screening for rooftop mechanical units of 45 feet. The four foot difference is excluded from height, but it is the Applicant's intent to obtain permission for a top of roof at an elevation of 45 feet so that the ground floor can have a height of 16 feet, the second floor can have a height of 15 feet and the upper floor can have a height of 14 feet. The plans provided with the application depict a compliant building, but also reflect that the additional five feet would allow the dining areas to appear (externally and internally) as less compact.

The conditional use for a building with a maximum top of roof of 45 feet and a maximum overall height of 49 feet meets the standards of Section 155.103(F) of the Zoning Ordinance. Applicant will not recite circumstances and conclusions already noted, but the following relate directly to the proposed height:

1. Allowing a roof height of 45 feet substantially improves the dining experience and allows a positively visible enhancement along the Roosevelt Road corridor that will also include a three-story self-storage facility to the north and includes the large 22-foot PepBoys (and both projects are designed with less building articulation);
2. The building is in excess of the length of a football field from homes to the south and the maximum overall height of 49 feet will be visible only to the extent of two additional degrees along the horizon as viewed from the home with the greatest likelihood of seeing PepBoys and the proposed building from the southeast; and
3. Homes to the south and west are south of a substantial floodway with trees and understory dense enough to offer a complete screen even in winter months.

The additional height does not allow an extra floor; rather it allows a better design and, consequently, a better experience. The additional five feet in roof height will not stand out since the building design collectively serves a three-floor building that rises modestly above PepBoys. The articulation of all sides of the building continues to the roofline, so the height will not be noticeable. The additional height does nothing to cause development or re-development concerns on the PepBoys parcel inasmuch as the building is planned further from the shared lot line than required. The building is also further from Roosevelt Road and in line with PepBoys, so the additional five feet does not impose a visual obstruction into the view scape along the corridor.

The Conditional Use for Outdoor Operations (Roof and Seasonal Bazaar) Merits Approval

Section 155.417(G)(2)(a)(v) authorizes a conditional use permit for “Outside display and sales of products the sale of which is a permitted or conditional use in this district.” Technically the outside display and sale occurs in the 770 square foot rooftop patio. In addition, Applicant intends to host occasional outdoor cultural activities and bazaars between May 1 and September 30. These activities and bazaars will occur in the eight (8) parking spaces situated along the south side of the building. The activities would not occur outside the hours between noon and 7:00 PM.

The conditional use for outside display and sale of products in the rooftop patio and in the eight parking spaces adjacent to the south wall of the building meets the standards of Section 155.103(F) of the Zoning Ordinance. In addition to what is noted above, the use of the outdoor area will not lead to impacts on nearby properties due to its limited size (770 square feet) and seating (14 seats). There may be ambient music broadcast into the area, but a condition requiring relocation of speakers below the parapet would suffice if there is any sound from such speakers audible at ground level (there should not be any audible noise below or across areas around the building). The outdoor service of food and beverages is something that all of us have grown to appreciate over the past two years, but even prior to the pandemic, such operations in a

commercial area were viewed as favorable improvements that did not alter the character of the area or cause an undue diminution in land values or the use and enjoyment of land.

Applicant can work with the Village to obtain special event permits to support a cultural bazaar, but it preferred to address this during the zoning process since the cultural bazaar implicated eight (8) parking spaces directly south of the building. Any special event involving artifacts, socializing, learning and even the display or sale of clothes and jewelry would occur in this parking spaces and be a small undertaking in roughly 1,000 square feet (an area large enough to allow a modest cultural activity, but too small for something that could annoy a neighbor or obstruct parking and drive aisle use). Applicant would not use amplified sound in relation to the outdoor events. The events would be open to the public and controlled by Applicant (i.e. not part of a banquet activity). Temporary structures such as sunscreens or tents or freestanding awnings would be subject to and comply with Village ordinances.

The Variations Sought Align with the Intent of the Zoning Ordinance

None of the variations are prohibited under Section 155.103(C)(8). Portions of the relief requested are within the scope of authority reposed in staff, but Applicant raises them in the context of variations in order to allow for full site plan review. Lombard is a home rule municipality, but the handling of the constitutional relief valve known as a zoning variation is governed by the same rule as all municipal variances: consider particular hardship and practical difficulty. While the Zoning Ordinance mentions only particular hardship (and the discussion below proceeds as guided by the code), Applicant notes practical difficulty as well.

Applicant Meets Lombard's Standards for the Requested Parking Variation

Applicant seeks a variation to allow it to operate a restaurant and banquet facility with not more than 6,500 square feet of dining room area to be served by 116 parking spaces, three of which would be designated as employee parking spaces. The first and third floor account for 3,270 square feet of dining room area while the second floor offers 2,115 square feet of dining room area. Total seating, with 180 persons on the second floor in a large table setting, would be 348 persons which aligns with a common 3:1 diner to parking ratios and exceeds parking required under a frequent 4:1 diner to parking ratio.

Lombard's code relies on several established assumptions about restaurant design, including the traditional industry planning of 60% of a restaurant building's floor area for dining when the design of this building. The proposed building contemplates 35% of the gross floor area for dining room use (45% if one excludes the cellar from the calculation). The roughly 18,000 square foot building (gross, including cellar) would normally offer nearly 10,800 square feet of dining area. The building proposed for the Subject Property has 6,385 square feet, which is 40% shy of the industry standard. As shown in the Comparative Parking Table, the ratios per square foot generally contemplate that the restaurant has a bar or lounge, but Applicant does not propose a bar or lounge.

For buildings under 7,000 square feet, Lombard requires 16 parking spaces per 1,000 square feet of gross floor area, excluding cellars, storage not in the main dining or retail area, stairs, and mechanical equipment. However, for larger buildings, the ratio increases to an amount equal to the greater of (a) 18.5 spaces per 1,000 square feet of gross floor area or (b) an equation which in this instance would require 26 parking spaces per 1,000 square feet using the whole area of the floors above grade. With few exceptions, these figures are excessive (see Comparative Parking Table). In relatively recent years, zoning authorities have recognized that there is often too much parking and have begun to adjust their practices by amending to either the ratio or the relevant area definition, pursuing more flexible parking design approaches, allowing buildings in parking fields and approving variations or other adjustments.

The Village's current regulatory scheme imposes additional requirements on restaurant owners that often serve as a disincentive to local or regional business and drive the market to large chains or affiliated operations that can locate at Yorktown where stand alone restaurants are more common (but still require variations or assessment in the context of shared or cooperative parking fields). Indeed, there are few large Lombard restaurants that stand on their own. Exceptions to this arise in fast food and in large restaurants that either obtained zoning relief or operate as nonconforming uses or on nonconforming lots. However, the current regulations remain law and Applicant asks the Village to vary them to allow Usmania Prime.

Applicant's 1.2-acre special management area on the Subject Property is an underlying issue in all of the requests for variation. In fact, only 3% of the Subject Property is at the same elevation as the improved area on the PepBoys parcel to the east. The topographical and wetland issue turns a standard square parcel into one that is shaped more like a flag lot. Additionally, the transitional yard requirement eliminates another ten parking spaces. The transitional yard is generally applicable in the district, but not common across the majority of lots. Again, the large capitalized retail projects met this requirement with no parking pressure. Applicant hoped to have an additional two rows of parking extending southwesterly from the easternmost bays, leading to 131 parking spaces, but this plan was viewed as too aggressive by DuPage County staff.

The special management area and transitional buffer (in practice) are not generally common to other property in the B4A zoning classification. One of the reasons the Subject Property remains to be planned for development relates to the ratio of building area to property area and the cost per square foot to acquire and develop the land. The low ratio of building to property area and the high cost per building square foot is not common in the B4A district, and these factors both have direct correlation to the special management area.

The parking variation is not based primarily upon a desire to increase financial gain. The primary purpose of the variation is to allow recognition of the operational planning for the use and of the design of the building as a factor in planning for parking amid the site concern with the special management area. The natural planning of a building that rises higher than others to

achieve an attractive design happens to have occurred on the Beyond Storage (Public Storage) land opposite the Subject Property. A secondary purpose relates to avoiding overparking in an area where impervious surface is limited and comes at a cost to the environment—even though Sugar Creek is more man-made than natural.

The difficulty and hardship arise from the circumstance that the Subject Property was largely tillable farmland in the 1950's and, at least two decades ago, it eventually came to host a creek, wetland and floodway. Applicant's interest in the Subject Property arose in 2021. Further, Applicant's proposed restaurant is within a category of permitted uses lining Roosevelt Road in the B4A district. The proposal for a restaurant is not unique to planning and such use is common to planning at each retail center along Roosevelt Road. It is the planning for a common use that becomes a hardship of this location compared to others.

The granting of the parking variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located. The parking lot offers two routes for ingress and egress as a result of planning for the cross-access route in 1996 and 1997. Further, as shown in the Comparative Use Table, the proposed parking would be viewed favorably in Burr Ridge, Elmhurst, Hinsdale, Lisle, Oak Brook, Oak Park, Schaumburg, Villa Park, Westmont, and Woodridge. In Wheaton, the City Council has the option to approve less the ordained 131 parking spaces for this project and do so without a variation. Oakbrook Terrace has customarily adopted a narrow interpretation of what areas fit within the definition of gross floor area to require less parking than noted in the table. A number of communities allow for 10% to 25% administrative reductions that would also place the project within the range of approval in Bensenville, Carol Stream, Glendale Heights, Naperville, West Chicago and Wheaton as of right.

In addressing actual use, Applicant notes that restaurants that stand on their own without shared parking have a parking ratio that is more similar to that proposed by Applicant. With no exclusions, Applicant's 116 parking spaces serving roughly 13,000 square feet amounts to 8.9 parking spaces per 1,000 gross square feet. This ratio is higher than what prevailed at the venerable Costa's restaurant in Oakbrook Terrace during its run. The rate is similar to that of Giordano's and Gulliver's in Oakbrook Terrace. Additionally, the rate is only slightly below Benihana (Downers Grove) and Viceroy (Lombard). Information for Ki's Steakhouse is provided, but Ki's is a true outlier in its use of a distinct zoning lot that customers do not often rely on and because the distinct lot actually hosts vehicle storage. The proposed parking ratio is also similar to the ratio of spaces identified within +/-200 feet from Greek Islands (22nd Street). A review of the various restaurant uses in the table indicates that the restaurants in larger shared parking fields all generally offer a higher ratio and that these locations are primarily occupied by large chain users. Please note that this was a rough gross floor area comparison using GIS footprint measurements and second floor areas only where they were known to exist (Costa's and Giordano's). The analysis also disregards cellars and basements. Lastly, none of the restaurants are known to have as much non-dining area on a square foot basis or a percentage basis as proposed by Applicant.

The granting of the parking variation will not alter the essential character of the neighborhood. As noted above, the parking ratio of 8.9 spaces per 1,000 gross square feet is similar to what many municipalities legislate or otherwise allow. The Subject Property has not previously contributed anything to neighborhood character and there is plenty of restaurant use along the B4A corridor.

The proposed parking variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood. The project will meet DuPage County stormwater and floodplain standards as administered by the County with only slight relief, if any, needed; however, the variation promotes County stormwater interests by avoiding excessive off-street parking where it is not needed. The reduction will have no impact on fire or flooding danger or public safety. The Subject Property will benefit from the same shared access as planned and have no adverse effect on planned traffic volumes along Roosevelt Road. The ratio of parking to floor area is consistent with what has been allowed in the same district and in other similar districts. In light of the circumstance that the parking peaks are noticeably different from those for PepBoys (the only business with shared access—not parking), the access drive will remain reasonably available to PepBoys invitees and nothing in the parking variation will lead to an undue burden on the access easement.

Applicant Meets Lombards Standards in Relation to the Loading Design Variation

Applicant desires a loading area at the location proposed even though one is not required and Applicant can load from inside a drive aisle. Due to the particular physical surroundings of the Subject Property, the shape of the developable portion of the Subject Property and the topographical conditions of the west 1.2 acres of the Subject Property, the waste enclosure naturally gets pressured to the southeast corner. Additionally, loading gets pressured east and then south of the building. For the benefit of the neighbors, Applicant wishes to enclose the loading area with a wall that blends with the building and encloses an area adjacent to the east side of the building. The particular hardship that arises to the owner from having an enclosed voluntary loading zone that moves the waste operation well north of the transition to residential use and avoids a view to loading from the southerly neighbor relates to the loss of parking and the area for turning that is required for an infrequently used loading area. The loss of three or more parking spaces is not mere inconvenience.

Applicant is dealing with Sugar Creek, a large wetland and a floodway in all of its planning. Applicant could plan to load from drive aisles or parking spaces because no loading zone is required. However, rather than load along the south elevation and rather than placing the waste enclosure at the south end of the east drive aisle, Applicant plans to load and manage waste disposal directly east of the building. This isolates the operations from the three residential

properties to the south and also avoids noise which can carry through the heavily wooded area even if it is an excellent visual screen. These circumstances are unique and not based primarily on profit. Applicant had no role in the evolution of Sugar Creek and the construction and maintenance of the single-family homes it wishes to protect with the chosen location for the voluntary loading area. The loading design variation will allow a truck or garbage truck to properly maneuver while keeping the operations distanced from homes nearby. The plan is beneficial to the public welfare and not injurious to other property or improvements in the neighborhood. The variation will not be noticed. The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood. Applicant notes that fire safety review should ultimately show that emergency services have sufficient access for response actions.

Applicant Meets Lombards Standards in Relation to the Lighting Variation

The topographical condition of the Subject Property presents a particular hardship to the owner inasmuch as there is a large wetland, floodway and flood plain that is naturally overgrown with large trees and underbrush on 1.2 acres of the Subject Property and Applicant needs a means to properly distinguish its planned landscaping from the natural area. For the style and quality of restaurant, the hardship is not mere inconvenience in planning to highlight landscaping in the evenings because the uplighting of trees in the parking lot not less than 100 feet from the south lot line allows Applicant to draw attention to the improved portion of the property. Uplighting also allows the illumination of the rickshaws approaching the west elevation of the building. Being forced to illuminate the decorative rickshaws from above exceeds mere inconvenience because safety is involved and the purpose of the rickshaws is to tastefully highlight a cultural artifact but being required to do so from above obstructs the view to the building and leaves much of the artifact in a shadow or darkness. In addition, the shape and surroundings of the Subject Property include the access easement to which the lighting will be directed for the purposes of safety (this is an adjustment that staff can determine).

The conditions are unique to the Subject Property inasmuch as no other commercial parcel to which the public is invited has become so impacted by the man-made circumstances that led to the creation of Sugar Creek over the years. Sugar Creek extends over another large parcel in the zoning district, but the parcel has been approved for self-storage with a partial filling of Sugar Creek by Public Storage. Additionally, the lot line and access easement configuration are unique since similar shared access aisles do not similarly serve adjoining or nearby large parcel uses or large restaurant and banquet operations (including in the B4A zoning district).

The purpose of the variation is not based primarily upon a desire to increase financial gain. The highlighting the trees and the rickshaws in a fashion that uses light directed from below ties to the enhancement of the cultural experience at the Subject Property. The plan to

accentuate trees in the evenings relates drawing attention to the improvements made rather than allowing them to blend with background or the trees and understory in the wetland.

Neither Applicant nor anyone known by Applicant to be in prior title caused the alleged difficulty or hardship (the special management areas) to come into existence. The use of artifacts as entry items that highlight an element of a dining experience is common in the restaurant field. The variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood since the lighting of the trees and the rickshaws is located 100 feet or more from the rear of residential properties and only on the interior of the Subject Property, east of the wetland. The lighting of the access drive arose independent of Applicant during the 1990's development approvals and as a result of local prerogatives pursuing the objective of shared access along routes controlled by the Illinois Department of Transportation.

The granting of the variation will not alter the essential character of the neighborhood. There is no change in the area as a result of the lighting variation. The lighting variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood. The lighting of the access, the trees and the rickshaws has no effect beyond the immediate location of the lighting.

Applicant Meets Lombards Standards in Relation to the Landscaping Variations

Applicant's principal landscaping relief arises in relation to foundation landscaping. Applicant is preserving the creek, wetland and floodway area and providing all necessary parking lot and transitional screening. Relief from the landscape regulations in Article XI is often something staff is able to determine; the foundation landscaping can be waived by the Director of Community Development. (Sec. 155.708(A)) In this instance, Applicant requires continuous sidewalk access around the perimeter of the building for the two main entrances and the emergency exits. Applicant has more than made up for the lack of foundation landscaping by preserving 1.2 acres of natural area and with cultural amenities at the west elevation.

Hardship again arises from the existence of Sugar Creek and the wetland and floodway. If Applicant were to include ten feet of foundation landscaping on the north and west elevations and any foundation landscaping on the south side of the building, Applicant would be compelled to shift improvements east and south further into the special management area. At this time, Applicant, Lombard staff and DuPage County staff understand that planning as much as possible to avoid impact on the natural amenity is an important part of the project and foundation landscaping is lower on the list of priorities when compared to protection of a natural area that has relatedness to natural areas north of and well to the south of the Subject Property.

As noted elsewhere in this narrative, the conditions upon which an application for a variation is based are unique to the Subject Property and not generally applicable to other property within the same zoning classification (including the much larger parcel over which Sugar Creek's directional flow changed over the decades that Sugar Creek came to exist on the Subject Property). The foundation landscaping adjustment is not based primarily upon a desire to increase financial gain inasmuch as Applicant has done more elsewhere than needed to meet the Zoning Ordinance. Applicant and its predecessors had no role in the course of Sugar Creek and the resulting wetland and floodway. The landscape variation(s) related to foundation landscaping and any other landscaping will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located since there is a more than sufficient landscape screen around the Subject Property, including around the parking lot and in and on the perimeter of the special management area. Most operations in the B4A district, particularly in this area, lack a ten-foot foundation landscaping strip and a five-foot strip as well as the omission of the strip by emergency egress doors will cause no change to the essential character of the neighborhood. As noted above, the landscaping plan is full and well-planned. The Subject Property will be well-landscaped despite any slight departures from Article XI and the relief from Article XI will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

The Village Should Approve the Site Plan

The site planning for the project will add to the community. The proposal conforms to the Zoning Ordinance in every material respect while avoiding excessive parking beyond the 116 parking spaces. The project is compatible with the surrounding area, respects neighbors and provides for proper special area management. Applicants' plans conform to the plat and related restrictions from 1997 and meet the prerogatives of the Village's subdivision and development ordinances. The preliminary engineering reflects that there is no known circumstance that prevents the project from being developed and that the project will meet the Village's civil engineering expectations. As noted above, the development of this site for the use proposed will not impose upon existing or planned vehicular or pedestrian routes. The dimensioned view scape exhibit shows that the plan preserves off-site views while the landscape plan and building elevations show that on-site views will be attractive. Applicant has placed the building and improvements north and east, away from the floodway and the building is planned for the topographic elevation that most approximates the elevation of the PepBoys parcel to the east. There are no known unsuitable soils. The restaurant offers a cultural dining experience that I have enjoyed personally for years. It adds to the social fabric of the Village and of DuPage County. Applicant has minimized any adverse environmental impact and minimized present and future costs to the Village and private providers in providing utilities to the site.

CONCLUSION

Thank you for your consideration of the application. The project offers an excellent dining opportunity for Lombard and area residents. Additionally, it plans for a beneficial use that respects the natural environment and neighbors while also planning for parking that is sufficient for a use that should generate substantial real estate and sales taxes. I look forward to appearing at hearing with ownership and the design team.

Staff and interested neighbors are welcome to reach me by telephone in the office, by cell at (312) 927-0177 or by electronic mail.

Respectfully submitted,

SAFA PROPERTY LLC

A handwritten signature in black ink, appearing to read 'Mark W. Daniel', written over a horizontal line.

One of Its Attorneys

Mark W. Daniel
DANIEL LAW OFFICE, P.C.
17W733 Butterfield Road
Suite F
Oakbrook Terrace, Illinois 60181
(630) 833-3311
Fax: (630) 833-3511
Cell: (312) 927-0177
mark@thedaniellawoffice.com
ARDC No. 6226696

B4A ROOSEVELT ROAD CORRIDOR DISTRICT TABLE OF COMPLIANCE
855 EAST ROOSEVELT ROAD, LOMBARD (PIN 06-21-100-013)

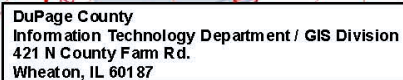
| SECTION | TERMS | REQUIRED | PROPOSED | NOTES |
|-------------------|--|-------------------------|--|-----------------------------------|
| 155.417(E)(F) | The IDRC shall review all applicable permits for new construction to determine compliance with the Chapter. The IDRC shall consider. . . . | Process and standards | Will comply | Pre-hearing meetings in progress. |
| 155.417(G)(1) | Permitted use list, (a)(xl) | | Restaurant | Complies |
| 155.417(G)(2) | Conditional use list, (a)(vii) | | Restaurant w ent/dance | Complies |
| | Conditional use list, (c)(v) | | Planned development | Not available |
| | Conditional use list, (c)(vii) | | Roof ht. 45' (49' ppt) | Complies |
| | Conditional use, 417(G)(10)(b) | Outdoor display, sales | Seasonal or periodic | Complies |
| 155.417(G)(3) | Minimum lot area | 40,000 SF | 105,372 SF | Complies |
| 155.417(G)(4) | Minimum lot width | 150 feet | 312 feet | Complies |
| 155.417(G)(5)(a) | Front yard | 30 feet | +/-89-96 feet | Complies |
| 155.417(G)(5)(c) | Interior side yard | 10 feet | 17' (E); 223' (W) | Complies |
| 155.417(G)(5)(d) | Rear yard | 30 feet | +/-178 feet | Complies |
| 155.417(G)(6) | Maximum building height | 40 feet | 45 feet | See conditional use, above |
| 155.417(G)(7) | 10% minimum open space | 10,538 SF | +/-42,800 SF | Complies |
| 155.417(G)(8) | Transitional building setbacks | 40 feet (rear) | +/-160 feet | Complies |
| 155.417(G)(9) | Landscaping (see below) | | | |
| 155.417(G)(10) | Indoor operations | Required | Proposed 95% of time | Occasional outdoor |
| 155.417(G)(10) | Service screening | 5' pl strip; 6' barrier | 5' pl strip; 6' barrier | Complies |
| 155.417(G)(11) | Signs (see sign table) | | | Complies |
| 155.417(G)(12) | Parking and loading (see below) | IDOT/screen loading | IDOT/will screen | Complies |
| 155.417(G)(13) | Rooftop mechanicals screened in accord w 155.221, conceal parap | | Mechanicals screened by parapet | Complies |
| 155.417(G)(14) | Lighting (see below) | 155.602(A)(10)(d) | Photometrics | Complies |
| 155.417(G)(14)(a) | Direct away from adjacent and downward | Cut off shields | Directed except for access easement area | Complies |
| 155.417(G)(14)(b) | Max resid height light poles | 8 feet, <30' from S lot | N/A | Complies (25' ht >30') |
| 155.417(G)(14)(c) | Style compatible with arch/LS | | | Complies |
| 155.417(G)(14)(d) | Articulate building/safety | | | Complies |
| 155.502(F)(3) | PD required if variation and elig | Under area and width | PD not proposed | Not required |
| 155.508(A)(2) | Public water and sewer | Required | Planned | Complies |
| 155.602(A)(3)(e) | Located in any yard | Any yard | Any yard | Complies |

| SECTION | TERMS | REQUIRED | PROPOSED | NOTES |
|------------------------|---------------------------------|-------------------------|----------------------|--------------------|
| 155.602(A)(3)(f) | Comply with 155.700 | | See Landscape Plan | Complies |
| 155.602(A)(5), (C) | Length of stalls | 18 feet | 18 feet | Complies |
| 155.602(A)(5), (C) | Length to lot line/to LS island | 16 feet | 16.5 feet | Complies |
| 155.602(A)(5)(a), (C) | Size of stalls (width) | 9 feet | 9 feet | Complies |
| 155.602(B) | Accessible parking (number) | 5 | 5 | Complies |
| IL ADA502.3(1) | Width of ADA access aisle | 5 feet | 8 feet | Complies |
| 155.602(B) | Accessible parking (dimensions) | 8 feet (c); 11 feet (v) | 8 feet (c) | Complies |
| 152.602(A)(6), (C) | Access aisles/street | 24 feet/Safe | 24 feet/Safe | Complies |
| 152.602(A)(10)(d)(ii) | Lighting | 0.5FC min/2 max avg | Photometrics | Complies |
| 152.602(A)(10)(d)(iii) | Directed away | From lot lines | Directed to easement | Otherwise complies |
| 152.602(A)(10)(d)(iii) | Lighting at lot lines | 0.5 FC S/ 3 NEW | Photometrics | Complies |
| 152.602(A)(10)(d)(iv) | Lighting pole height | 40 feet | 25 feet | Complies |
| 155.602 table 6.3 | Parking Required | 112-133 | 116 | Does not comply |
| 155.603(A)(2)(a) | Size apron access | 12x30; 60' ap; 24' | 12x40; ap; 24' | Does not comply |
| 155.603(A)(6) | Allocation for loading | No other allocation | Noon-11 pm parking | Does not comply |
| 155.603(B) table 6-5 | Loading number | 0 | 1 | Complies |
| 155.702(A)(2) | Dir. Comm. Development | Modified LS standard | | Available |
| 155.702(B)(C) | LS Plan | Required | Provided | Complies |
| 155.704(A) | Scaling of plants to building | Required | Provided | Complies |
| 155.704(B) | Selection | Non-invasive, strong | Provided | Complies |
| 155.704(C) | Evergreens for screening | Required | Provided | Complies |
| 155.704(D) | Shade trees | Required at 2.5" cal | Provided | Complies |
| 155.704(E) | Soften building walls | Suggested | Provided in part | Complies |
| 155.704(G) | Detention/retention | LS required | Provided | Complies |
| 155.704(H) | Permanent means of watering | Required | Irrigation planned | Complies |
| 155.704(I) | Energy conservation | Placements noted | Planned in part | No requirement |
| 155.704(J) | Preservation of plant material | Suggested | Provided west acre | Complies |
| 155.704(K) | Berming | Sugg when practical | Not practical | Complies |
| 155.705(B) | Fine grade ROW | Required | Planned | Complies |
| 155.705(C) | Parkway trees | 6 required | 6 provided | Complies |
| 155.706(B)(1) | Interior LS volume | 5% minimum | 6.2% provided | Complies |
| 155.706(B)(2)(a) | Disbursement of LS in lot | Required | Provided | Complies |
| 155.706(B)(2)(b) | Minimum island size | 120 SF, 7' back2back | 120 SF, 7' back2back | Complies |

| SECTION | TERMS | REQUIRED | PROPOSED | NOTES |
|-----------------------|-----------------------------------|-----------------------|------------------------|---------------------------------------|
| 155.706(B)(2)(c)(i) | Ornamentals as sole means | Prohibited | Not proposed | Complies |
| 155.706(B)(2)(c)(ii) | Shade tree ratio | 1 per 120 SF LS area | 13 of 17* | Complies |
| 155.706(B)(2)(c)(iii) | Ground cover ratio | 50% of LS area | 100% of LS area** | Complies |
| 155.706(C)(1) | Perimeter parking lot LS width | 5 feet | 5-10++ feet | Complies |
| 155.706(C)(2)(b)(i) | Front 4' ht shrub or evergreen | 157 feet (50%) | 160 feet | Complies |
| 155.706(C)(2)(b)(ii) | Ground cover ratio front (sod pl) | 100% | 100% | Complies |
| 155.706(C)(3)(a) | Side 4' ht shrub or evergreen | 167 feet 50%, 7-9 grp | 170 feet, 7-9 grp | Complies |
| 155.706(C)(3)(b) | Ground cover ratio side (sod pl) | 100% | 100% | Complies |
| 155.707(A)(5)(a) | Transition yard LS | 30 feet 155.711 | 35' 7" | Complies |
| 155.707(B)(4)(a) | Fence screen for service areas | 6' (5' LS in/25' out) | 6' (5' LS in/25' out) | Complies |
| 155.707(B)(4)(b) | Shade trees every 25 feet | 13 shade trees | 13 shade clustered | Complies |
| 155.707(B)(4)(c) | Shrubs at 3' grow to 6'+ | 235 feet (75%) | 235 feet | Complies |
| 155.707(B)(4)(d) | Unplanted as lawn | 100% | 100% | Planted as lawn and with wetland seed |
| 155.708(A) | 10' wide foundation LS | All sides | 5' north and west only | CDD authorization req'd |
| 155.709(B) | Width | 5' NEW, 30' S | 5' NEW, 35' 7" S | Complies |
| 155.709(B)(1) | Shade trees every 75 feet | 9 shade | 5 east, 4 SE clustered | Complies |
| 155.709(B)(3) | Ground cover ratio | 100% | 100% | Complies |
| 155.710 | Waste enclosure screen | All sides. 6'-8' | All sides. 6'-8' | Complies |
| 155.711 | Innovation | Encourage/Reward | Preservation of E acre | Complies |

*Six (6) ornamental trees proposed in lieu of shade trees due to light pole conflicts.

**Additional understory landscaping provided in parking lot islands to compensate for discrepancy in required shade tree count.



RESTAURANT PARKING ANALYSIS

Banquet Area on second floor is not an independent business.
 Considered all as a restaurant use.

| FLOOR | TOT AREA | DINING AREA | SEATS | NOTES |
|-----------|----------|-------------|---------|---|
| Cellar | 0 | 0 | 0 | Storage and mechanicals only |
| FIRST | 3405.4 | 1,900 | 120 | |
| SECOND | 3679.4 | 2,115 | 156-160 | Range is 12-tops to 4-tops, 53 spaces, plus 10 employees |
| THIRD IN | 2749.4 | 1,600 | 54 | Indoor restaurant use would require 68 spaces for all but 2nd Floor use |
| THIRD OUT | 770.0 | 770 | 14 | |
| GFA (PKG) | 10604.1 | 6385 | 348 | |

EXCLUSIONS: cellar, stairs, elevators, hall storage, 1st floor loading aisle. (Note, more exclusions available upon kitchen design.

Entire Building Area: 17783.5 Additional Storage: 1,250

| | PER 1000 | ALL | INSIDE | DINING ONLY |
|----------------------|----------|-------|--------|-------------|
| <i>For 7000 SF</i> | 16 | 169.7 | 157.3 | 102.2 |
| <i>Multiplier</i> | 25.0 | 265.2 | 246.0 | 159.7 |
| <i>18.5 per 1000</i> | 18.5 | 196.2 | 181.9 | 118.1 |
| <i>ITE WKD AVG</i> | 10.52 | 111.6 | 103.5 | 67.2 |
| <i>ITE FRI AVG</i> | 14.84 | 157.4 | 145.9 | 94.8 |
| <i>ITE SAT AVG</i> | 17 | 180.3 | 167.2 | 108.5 |

| | PER SEAT* | NOTE | INSIDE | DINING ONLY |
|--------------------|-----------|-----------|--------|-------------|
| <i>ITE WKD SEA</i> | 0.52 | 2 studies | 173.7 | 181.0 |
| <i>ITE FRI SEA</i> | 0.47 | 7 studies | 157.0 | 163.6 |
| <i>ITE SAT SEA</i> | 0.46 | 4 studies | 153.6 | 160.1 |

**ITE studies by seat are too limited in number to be reliable.*

COMPARISONS BY SPACES AND GROSS, NO DEDUCTIONS

| USE | AREA | SPACES | Per 1000 | | BAR? |
|-----------------------------|----------------------|-------------------|--------------------|---|-------------------------|
| USMANIA | 13065.125 | 116 | 8.9 | Not shared | NO |
| <u>VICEROY</u> | <u>10946</u> | <u>130</u> | <u>11.9</u> | <u>Not shared</u> | <u>NO</u> |
| <u>GREEK ISLAND:</u> | <u>11851</u> | <u>114</u> | <u>9.6</u> | <u>Shared, <200'</u> | <u>YES</u> |
| TANDOORI | 11168 | 100 | 9.0 | Shared <200' | NO |
| COSTA'S* | 9,274 | 76 | 8.2 | Not shared | YES |
| GULLIVERS | 8,700 | 77 | 8.9 | Not shared | YES large |
| J ALEXANDERS | 7,600 | 109 | 14.3 | Shared <200' | YES large |
| DEVON | 8,321 | 103 | 12.4 | Shared <200' | YES |
| LOU MAL'S | 7,530 | 84 | 11.2 | Shared | YES |
| REDSTONE | 10,087 | 160 | 15.9 | "Shared", GFA excl patio | YES large |
| <u>UNCLE JULIOS</u> | <u>9,960</u> | <u>174</u> | <u>17.5</u> | <u>"Shared"</u> | <u>YES large</u> |
| <u>PF/WEB/YHSE</u> | <u>28,900</u> | <u>459</u> | <u>15.9</u> | <u>"Shared"</u> | <u>YES large</u> |
| BENIHANA | 11,200 | 117 | 10.4 | Not shared | YES |
| MILLERS ALE | 8,800 | 139 | 15.8 | "Shared" Carlisle banquets | YES |
| BRICK HOUSE | 12,600 | 154 | 12.2 | "Shared" | YES large |
| FOGO DE CHAC | 9,600 | 107 | 11.1 | Shared, <225 | YES |
| GIBSON'S | 20000 | 126 | 6.3 | "Shared", GFA excl patio | YES large |
| KI'S STEAKH | 8000 | 141 | 17.6 | Not shared, excl. patio** | YES large |
| GIORDANOS | 7300 | 75 | 10.3 | Not shared | YES, large |
| | 201837 | 2370 | 11.7 | Excl. Usmania Prime | |

Fast casual/casual is more intense during the week, less intense weekends.

**Closed, owner choice.*

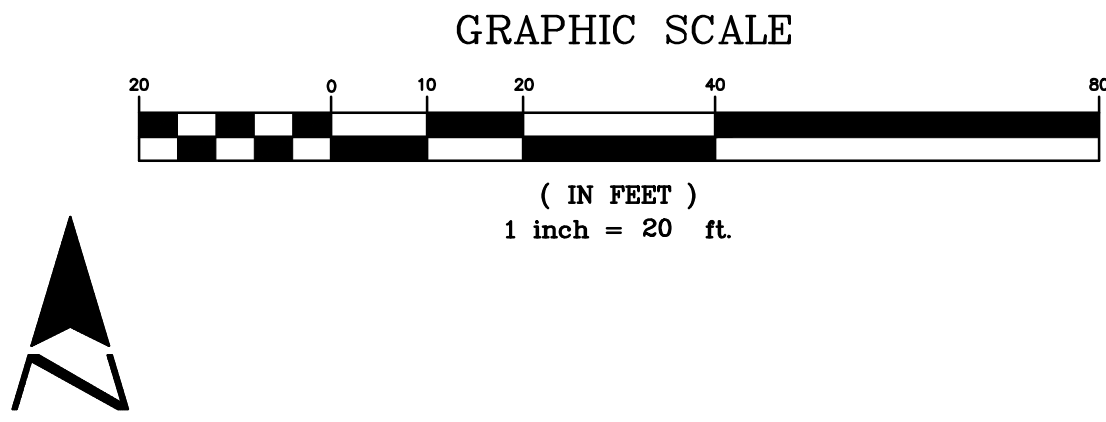
***Ki's relies on a single zoning lot well to the east for most of its parking which often goes unused.*

COMPARISON OF PARKING REGULATIONS AND EFFECT

| MUNICIPALITY | PER 1000 | SEATS | EMPLOYEE | BAR | GFA DEFINITION | PROJECT |
|---------------------|-----------------|--------------|-----------------|------------|---|----------------|
| Addison | 33 | N/A | N/A | N/A | Dining + Kitchen | 295 |
| Arlington Heights | 22 | N/A | N/A | N/A | Seating area only | 184 |
| Bensenville | 10 | N/A | N/A | 1:100 SF | Gross, no exclusions | 131 |
| Bloomington | 13 | N/A | N/A | 1 per 30% | Gross, limited exclusions | 167 |
| Burr Ridge | 10 | N/A | 1:1 emp | N/A | Dining + Kitchen | 122 |
| Carol Stream | 16 | N/A | N/A | N/A | Dining + Kitchen | 130 |
| Downers Grove | 10 | 1:4 seats | N/A | N/A | Gross, limited exclusions | 131 |
| DuPage County | 15 | N/A | N/A | N/A | Gross, limited exclusions | 208 |
| Elmhurst | 10 | N/A | N/A | N/A | Gross, limited exclusions | 122 |
| Glen Ellyn | N/A | 1:3 seats | N/A | N/A | Dining + Kitchen | 116 |
| Glendale Heights | 10 | N/A | N/A | N/A | All no basement | 139 |
| Hinsdale | 5 | 1:3 seats | 1:2 emp | N/A | Dining + Kitchen | 126 |
| Lisle | 10 | 1:3 seats | 1:3 emp | N/A | Seating | 123 |
| Lombard <7000 | 16 | N/A | N/A | N/A | Gross, limited exclusions | 158 |
| Lombard >7000 Min | 18.5 | N/A | N/A | N/A | Gross, limited exclusions | 181 |
| Lombard Project | 26.7 | N/A | N/A | N/A | Gross, limited exclusions | 246 |
| Naperville | 10 | N/A | N/A | N/A | All no basement | 139 |
| Oak Brook | 10 | N/A | N/A | N/A | All no basement midwall | 128 |
| Oak Park | 4 | N/A | N/A | N/A | Gross, no exclusions | 37 |
| Oakbrook Terrace | 12 | N/A | N/A | N/A | Gross, limited exclusions | 161 |
| Orland Park | 10 | N/A | N/A | N/A | Gross, no exclusions | 180 |
| Schaumburg | 16 | N/A | N/A | N/A | Dining + Most Kitchen | 90 |
| Skokie | 10 | N/A | N/A | N/A | Gross, many exclusions | 110 |
| St. Charles | 10 | N/A | N/A | N/A | Gross, limited exclusions | 180 |
| Villa Park | N/A | 3:1 seats | N/A | N/A | All no basement | 127 |
| West Chicago | 10 | N/A | N/A | N/A | All no basement | 138 |
| Westmont | 10 | 4:1 seats | 2:3 emp | N/A | Gross, many exclusions | 106 |
| Wheaton | 15 | N/A | N/A | N/A | Gross, excludes most, note that it is also TBD by code Council approval | 131 |
| Woodridge | 12 | N/A | N/A | N/A | Dining + Kitchen | 98 |

B4A ROOSEVELT ROAD CORRIDOR DISTRICT SIGN COMPLIANCE**855 EAST ROOSEVELT ROAD, LOMBARD (PIN 06-21-100-013)***See Code, Chapter 153 (Not Zoning Ordinance)*

| SECTION | REGULATION | REQUIRED | PROVIDED | NOTES |
|----------------------|---|---------------------|----------------|--|
| 153.211(B) | Awning height (signed) | 7 feet clearance | | Complies, option to use "U" in design |
| 153.211(C) | Awning setback to curb | 2 feet | | Will comply |
| 153.211(E) | Letter height limit | 10 inches | | Will comply |
| 153.216(B) | FS sign barrier if with in 3' of... | 6" curbing required | | Need 3' to edge of support and 12' clear |
| 153.216(B) | FS sign clearance | 12 feet or more | | Complies, not suspended |
| 153.216(C) | Landscaping | Required at FS sign | Provided | Complies |
| 153.241(A) | Valet sign in valet loading zone | 16 SF. 2 allowed | None proposed | |
| 153.242(B) | Max wall sign proj/min height | 12 inches/8 feet | | Complies |
| 153.242(D) | Wall sign placement | Front or side | Front and side | Complies |
| 153.242(E) | Wall sign w awning, projecting or canopy sign | Prohibited | Not proposed | Complies |
| 153.505(B)(6)(b) | FS sign area max | 100 SF | 80 SF | Complies, measured on one face |
| 153.505(B)(6)(c) | Setback | 5 feet | 5 feet | Complies |
| 153.505(B)(6)(d) | Max Height | 20 feet | 17 feet | Complies |
| 153.505(B)(6)(e) | Max Number | 1 | 1 | Complies |
| 153.505(B)(6)(f) | Distance between FS signs | 100 feet | 300-350 feet | Complies |
| 153.505(B)(19)(a)(i) | Max total wall sign area (all) | 100 SF | <70 SF | Complies |
| 153.505(B)(19)(a)(i) | Wall sign location front side | Area each side | 31.05 | Complies |



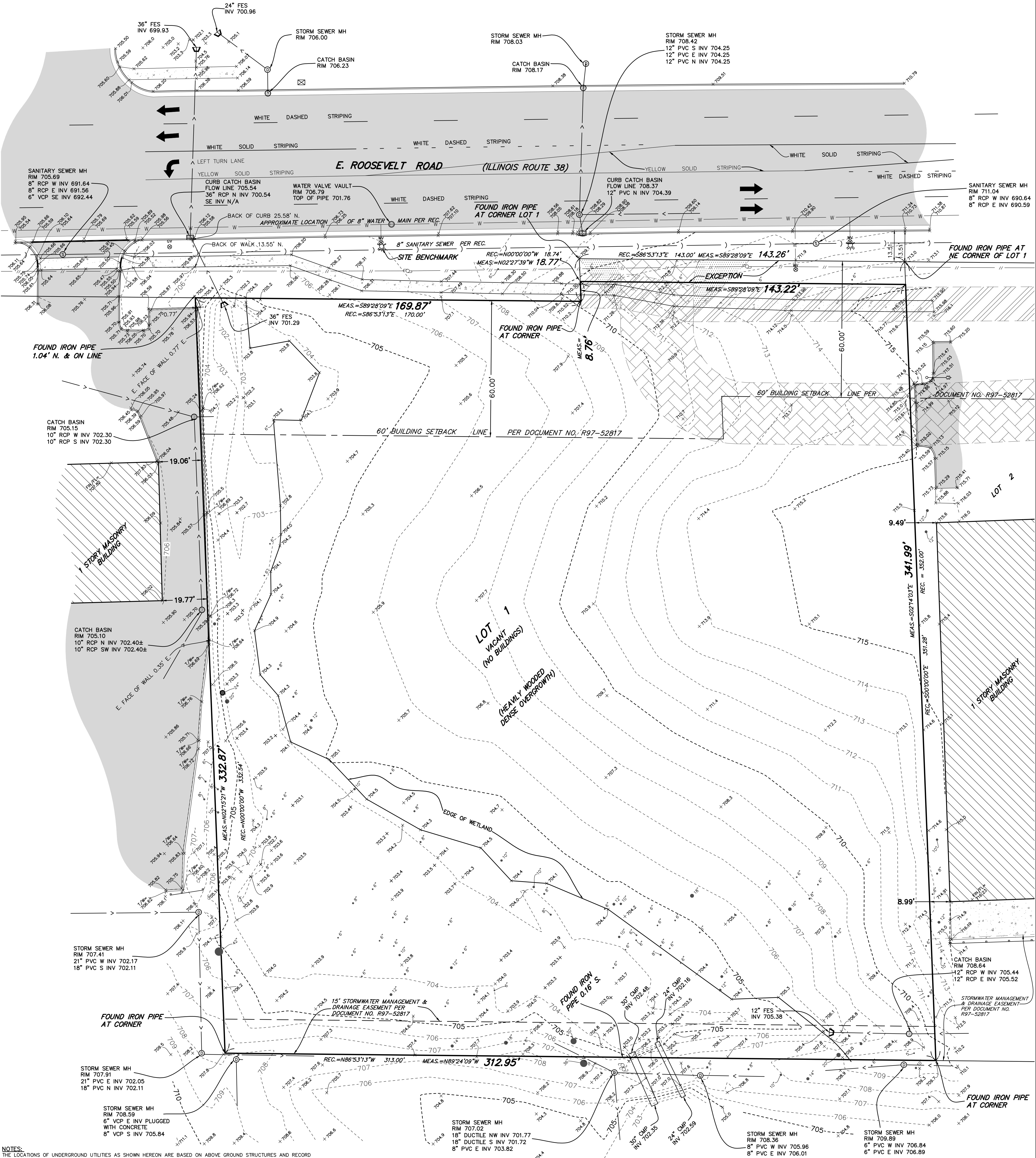
ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

BY
GENTILE AND ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

550 E. ST. CHARLES PLACE
LOMBARD, ILLINOIS 60148
PHONE : (630) 916-6262

LOT 1 (EXCEPT THE NORTH 10 FEET OF THE EAST 143 FEET THEREOF) IN **CHRISTOFARO AND DIFEBO SUBDIVISION**, BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 16, 1997 AS DOCUMENT R97-052817, IN DUPAGE COUNTY, ILLINOIS.

TOTAL AREA: 105,372.71 SQ. FT., 2.42 AC. (MORE OR LESS)



NOTES:
THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE ANY EXCAVATION BEGINS ALL UTILITY COMPANIES SERVING THE PROPERTY SHOULD BE CONTACTED FOR VERIFICATION OF FIELD LOCATION.

MATTERS OF TITLE PERTAIN TO FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. PTC21-17070, DATED OCTOBER 27, 2021.
SURVEY RELATED SCHEDULE B EXCEPTIONS LISTED AS FOLLOWS:
PART II
11) A 60 FOOT BUILDING SETBACK LINE EASEMENT PER DOCUMENT NUMBER R97-052817, PLOTTED AND SHOWN HEREON.
12 & 18) EASEMENT FOR STORMWATER MANAGEMENT AND DRAINAGE PER DOCUMENT NUMBER R97-052817 OVER THE SOUTH 15 FEET OF THE LAND, PLOTTED AND SHOWN HEREON.
16) A 15 FOOT PUBLIC SIDEWALK EASEMENT PER DOCUMENT NUMBER R97-52817, PLOTTED AND SHOWN HEREON.
19) ACCESS EASEMENT PER DOCUMENT NUMBER R97-52817, PLOTTED AND SHOWN HEREON.
20) PER FLOOD INSURANCE RATE MAP FOR DUPAGE COUNTY, ILLINOIS AND INCORPORATED AREAS PART OF SUBJECT PROPERTY IN "ZONE AE" SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AND FLOODWAY AREAS
21) CLEAR SIGHT EASEMENT PER DOCUMENT NUMBER R97-52817, PLOTTED AND SHOWN HEREON.
BASIS OF BEARING: ILLINOIS STATE PLANE COORDINATE SYSTEM EAST ZONE.

BENCHMARK: DUPAGE COUNTY BM. # YK09002
STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE ILLINOIS PRAIRIE PATH AND CENTRAL BOULEVARD. STATION IS 21.5 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE ILLINOIS PRAIRIE PATH, AND 146.0 FT NORTH OF PARK AVENUE. MONUMENT IS 0.85 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.
ELEVATION = 709.33 (NAVD 88 DATUM)

SITE BENCHMARK:
TAG BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38), THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.
ELEVATION = 708.75

BASE SCALE : 1 INCH = 20 FEET
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF
ORDERED BY : **WATERMARK ENGINEERING RESOURCES, LTD.**
DRAWN BY : **MMG**
CHECKED BY : **JFG**
SURVEYED BY : **LR-JFG-RWG**

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE. FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT DEED, CONTRACT AND ZONING ORDINANCE.

ORDER NO. **21-22354-REV 1**

| NO. | DATE | DESCRIPTION | BY |
|-----|------------|---|-----|
| 1 | 11/17/2021 | REVISED PER TITLE COMMITMENT DATED 10/27/2021 | MMG |

| | | | |
|--|------------------------------------|--|---|
| | SIGN POST | | TREE WITH TRUNK DIAM. SIZE |
| | LIGHT POLE | | OVERHEAD WIRES (# OF WIRES) |
| | STORM SEWER MH | | STORM SEWER |
| | FIRE HYDRANT | | SANITARY SEWER |
| | CATCH BASIN | | GAS MAIN |
| | CURB CATCH BASIN | | WATER MAIN |
| | WATER SHUTOFF VALVE WITH 8" CASING | | |
| | WATER VALVE VAULT | | |
| | GAS VALVE | | |
| | UTILITY POLE | | |
| | GUY WIRE (ANCHOR) | | |
| | TRAFFIC SIGNAL CONTROL VAULT | | CLEAR SIGHT EASEMENT PER DOC. NO. R98-52817 |
| | SANITARY SEWER MH | | PUBLIC SIDEWALK EASEMENT PER DOC. NO. R98-52817 |
| | GROUND ELEVATION | | ACCESS EASEMENT PER DOC. NO. R98-52817 |
| | PAVEMENT ELEVATION | | |
| | FIN/FL = FINISHED FLOOR ELEVATION | | |
| | ASPHALT PAVEMENT | | |
| | CONCRETE PAVEMENT | | |

TABLE "A" ITEMS LISTED IN SURVEYOR'S CERTIFICATE NOT OTHERWISE SHOWN HEREON:
7) NO NO BUILDINGS ON SUBJECT PROPERTY AT TIME OF SURVEY.
9) NO PARKING STALLS ON SUBJECT PROPERTY AT TIME OF SURVEY.

STATE OF ILLINOIS) S.S.
COUNTY OF DUPAGE)

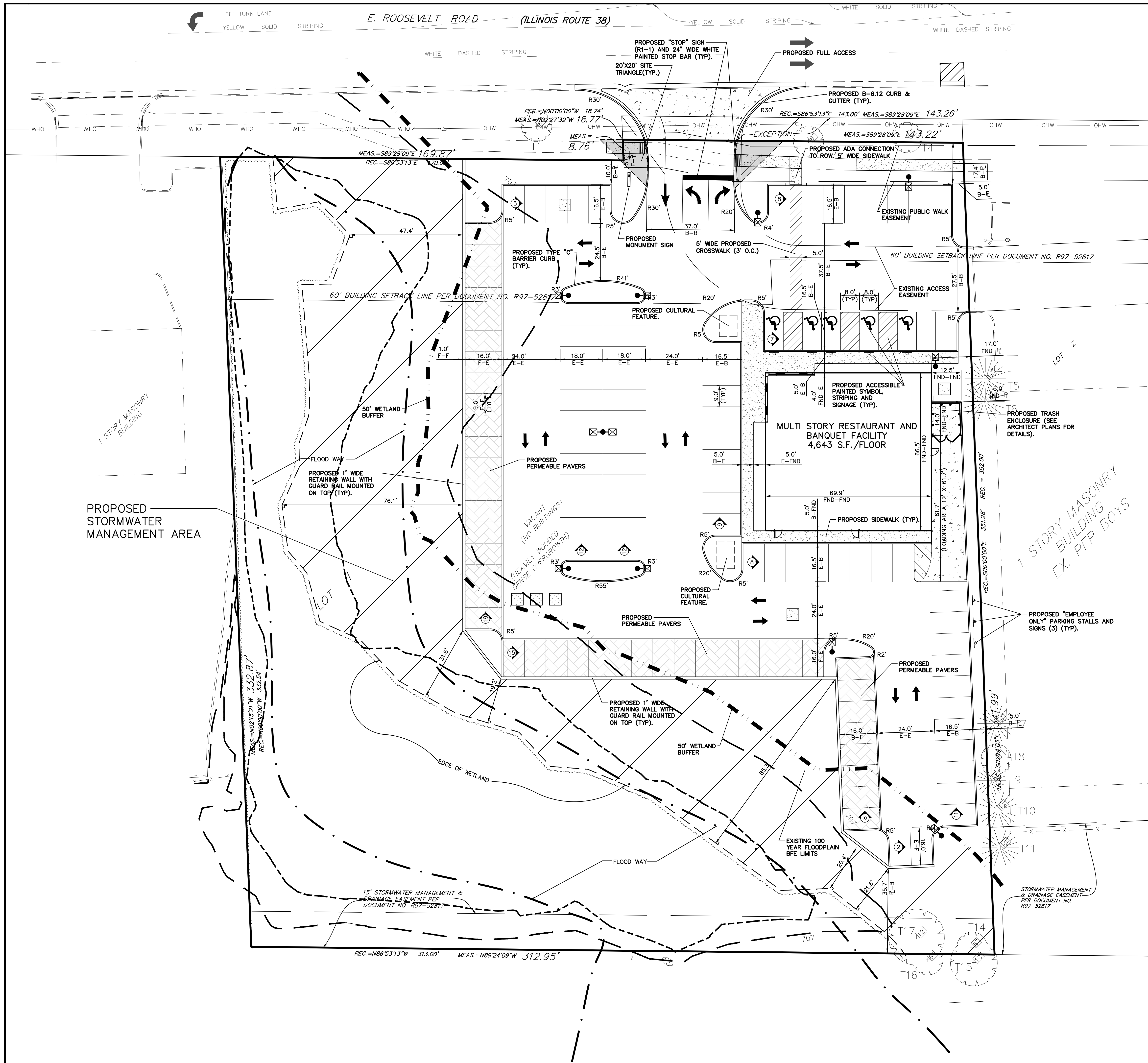
TO: 1) FIDELITY NATIONAL TITLE INSURANCE COMPANY
2) ZARMIN INVESTMENTS, LLC, A LIMITED LIABILITY COMPANY
3) SAFA PROPERTY LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7, 8, 9 AND 11 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON AUGUST 12, A.D. 2021.

DATE OF PLAT: AUGUST 16, A.D. 2021

BY:
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925
MY LICENSE EXPIRES NOVEMBER 30, 2022
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002870



GENERAL NOTES:

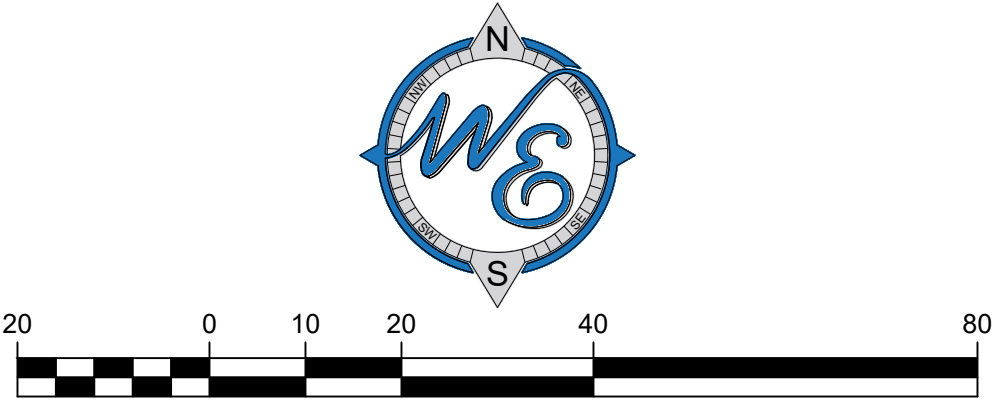
1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6282
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

| ON SITE PARKING DATA | |
|-----------------------|-----|
| REGULAR SPACES | 108 |
| EMPLOYEE ONLY SPACES | 3 |
| ADA ACCESSIBLE SPACES | 5 |
| TOTAL SPACES | 116 |

| SITE DATA | |
|---------------|---|
| LOT AREA | = 105,372 S.F. (2.42 AC.) |
| BUILDING AREA | = 18,593 S.F. (INCLUDING CELLAR AND ROOF TOP) |
| F.A.R. | = 0.18 |

DIMENSION LEGEND

| | | | | | |
|-----|---|------------|-----|---|---------------|
| F | = | FACE | FNC | = | FENCE |
| FND | = | FOUNDATION | R | = | RADIUS |
| B | = | BACK | C | = | CENTER |
| E | = | EDGE | PL | = | PROPERTY LINE |

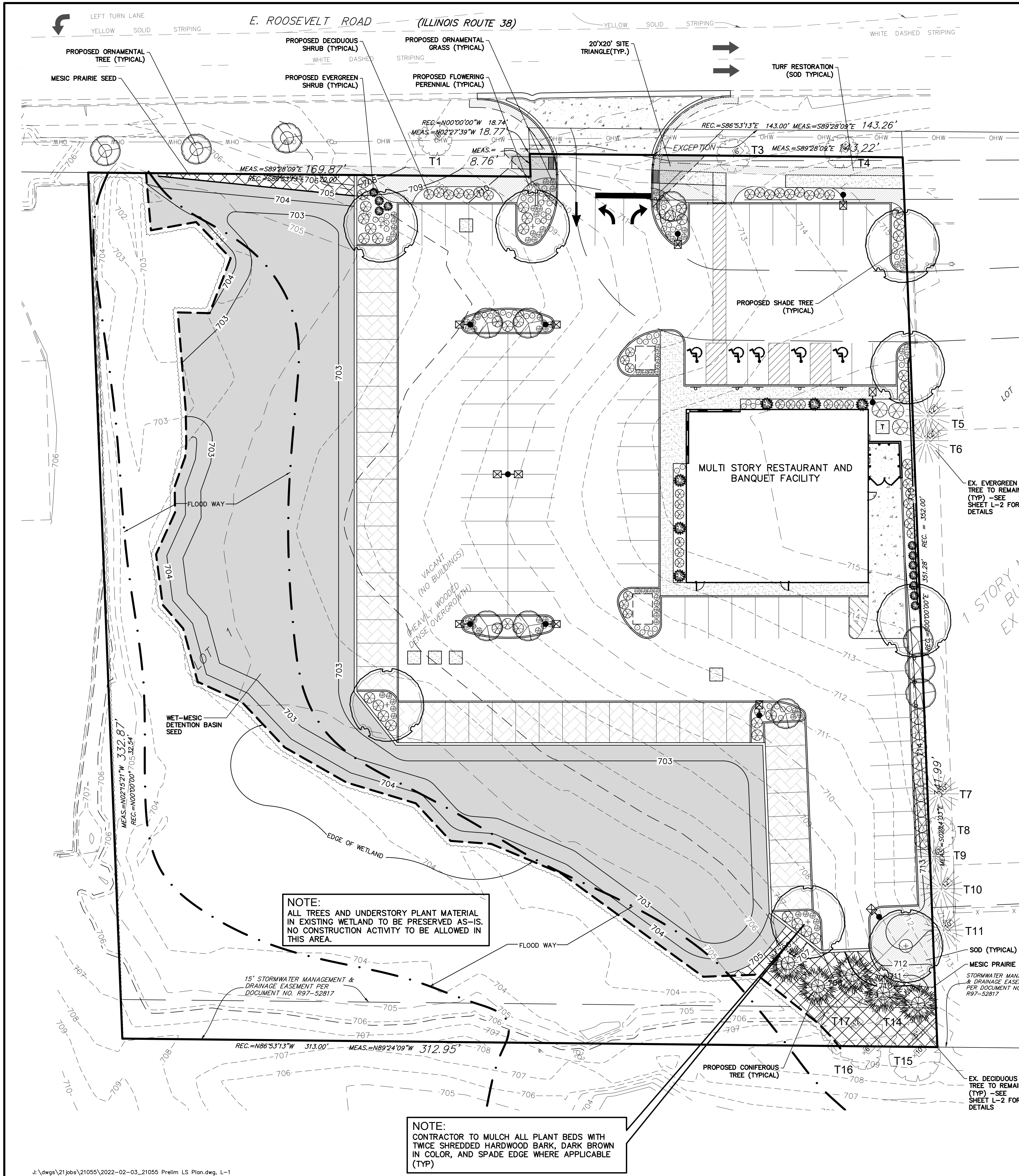


SITE PLAN

| | | | | | |
|--|-------------------|-----------------------------|----------|--------------|---------|
| DATE | 11/2/22 | REVISIONS | NO | 1 | 2 |
| NEW SITE PLAN TO AVOID WETLAND | | PER VILLAGE CALL ON 2/21/22 | | | |
| SAFA PROPERTY, LLC 8060 Lawndale Skokie, IL | | | | | |
| VIP - LOMBARD 855 E. Roosevelt Road Lombard, Illinois | | | | | |
| Prepared By: | | | | | |
| Prepared By: | | | | | |
| watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800 | | | | | |
| CHECKED BY: | J. MILLER | DESIGN BY: | K. SACK | DRAWN BY: | K. SACK |
| DATE: | DECEMBER 20, 2021 | SCALE: | 1" = 20' | PROJECT NO.: | 21-055 |

1 of 1

SITE PLAN



LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
- PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
- SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
- ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED, INCLUDING HAUL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- SOIL MIX PM35 BY MIDWEST TRADING COMPANY OR EQUAL SHALL BE ROTOTILLED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE ABOVE SOIL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
- CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
- ALL PLANT BED AREAS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. IF TURF SEED AND SOD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SOD.
- AREAS TO BE SODDED SHALL BE WITH AN "APPROVED TURFGRASS SOD" OF PREMIUM GRADE. SOD SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN LOCALLY TO THE PROJECT SITE. SOD MUST BE MATURED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SOD SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SOD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 90 DEGREES (F) NOR LESS THAN 55 DEGREES (F). SOD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1.5" OF SOD IS DESIRED) BUT SOD THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOD SHALL BE Laid IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOD STAKES SHALL USED ON ALL SLOPES 4:1 OR GREATER.
- CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (INTENDED OR UNINTENDED) AT A MINIMUM, TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME PLANT IS SELECTED THROUGH ITS INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
- BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING BID, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
- ALL EXISTING ON-SITE PLANT MATERIAL NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED AS PART OF THIS PLAN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
- IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
- PROVIDE TOPSOIL RE-Spread PER THE FOLLOWING UNLESS OTHERWISE NOTED:
A. 4" MINIMUM IN GRASS OR SOD AREAS
B. 6" MINIMUM IN PLANTING AREAS
C. 12" MINIMUM IN LANDSCAPE ISLANDS
- CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COMMUNITY, LOCAL DISTRICTS AND THE ILLINOIS ACCESSIBILITY CODE (IAC). ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS WELL AS THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" CURRENT EDITIONS.
- THE CONTRACTOR SHALL INDEMNIFY WATERMARK ENGINEERING RESOURCES, LTD (THE DESIGN ENGINEER), ARCHITECT AND OWNER, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AGENCIES.
- PRIOR TO BID AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT THERE ARE NO DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL CONDITIONS AT THE SITE. IF ANY DISCREPANCIES ARE FOUND, AT ANY TIME BEFORE OR DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY (BEFORE ANY ADDITIONAL IMPROVEMENTS ARE INSTALLED) IN ORDER TO OBTAIN WRITTEN CONFIRMATION BY THE DESIGN ENGINEER AS TO ANY REVISIONS THAT MAY NEED TO BE MADE TO THE PLANS.
- PRIOR TO CONSTRUCTION, CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE APPROPRIATE CONSTRUCTION INSPECTIONS.
- THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS.
- PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL J.U.L.I.E. FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-892-0123, 48 HOURS PRIOR TO DIGGING.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AS APPROVED BY THE MUNICIPALITY.
- ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED.
- ANY RESTORATION NEEDED BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- RESTORATION OF EXISTING RIGHT-OF-WAYS IS TO BE COMPLETED WITH FOUR INCH (4") MINIMUM TOPSOIL AND SALT TOLERANT SOD UNLESS OTHERWISE NOTED.
- ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO CONSTRUCTION USE.
- CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.
- LANDSCAPE SHALL NOT BE INSTALLED IN SUCH A WAY THAT IT WILL BLOCK THE FLOW OF WATER AWAY FROM THE BUILDING INCLUDING BUT NOT LIMITED TO WEEP HOLES, WICKS, DRAINAGE SCOPERS OR PIPES.

GENERAL NOTES:

- THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6262
- ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
- WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

NATIVE SEED LEGEND

- WET-MESIC DETENTION BASIN MIX
GENESIS LO PRO MESIC PRAIRIE W/ FLOWERS
- MESIC PRAIRIE MIX
GENESIS LO PRO MESIC PRAIRIE MIX W/ FLOWERS

PLANT LIST (note: all plants to be selected from this list)

| SHADE, ORNAMENTAL AND CONIFEROUS TREES | | | | | MIN. INSTALL |
|--|-------|--|--------------------------------|-------------|--------------|
| QTY. | ABRV. | BOTANICAL NAME | COMMON NAME | SIZE | HEIGHT |
| 0 | ABS | Ametlacheria x grandiflora 'Autumn Brilliance' | Autumn Brilliance Serviceberry | 6' Ht. | 6' |
| 0 | BAS | Picea pungens 'glauca' | Colorado Blue Spruce | 6' Ht. | 6' |
| 0 | EW | Pinus strobus | Eastern White Pine | 6' Ht. | 6' |
| 0 | KCT | Gymnocladus dioica (Male Only) | Kentucky Coffee Tree | 2 1/2' Cal. | 12' |
| 0 | PSG | Ginkgo biloba 'Princeton Sentry' | Princeton Sentry Ginkgo | 2 1/2' Cal. | 12' |
| 0 | RIC | Malus 'Red Jewel' | Red Jewel Crabapple | 2 1/2' Cal. | 6' |
| 0 | SKH | Gleditsia triacanthos var. inermis 'Skyline' | Skyline Honeylocust | 2 1/2' Cal. | 12' |
| 0 | SWO | Quercus bicolor | Swamp White Oak | 2 1/2' Cal. | 12' |
| 0 | TCH | Crataegus crus galli var. inermis | Thornless Cockspur Hawthorn | 6' Ht. | 6' |

| FLOWERING AND EVERGREEN SHRUBS | | | | | MIN. INSTALL |
|--------------------------------|-------|--|----------------------------|--------|--------------|
| QTY. | ABRV. | BOTANICAL NAME | COMMON NAME | SIZE | HEIGHT |
| 0 | AV | Viburnum dentatum 'Nalpa Senior' | Autumn Jazz Viburnum | 5 Gal. | 36" |
| 0 | DNY | Taxus x media 'Densiformis' | Densiformis Yew | 5 Gal. | 18" |
| 0 | GLS | Rhus aromatica 'Grow-Low' | Grow-Low Sumac | 5 Gal. | 18" |
| 0 | KCJ | Juniperus x pfitzeriana 'Kallay's Compact' | Kallay's Compact Juniper | 5 Gal. | 18" |
| 0 | KOH | Dierodella 'G288848' | Kodiak Orange Honeyuckle | 3 Gal. | 36" |
| 0 | MOL | Syringa patula 'Miss Kim' | Miss Kim Lilac | 5 Gal. | 18" |
| 0 | PDR | Rosa 'Radtigkian' | Pink Double Knock Out Rose | 3 Gal. | 18" |

| PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS | | | | | MIN. INSTALL |
|---|-------|--|----------------------------------|--------|--------------|
| QTY. | ABRV. | BOTANICAL NAME | COMMON NAME | SIZE | HEIGHT |
| 0 | ATS | Heliopsis helianthoides 'Tuscan Sun' | Tuscan Sun Yellow Blackflower | 1 Gal. | 12" |
| 0 | DPD | Sporobolus heterolepis 'Tara' | Dwarf Prairie Dropseed | 1 Gal. | 12" |
| 0 | DTB | Penstemon digitalis 'Dark Towers' | Dark Towers Beardtongue | 1 Gal. | 12" |
| 0 | KFF | Calamagrostis x acutiflora 'Karl Foerster' | Karl Foerster Feather Reed Grass | 3 Gal. | 12" |
| 0 | NES | Sedum spectabile 'Neon' | Neon Sedum | 1 Gal. | 12" |
| 0 | RND | Hemerocallis 'Rosa Reburni' | Rosa Reburni Daylily | 1 Gal. | 12" |
| 0 | SOD | Hemerocallis 'Stella de Oro' | Stella de Oro Daylily | 1 Gal. | 12" |

EXISTING TREE LIST

Survey Completed 11/24/2021

| TREE# | BOTANICAL NAME | COMMON NAME | SIZE | CONDITION | PRESERVATION STATUS |
|-------|----------------------|----------------------|------|-----------|--------------------------|
| 1 | Malus species | Flowering Crabapple | 6" | Fair | Save in Place |
| 2 | Malus species | Flowering Crabapple | 6" | Fair | Remove |
| 3 | Malus species | Flowering Crabapple | 6" | Fair | Save in Place |
| 4 | Malus species | Flowering Crabapple | 6" | Fair | Save in Place |
| 5 | Picea pungens glauca | Colorado Blue Spruce | 12" | Poor | Save in Place (off site) |
| 6 | Picea pungens glauca | Colorado Blue Spruce | 12" | Poor | Save in Place (off site) |
| 7 | Picea pungens glauca | Colorado Blue Spruce | 10" | Poor | Save in Place (off site) |
| 8 | Acer negundo | Boxelder | 8" | Poor | Save in Place (off site) |
| 9 | Picea pungens glauca | Colorado Blue Spruce | 6" | Poor | Save in Place (off site) |
| 10 | Picea pungens glauca | Colorado Blue Spruce | 12" | Poor | Save in Place (off site) |
| 11 | Picea pungens glauca | Colorado Blue Spruce | 10" | Poor | Save in Place (off site) |
| 12 | Ulmus pumila | Siberian Elm | 6" | Fair-Poor | Remove |
| 13 | Acer negundo | Boxelder | 8" | Poor | Remove |
| 14 | Juglans nigra | Black Walnut | 5" | Fair-Poor | Save in Place |
| 15 | Ulmus ibetica | Siberian Elm | 10" | Poor | Save in Place (off site) |
| 16 | Ulmus ibetica | Siberian Elm | 6" | Dead | Save in Place (off site) |
| 17 | Juglans nigra | Black Walnut | 12" | Fair | Save in Place |

Know what's Below.
Call before you dig.



LANDSCAPE PLAN
DESIGNED BY
JOSEPH D. DAVITO, PLA
J. DAVITO DESIGN, INC.
(847) 469-8797



PRELIMINARY LANDSCAPE PLAN

DATE
11/22/22
20/22

REVISIONS
NEW SITE PLAN TO AVOID WETLAND
PER VILLAGE CALL ON 20/22

NO
1
2

Prepared For:
SAFA PROPERTY, LLC
8060 Lawndale
Skokie, IL
VIP - LOMBARD
855 E. Roosevelt Road
Lombard, Illinois

Prepared By:
watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

CHECKED BY: J. MILLER

DESIGN BY: K. SACK

DRAWN BY: K. SACK

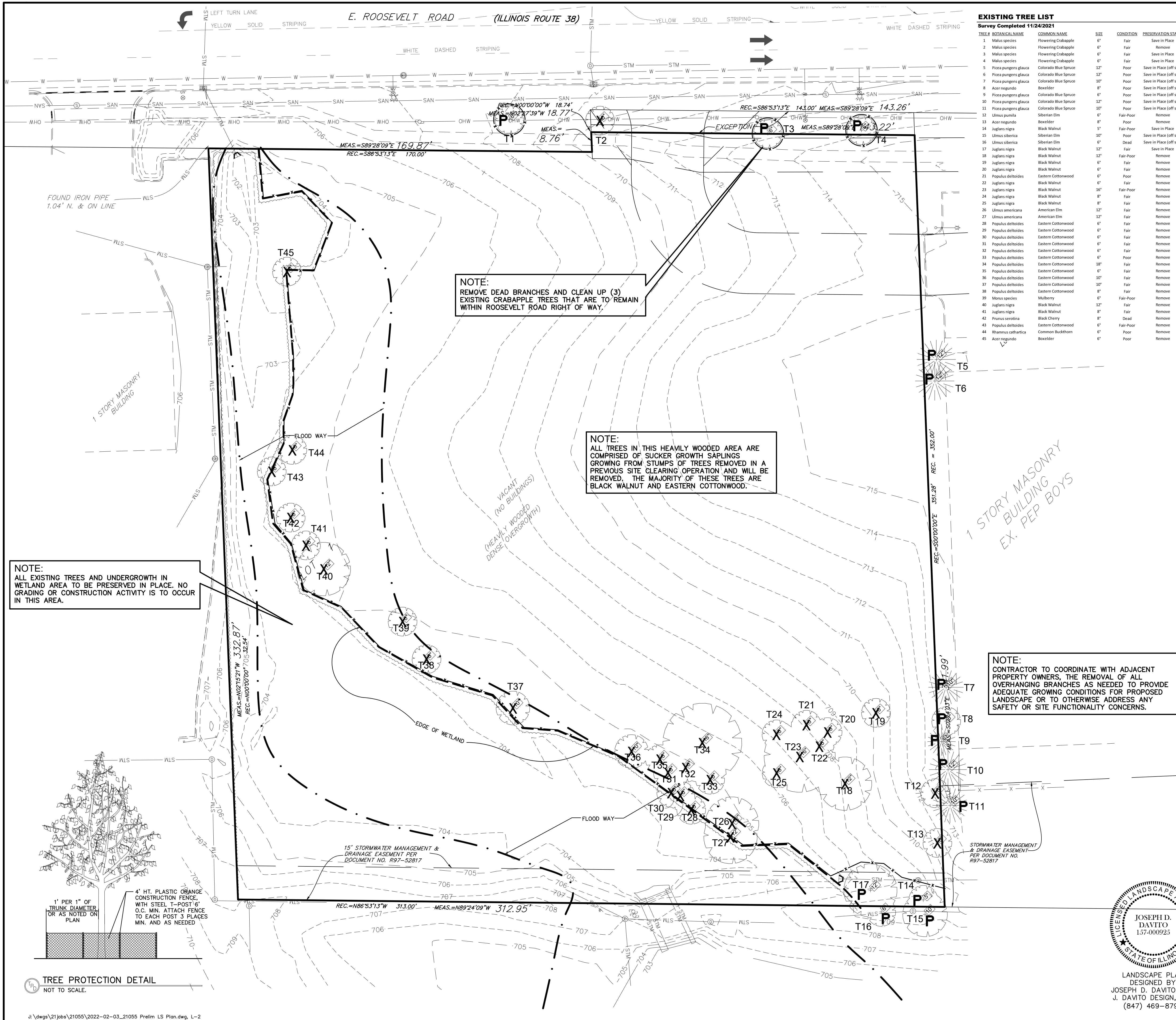
DATE: DECEMBER 3, 2021

SCALE: 1" = 20'

PROJECT NO.: 21-055

L-1

PRELIMINARY LANDSCAPE PLAN



GENERAL NOTES:
1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6262.
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

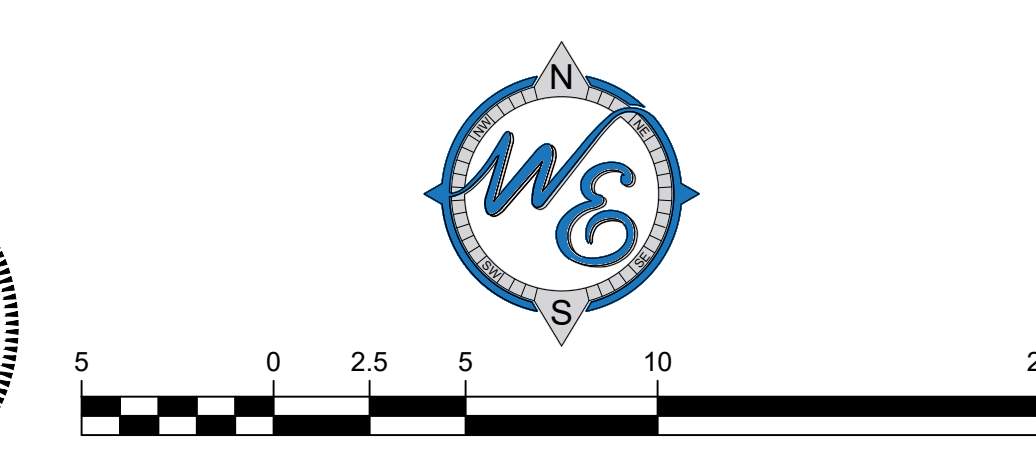
- TREE PRESERVATION NOTES:
- TREES WHICH ARE NOTED TO REMAIN AND BE PROTECTED SHALL HAVE PROTECTIVE FENCING INSTALLED PER THE DETAIL PROVIDED, PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY ON SITE. ANY DAMAGE DONE TO A PROTECTED TREE DURING CONSTRUCTION SHALL BE REPORTED TO THE LANDSCAPE DESIGNER.
 - TREES WHICH ARE NOTED TO BE REMOVED SHALL HAVE THE STUMP GROUND DOWN A MINIMUM OF 18" BELOW THE ADJACENT GRADE UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE AND AGREED TO BY THE OWNER AND LANDSCAPE DESIGNER. ALL DEBRIS FROM THE REMOVED TREE/STUMP SHALL BE HAULED OFF-SITE.
 - ALL DISTURBED AREAS SHALL BE RESTORED TO MATCH EXISTING OR PROPOSED CONDITIONS, INCLUDING BACKFILLING OF HOLES LEFT FROM LANDSCAPE MATERIAL REMOVAL. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
 - TREES WHICH ARE NOTED TO BE PRUNED SHALL BE PRUNED BY AN I.S.A. CERTIFIED ARBORIST UNLESS OTHERWISE APPROVED BY THE LANDSCAPE DESIGNER.
 - NO CONSTRUCTION ACTIVITY, AND/OR PLACEMENT OF EQUIPMENT, MATERIALS, OR SPOILS STORAGE SHALL BE PERMITTED WITHIN THE ROOT ZONE OF ANY PROTECTED TREE. NO EXCESS SOIL, ADDITIONAL FILL, CRUSHED LIMESTONE, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OR LOCATED AT A HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREES COULD POTENTIALLY AFFECT THE HEALTH OF SAID TREES.
 - IN THE EVENT THAT AN UNDERGROUND UTILITY LINE/PIPE IS PROPOSED TO BE LOCATED WITHIN FIVE FEET OF THE TRUNK OF A TREE DESIGNATED FOR PRESERVATION, THAT UTILITY LINE/PIPE SHALL (WHERE POSSIBLE) BE AUGURED TO PREVENT DAMAGE TO THE ROOT SYSTEM OF THE TREE.
 - DURING THE CONSTRUCTION PERIOD NO ATTACHMENTS, SIGNS, FENCES, WIRES, ETC. OTHER THAN APPROVED FOR BRACING, GUYING OR WRAPPING, SHALL BE ATTACHED TO ANY TREE.
 - UNLESS OTHERWISE NOTED ALL EXISTING ON-SITE PLANT MATERIAL NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED.
 - TREES WHICH ARE NOTED TO REMAIN AND BE PROTECTED, AND WHOSE CANOPIES/ROOT SYSTEMS FALL WITHIN AN AREA OF DEMOLITION/CONSTRUCTION, SHALL HAVE ALL ROOTS EXPOSED BY HAND AND CLEANLY PRUNED, USING I.S.A. APPROVED METHODS.
 - ALL EXISTING TREE LOCATIONS SHOWN ON THIS PLAN WERE TRANSPPOSED FROM ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY PREPARED BY GENTILE AND ASSOCIATES, INC. DATED AUGUST 16, 2021. SPECIFIC TREE INFORMATION CONTAINED IN THE EXISTING TREE LIST WAS BASED ON SITE SURVEY PERFORMED ON NOVEMBER 24, 2021.

TREE PRESERVATION AND REMOVALS KEY

X = REMOVE EXISTING TREE INCLUDING STUMP AND STUMP GRINDINGS/REMOVE BRUSH.

P = EXISTING TREE TO BE PROTECTED

[] = TREE PROTECTION FENCE



TREE SURVEY & PRESERVATION PLAN

DATE
11/22/22
20/22

REVISIONS
NEW SITE PLAN TO AVOID WETLAND
PER VILLAGE CALL ON 20122

NO
1
2

Prepared For:
SAFA PROPERTY, LLC
8060 Lawndale
Skokie, IL
VIP - LOMBARD
855 E. Roosevelt Road
Lombard, Illinois

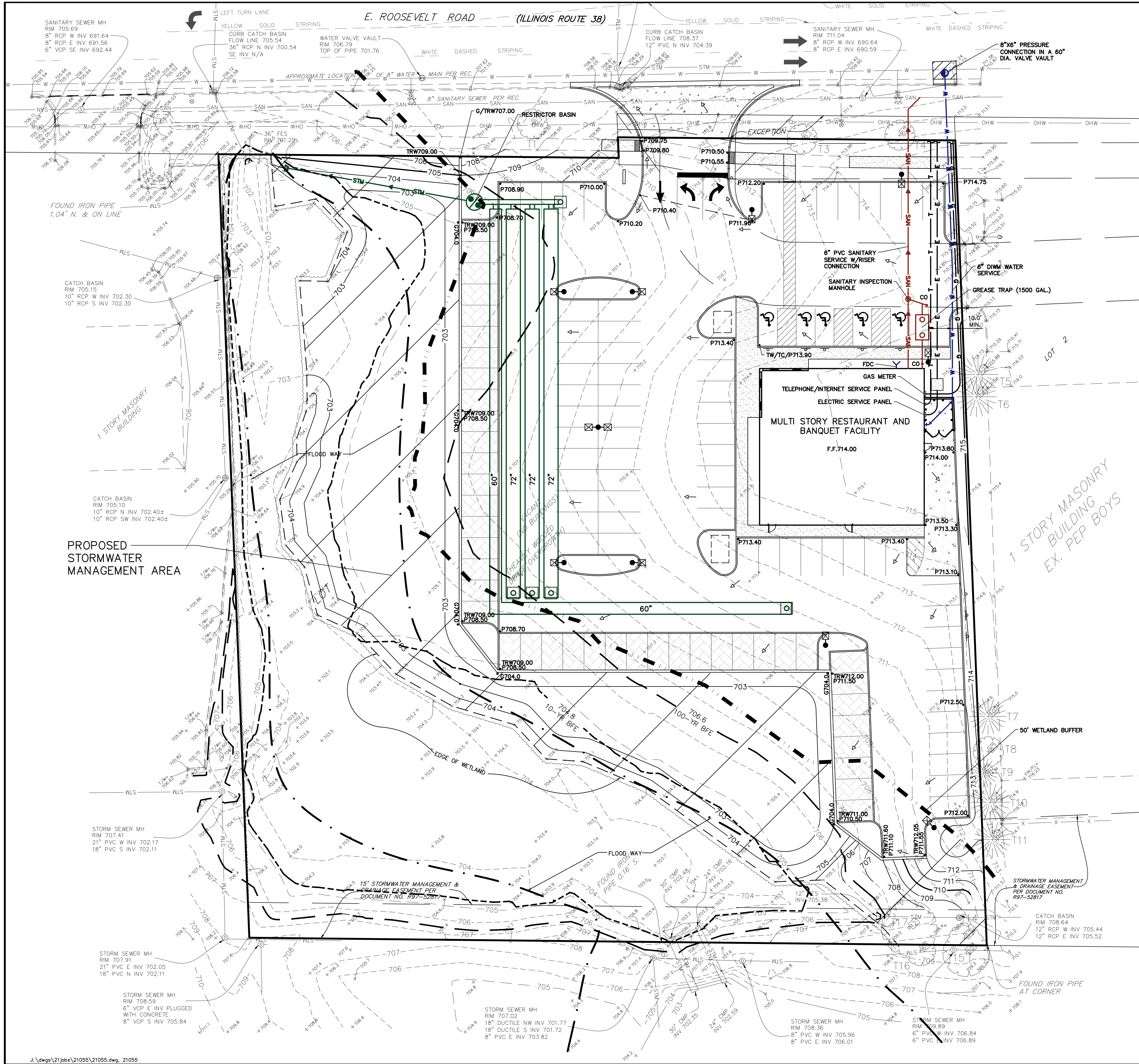
Prepared By:
mark
Engineering
RESOURCES

CHECKED BY: J. MILLER
DESIGN BY: K. SACK
DRAWN BY: K. SACK
DATE: DECEMBER 3, 2021
SCALE: 1" = 20'
PROJECT NO.: 21-055

L-2

watermark-engineering.com | 2631 Ginger Woods Pkwy | Aurora, IL 60502 | (630) 375-1800

TREE SURVEY & PRESERVATION PLAN



GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6262
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

REFERENCE BENCHMARK
DUPAGE COUNTY BENCHMARK #YK09002 (NAVD 88 DATUM) STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE ILLINOIS PRAIRIE PATH AND CENTRAL BOULEVARD. STATION IS 21.5 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE ILLINOIS PRAIRIE PATH, AND 146.0 FT NORTH OF PARK AVENUE. MONUMENT IS 0.85 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.

ELEVATION = 709.33

SITE BENCHMARK
TAG BOLT ONE FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38), THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.

ELEVATION = 708.75

STORMWATER MANAGEMENT DATA

WETLAND
-NO IMPACT

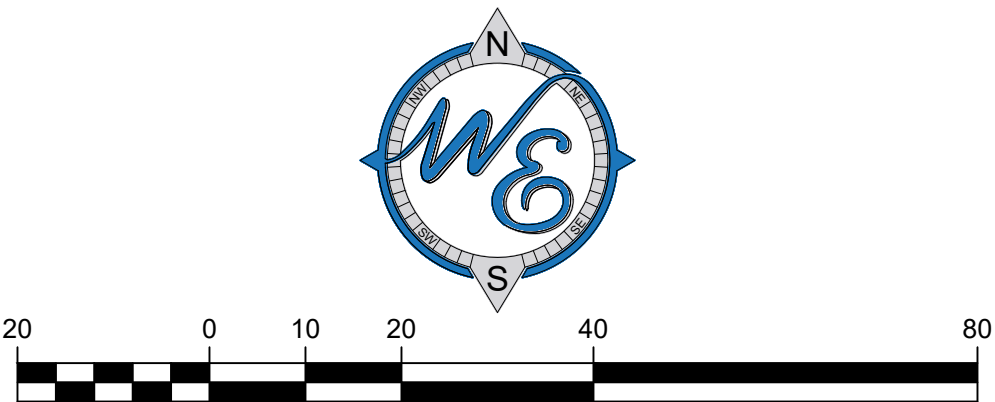
WETLAND BUFFER
-50' REQUIRED, 19' TO 85' PROPOSED
-25,321 sf @ 50', 25,365 sf @ PROPOSED

FLOODWAY
-NO IMPACT

FLOODPLAIN
-100 yr BFE = 706.6
-10 yr BFE = 704.8
-0-10 YR FILL = 0 cy
-0-10 YR CUT/COMP. STORAGE REQ. = 0 cy
-10-100 YR FILL = 93 cy
-10-100 YR CUT/COMP. STORAGE REQ. = 140 cy
-10-100 YR CUT/COMP. STORAGE PROP. = 339 cy > 140 cy

NEW RUNOFF STORAGE
-REQUIRED STORAGE PER UNIT AREA DETENTION VOLUMES NIPC STUDY
-DRAINAGE AREA = 1.21 AC
-IMPERVIOUS AREA = 0.94 AC
-UNIT DETENTION REQ. = 0.47 ac-ft/ac
-REQUIRED STORAGE = 0.57 ac-ft (24,773 cf)
-STORAGE PROPOSED = 0.59 ac-ft (25,857 cf)
-0.59 ac-ft > 0.57 ac-ft OK
-THE PROPOSED STORAGE IS PROVIDED IN OVERSIZED PIPE (19,767 cf) AND THE VOIDS IN THE STONE AROUND THE PIPE (6,089 cf USING A POROSITY OF 0.30)

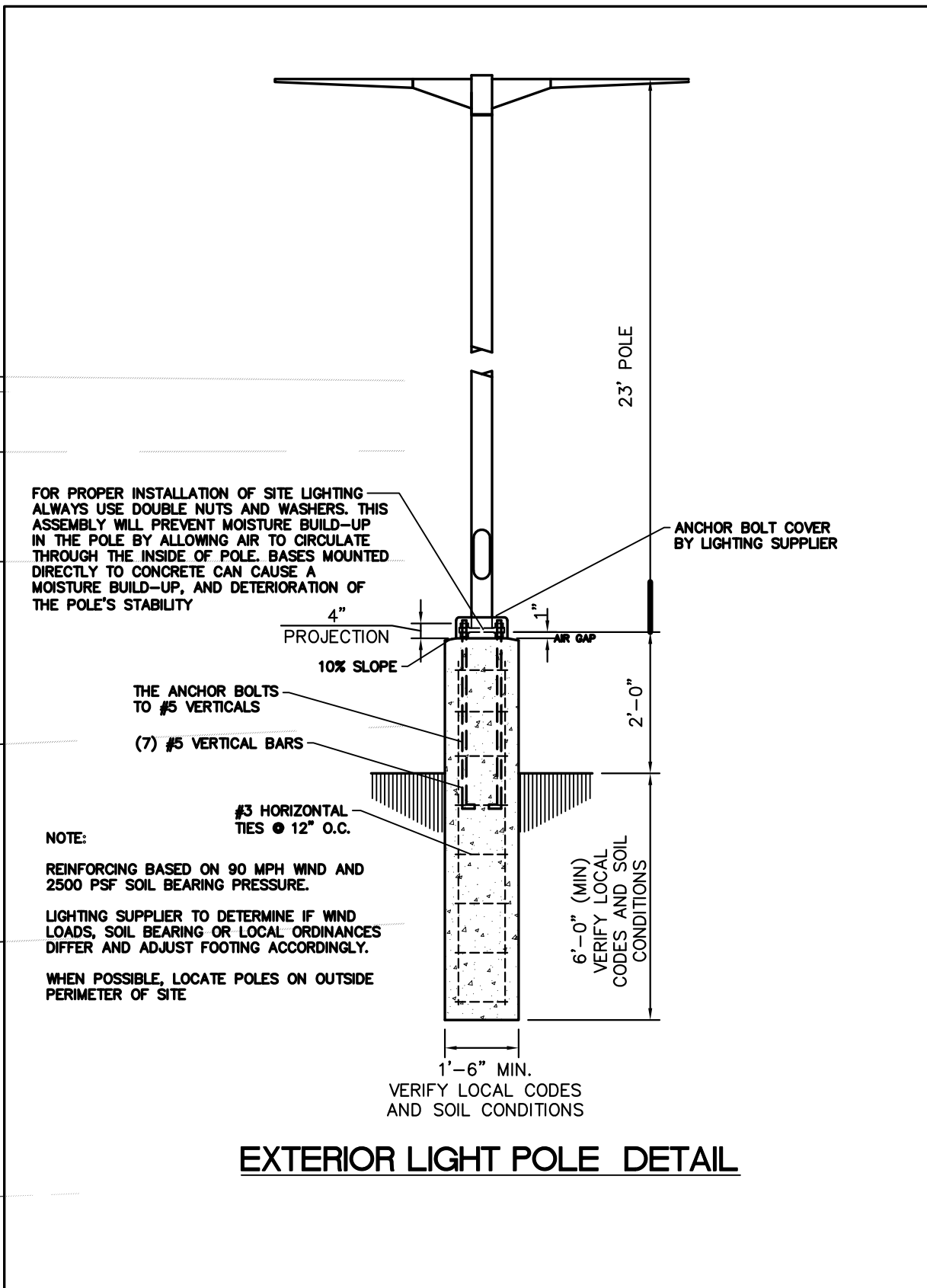
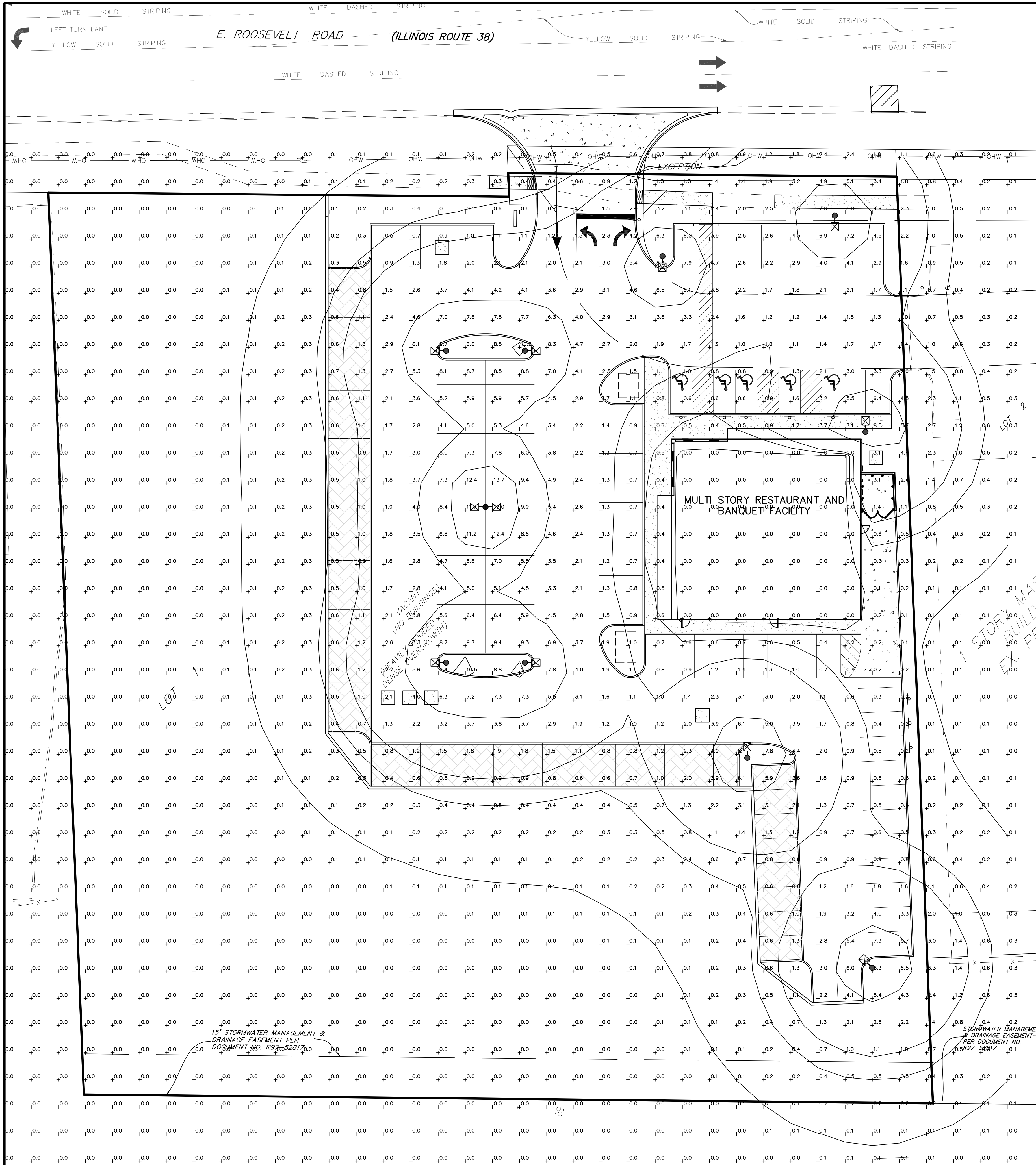
WATER QUALITY-PCBMP'S
-THE PERMEABLE PAVERS AND STONE BELOW THE PAVERS WILL PROVIDE THE REQUIRED MITIGATION OF THE NEW IMPERVIOUS AREAS.
-IMPERVIOUS AREA = 0.94 ac
-FIRST FLUSH RUNOFF = 0.94 ac*43,560*1.25"/12 = 4,266 cf
-AREA OF PAVERS = 5,868 sf
-DEPTH OF STONE UNDER PAVERS = 30"
-VOLUME PROPOSED = 5,281 cf > 4,266 cf OK
-WATER TABLE ELEV = 695±
-LOWEST BMP ELEV = 701.5±



**PRELIMINARY
ENGINEERING PLAN**

| | | |
|--|--------------------------------|----------------------------|
| DATE | 11/22/22 | 20/3/22 |
| REVISIONS | NEW SITE PLAN TO AVOID WETLAND | PER VALLEY CALL ON 20/1/22 |
| NO | 1 | 2 |
| Prepared For: | | |
| SAFA PROPERTY, LLC 8060 Lawndale Skokie, IL | | |
| VIP - LOMBARD 855 E. Roosevelt Road Lombard, Illinois | | |
| Prepared By: | | |
| watermark-engineering.com 2631 Ginger Woods Pkwy Aurora, IL 60502 (630) 375-1800 | | |
| CHECKED BY: J. MILLER | DESIGN BY: K. SACK | DRAWN BY: K. SACK |
| DATE: DECEMBER 20, 2021 | SCALE: 1" = 20' | PROJECT NO.: 21-095 |
| 1 of 1 | | |

PRELIMINARY ENGINEERING PLAN



R2T Series Pole Luminaire

Product Enlightenment

R2T Series Pole Luminaire was developed to meet the highest performance, longest life, lowest cost, and best efficiency. These luminaires can be installed for new construction and existing building retrofits. Our slimline series R2T Series Pole Luminaire comes in two different housing colors and textures. These luminaires are well suited for new lighting parking lot and residential street.

Product Attributes

| |
|---|
| Initial Lumen Output: 6,000 to 12,000 lumens |
| Input Power: 67, 90, 125 and 150 Watts |
| CEC 94 |
| CCR: 8000h, 5000h, 2500h |
| Input Voltage: 120-277 VAC |
| Power Factor: > 99 |
| Control: 0-10V dimming (0-10V dimming optional) |
| Patented Design |
| Warranty: 5 years limited |

Part Number Matrix

| Product Family | Watts | Lens | Lens Type | Material | Color | Trim Color | Dimming | Output | Product Type |
|----------------|-------|------|-----------|---------------|---------|------------|----------|----------|--------------|
| R2T | 67W | 0.8m | Clear | Polycarbonate | 0-4000K | W/White | W/Non | 10 TO 24 | P-Pole |
| | 90W | 1.1m | Frosted | 0-4000K | W/White | W/Non | 10 TO 24 | | |
| | 125W | 1.5m | 0-4000K | W/White | W/Non | 10 TO 24 | | | |

Luminaire Replacement*

| Watts | Lumens | Beam Angle | Mounting Height |
|-------|--------|------------|-----------------|
| 67 | 6000 | 120° | 12' to 14' |
| 90 | 11300 | 220° | 16' to 24' |
| 125 | 15500 | 220° | 16' to 24' |
| 150 | 18000 | 420° | 16' to 24' |

SSA SQUARE STRAIGHT ALUMINUM

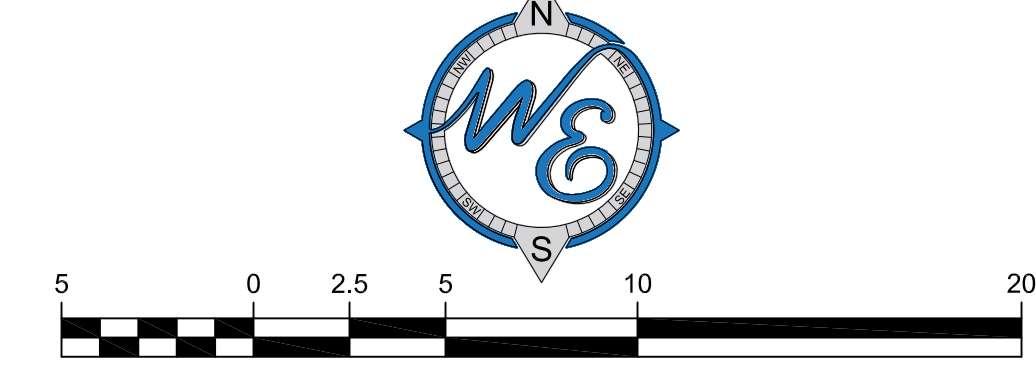
GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6262
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
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5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

| QUANTITIES | | |
|---|--------|----------|
| FIXTURE TYPE: | SYMBOL | QUANTITY |
| RT2125 (FIXTURE COLOR, LENS TYPE, ETC TO BE SELECTED BY OWNER) | | 11 |
| POLE TYPE: | SYMBOL | QUANTITY |
| SSA 23 5G (POLE COLOR, MOUNTING, ETC TO BE SELECTED BY OWNER. FIXTURE SUPPLIER TO DETERMINE IF POLE IS COMPATIBLE WITH FIXTURE) | | 10 |

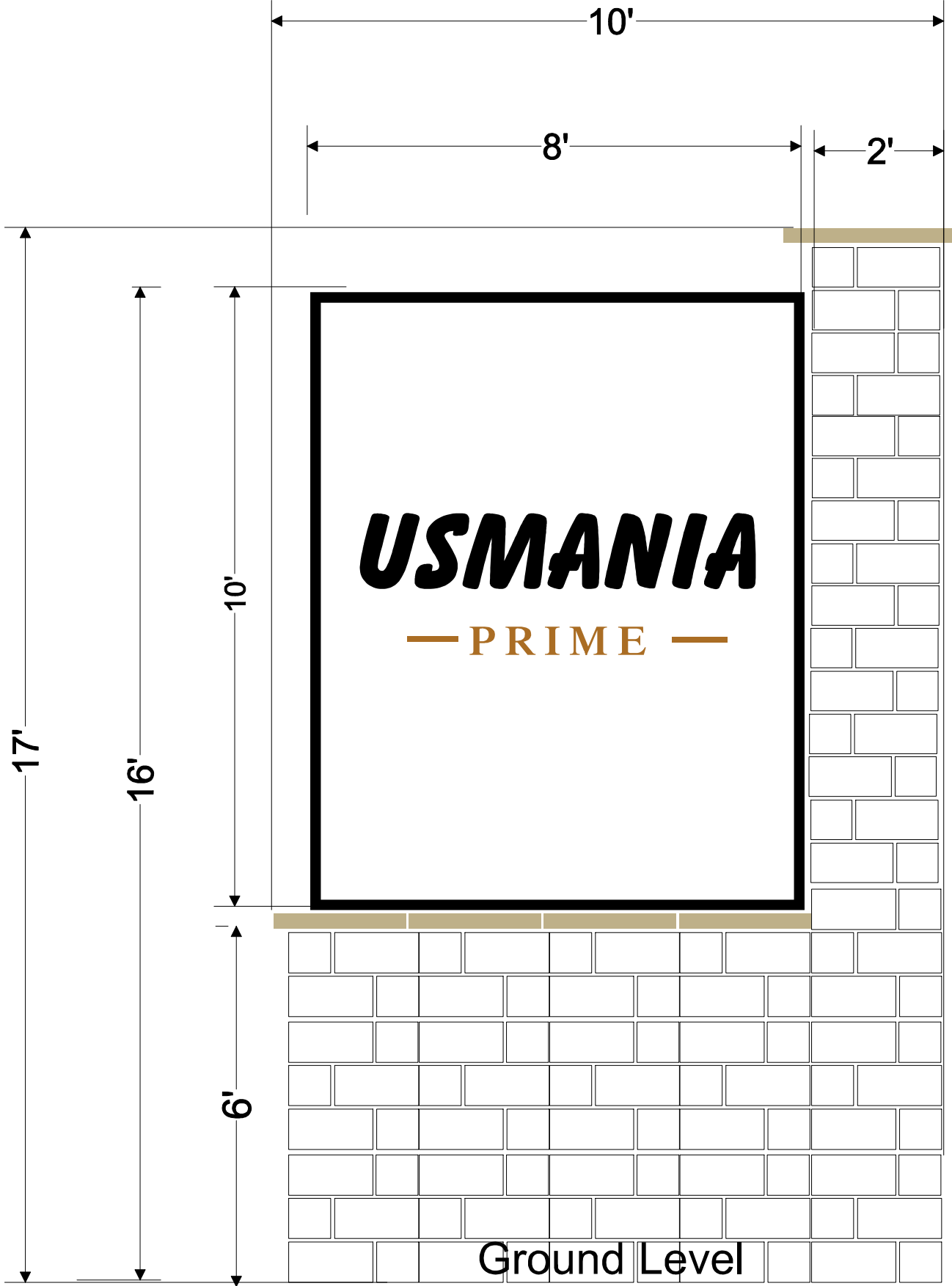
| PHOTOMETRIC SUMMARY | | |
|---------------------|--------|--|
| VEHICULAR USE AREA: | | |
| AVERAGE | 3.0 | |
| MAXIMUM | 13.7 | |
| MINIMUM | 0.2 | |
| AVG/MIN | 15.0:1 | |

- NOTES:**
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE, LOCATED ON THIS SHEET. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMARK ENGINEERING RESOURCES, LTD.
 2. MOUNTING HEIGHT OF FIXTURES = 25'. MOUNTING HEIGHT INCLUDES A 2' HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 23' HIGH POLE.
 3. DISTANCE BETWEEN READINGS 10'
 4. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 1.00
 5. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
 6. HOUSE SIDE SHIELDS ARE NOT ALWAYS ABLE TO BE MODELED DUE TO THE UNAVAILABLE INFORMATION TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATIONS.
 7. CONTRACTOR TO VERIFY PROPER ORIENTATION INFORMATION INCLUDING BUT NOT LIMITED TO, VOLTAGE AND MOUNTING, PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRES AND/OR POLES. ALL LIGHT FIXTURES TO BE FULL CUT OFF.
 8. LOCATING WALL PACKS AS NOTED, CONTRACTOR SHALL FIELD ADJUST MOUNTING ON BUILDING TO DETERMINE A UNIFORM HEIGHT AND SPACING. WALL PACKS SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATIONS.
 9. ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
 10. CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL SOURCES, CONDUIT, SLEEVES, CONCRETE FOUNDATIONS, POLES, LUMINAIRES, AND ALL NECESSARY PARTS FOR PROPER LIGHTING INSTALLATIONS. ALL PROPOSED LIGHTING WORK SHALL NOT INTERFERE OR INTERRUPT EMERGENCY INGRESS AND EGRESS LIGHTING FIXTURES OR SECURITY SYSTEMS.
 11. PROPOSED LIGHTING SHALL INCLUDE PHOTOCELL ON/OFF SWITCHING. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL OR WIRELESS ON/OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
 12. THIS PLAN IS FOR LIGHTING PERFORMANCE. ALL MEANS, METHODS, AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR DISCRETION. ALL INSTALLATIONS SHALL BE COMPLETE AND FINISHED. ANY GAPS OR EXPOSED MOUNTINGS WILL BE REJECTED.
 13. ALL PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND HIDDEN SO AS NOT TO BE SEEN OR VISUALLY NOTICEABLE. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 14. ALL PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL. COLORS AND TYPES OF PAINT SHALL MATCH ACCORDINGLY TO ADJACENT COLORS AND MATERIALS. VERIFY AND COORDINATE WITH OWNER'S REPRESENTATIVE. ALL WORK.
 15. ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXPENSE TO THE OWNER.
 16. WHETHER NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOMETRIC PLAN INSTALLATION AND CONSTRUCTION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED.
 17. CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE WIRING AS NEEDED FOR PROPER INSTALLATION, IF NEEDED, CONTRACTOR SHALL CONSULT AN ELECTRICAL ENGINEER.
 18. CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
 19. CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDS. SHOP DRAWINGS OR MACH UP'S MAYBE NECESSARY FOR APPROVALS PRIOR TO INSTALLATIONS. VERIFY AS NEEDED.
 20. ANY FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND FINISHES TO PROTECT BUILDING FROM ANY STAINING.



PHOTOMETRIC PLAN

| | | | | | |
|--|--------------------|-------------------|------------------------|-----------------|---------------------|
| CHECKED BY: J. MILLER | DESIGN BY: K. SACK | DRAWN BY: K. SACK | DATE: JANUARY 14, 2022 | SCALE: 1" = 20' | PROJECT NO.: 21-055 |
| SAFA PROPERTY, LLC 8060 Lawndale Skokie, IL | | | | | |
| VIP - LOMBARD 855 E. Roosevelt Road Lombard, Illinois | | | | | |
| watermark-engineering.com 2031 Ginger Woods Pkwy Aurora, IL 60012 (630) 375-1000 | | | | | |
| 1 of 1 | | | | | |



CUSTOMER: USMANIA Prime
LOCATION: 849E. Roosevelt Rd
Lombard. IL 60148
Design By: CN
Date: 02/03/2022

1-773-303-0161
5026 N. Broadway, Chicago, IL 60640

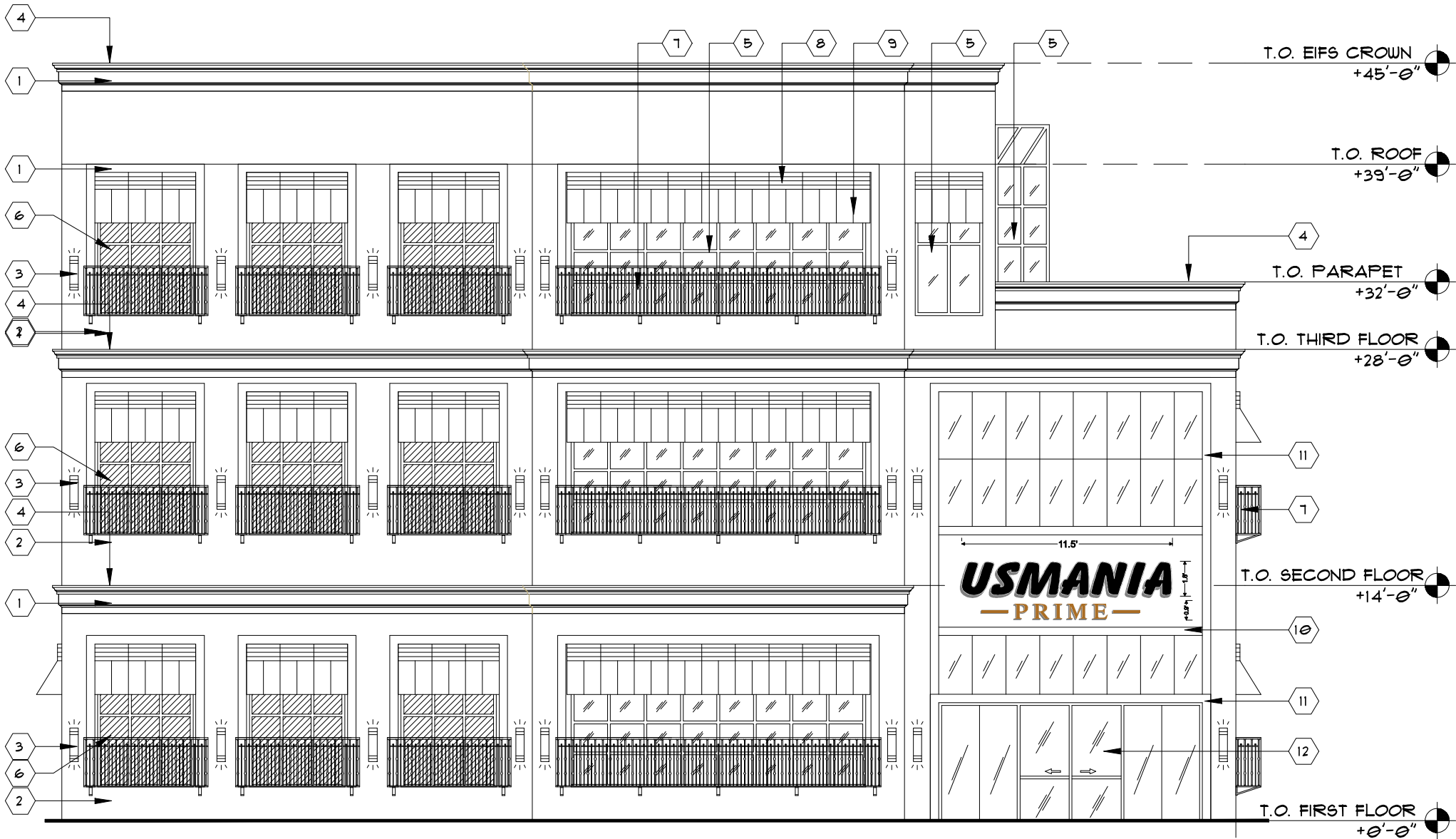
Special Note: **80sqft**

Landlord approval signature _____ Date ____/____/2022

Customer approval signature _____ Date ____/____/2022

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Signs
& Graphics Inc.

Whole Sale & Retail Interior / Exterior Signage

1-773-303-0161
5026 N. Broadway, Chicago, IL 60640

CUSTOMER: USMANIA Prime
LOCATION: 849E. Roosevelt Rd
Lombard. IL 60148

Design By: CN
Date: 01/19/2022

Customer approval signature

/ / 2022
Date

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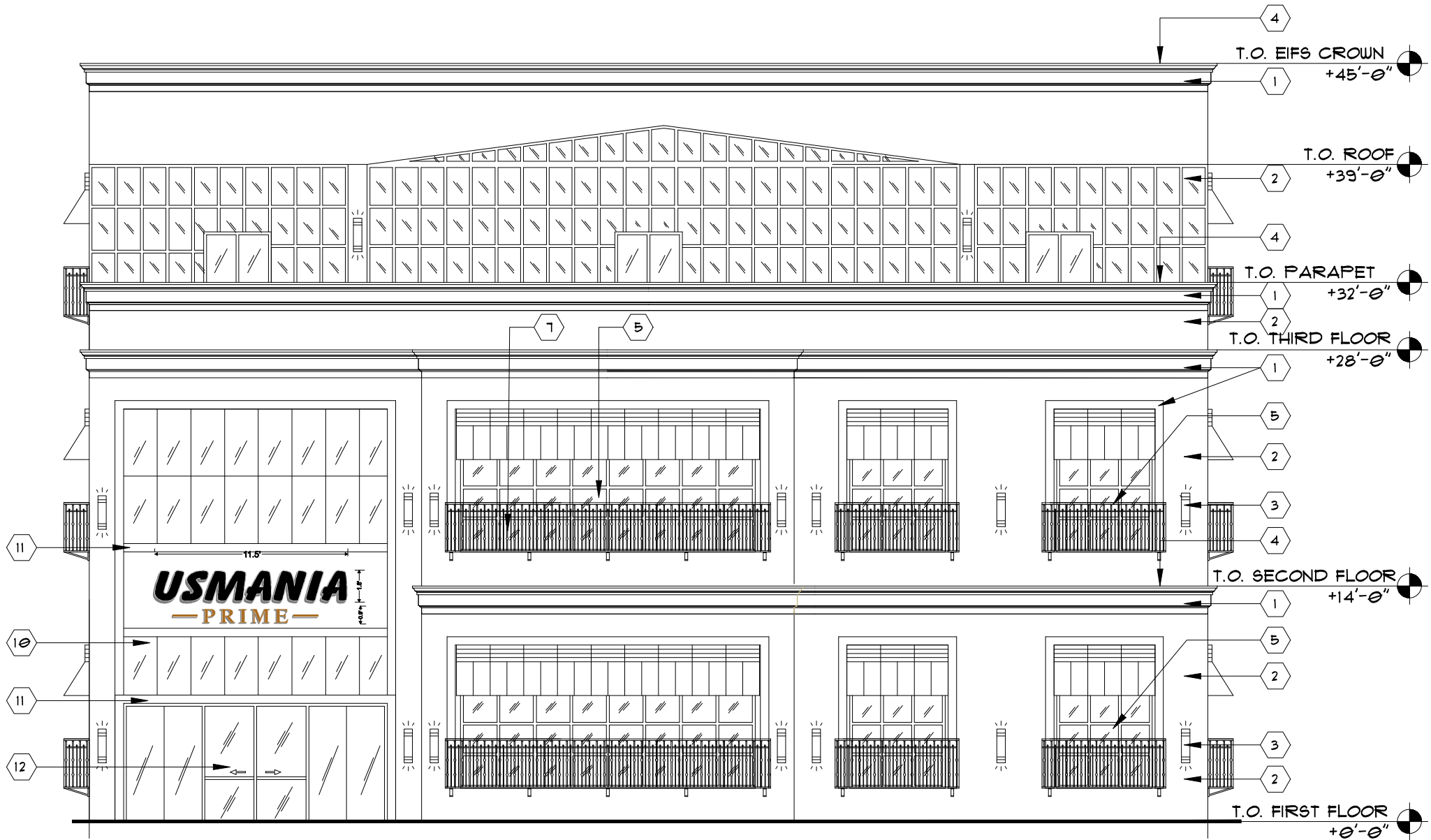
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Special Note:

Facing IL 38 sign 40 sqft

Landlord approval signature

/ / 2022
Date



Signs
& Graphics Inc.
Whole Sale & Retail Interior / Exterior Signage

1-773-303-0161
5026 N. Broadway, Chicago, IL 60640

CUSTOMER: USMANIA Prime
LOCATION: 849E. Roosevelt Rd
Lombard. IL 60148

Design By: CN
Date: 01/19/2022

Customer approval signature

Date

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Special Note:

Facing parking lot sign 40 sqft

Landlord approval signature

Date

NEIGHBOR EXST. PEP BOYS

E ROOSEVELT RD

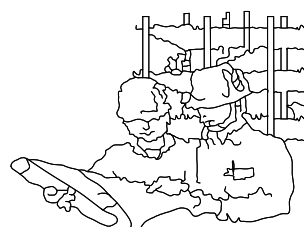
PARKING

PARKING

2 PROPOSED CELLAR PLAN
SCALE: 1/4"=1'-0"



ADC ALL DESIGN & CONSTRUCTION, LLC
MAQBOOL1300@YAHOO.COM
2104 WEST PETERSON AVENUE, CHICAGO, IL 60659
CELL: 773 291 1938



LOCATION:
E ROOSEVELT RD,
LOMBARD, IL

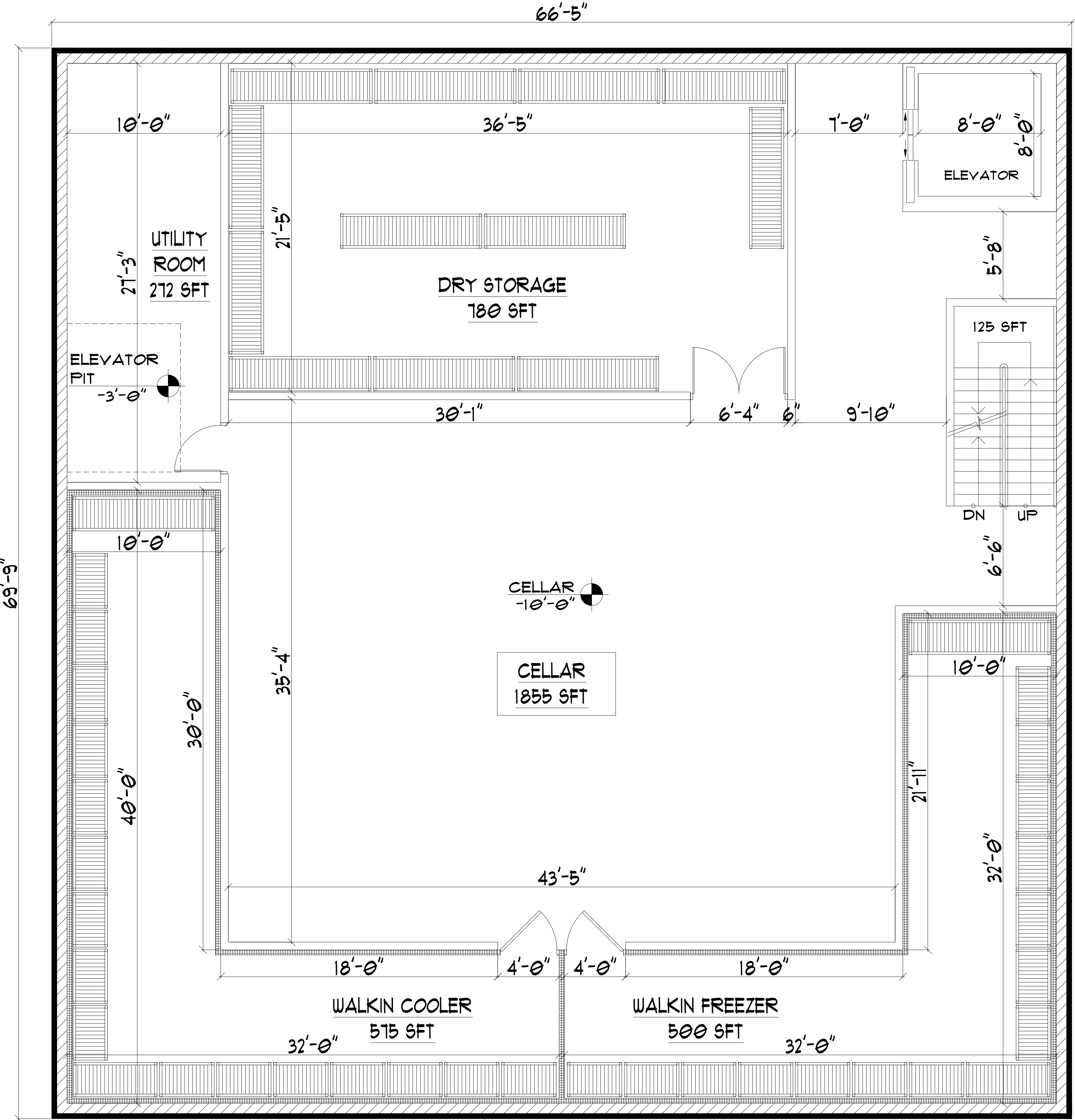
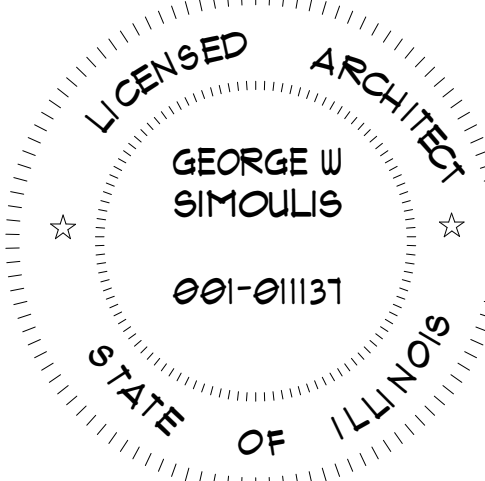
SHEET TITLE
PROPOSED CELLAR PLAN

| | | |
|-----------|--------------------|------------|
| DRAWN BY: | DRAWINGS | DATE: |
| MNU | REVISIONS PER TEAM | 01/20/2022 |
| | | |
| | | |
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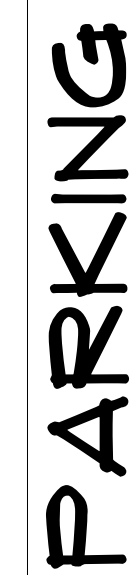
ARCHITECT
GEORGE SIMOULIS

SCALE:
1/4"=1'-0"

DRG.NO. A-2



E ROOSEVELT RD



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

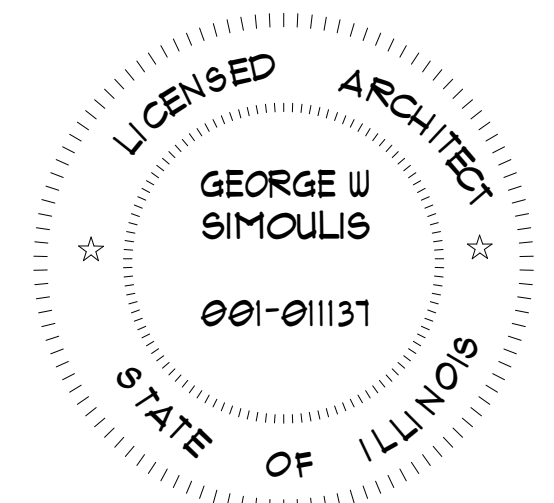
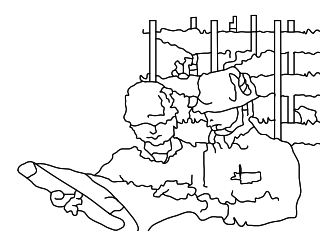
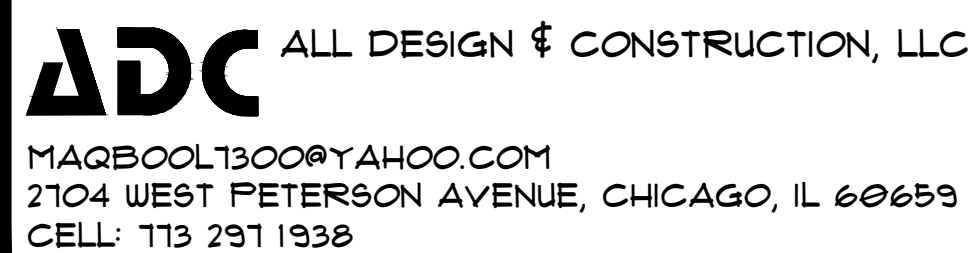


SHEET TITLE
PROPOSED FIRST FLOOR PLAN

ARCHITECT
GEORGE SIMOULIS

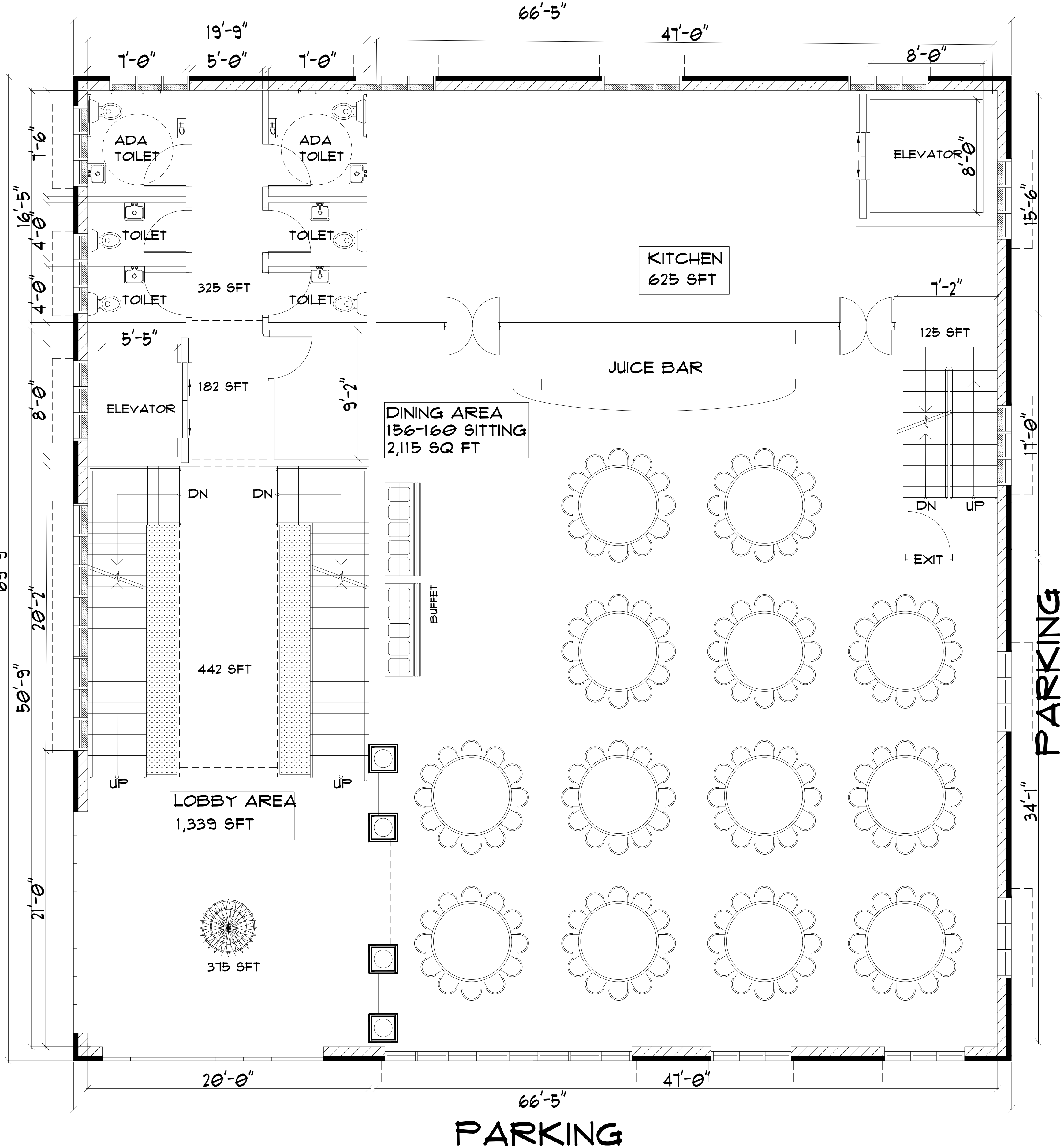
SCALE:
 $1/4" = 1' - 0"$

DRG. NO. **A-3**

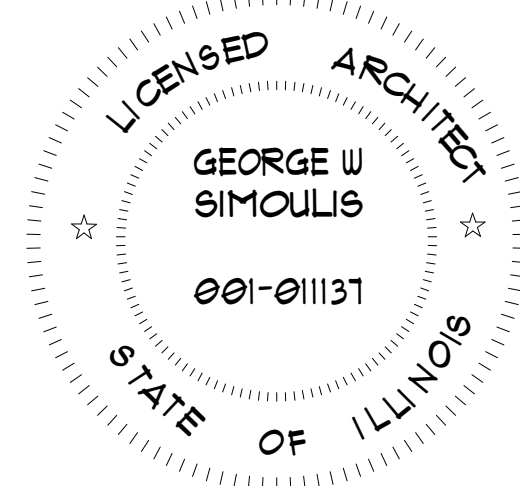


NEIGHBOR EXST. PEP BOYS

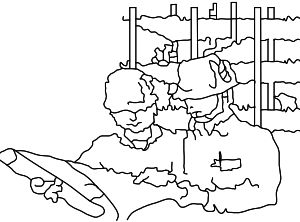
E ROOSEVELT RD



4 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



ADC ALL DESIGN & CONSTRUCTION, LLC
MAQBOOL1300@YAHOO.COM
2104 WEST PETERSON AVENUE, CHICAGO, IL 60659
CELL: 773 291 1938



LOCATION:
E ROOSEVELT RD,
LOMBARD, IL

SHEET TITLE
PROPOSED SECOND FLOOR PLAN

| | | |
|-----------|--------------------|------------|
| DRAWN BY: | DRAWINGS | DATE: |
| MMU | REVISIONS PER TEAM | 01/20/2022 |
| | | |
| | | |
| | | |

ARCHITECT
GEORGE SIMOULIS

SCALE:
1/4"=1'-0"
DRG. NO. A-4

NEIGHBOR EXST. PEP BOYS

E ROOSEVELT RD

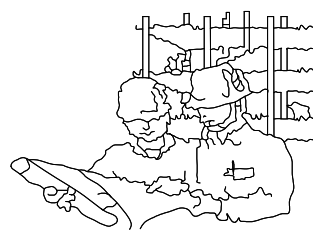
PARKING

PARKING

4 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



ADC ALL DESIGN & CONSTRUCTION, LLC
MAQBOOL1300@YAHOO.COM
2104 WEST PETERSON AVENUE, CHICAGO, IL 60659
CELL: 773 291 1938



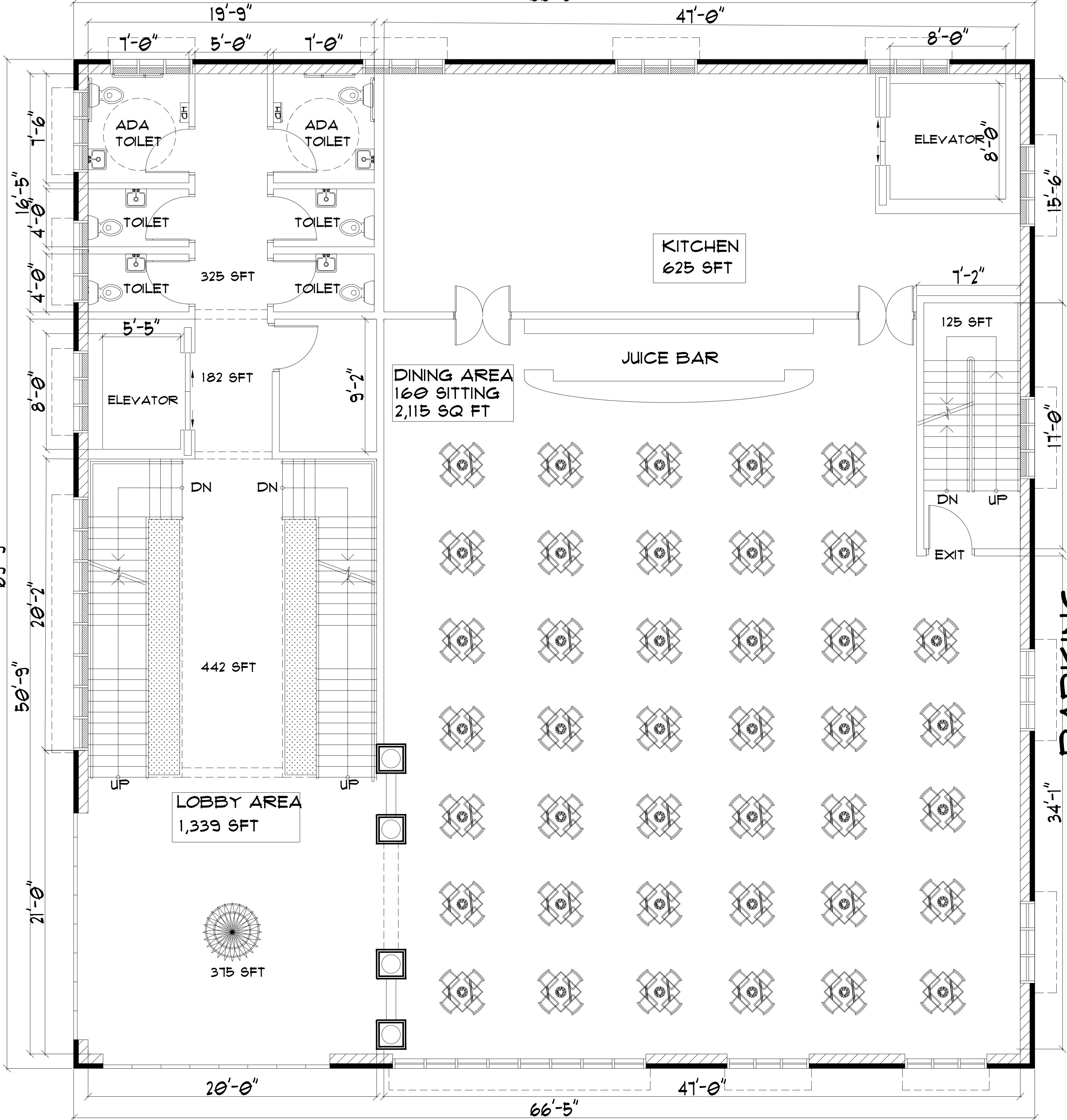
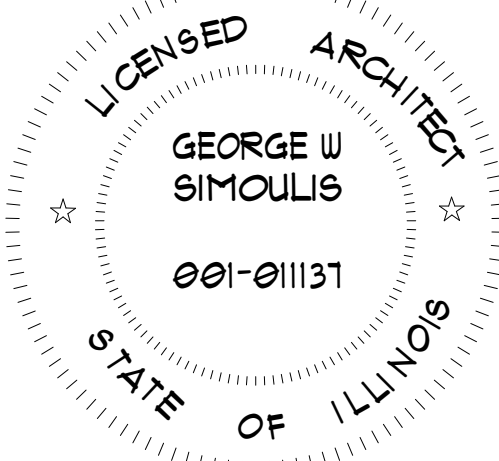
LOCATION:
E ROOSEVELT RD,
LOMBARD, IL

SHEET TITLE
PROPOSED SECOND FLOOR PLAN

| | | |
|-----------|--------------------|------------|
| DRAWN BY: | DRAWINGS | DATE: |
| MMU | REVISIONS PER TEAM | 01/20/2022 |
| | | |
| | | |
| | | |

ARCHITECT
GEORGE SIMOULIS

SCALE:
1/4"=1'-0"
DRG. NO. A-4

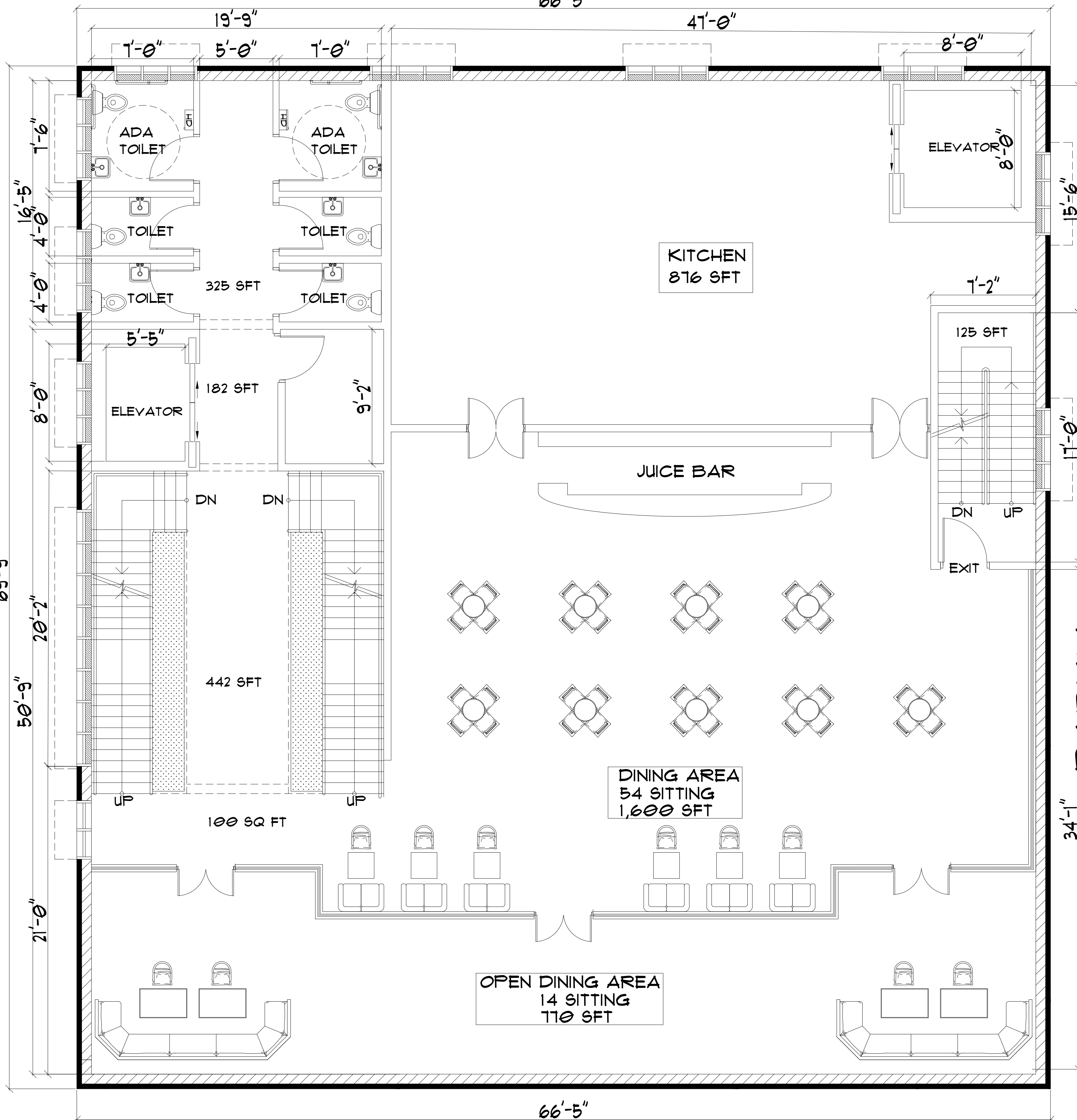


NEIGHBOR EXST. PEP BOYS

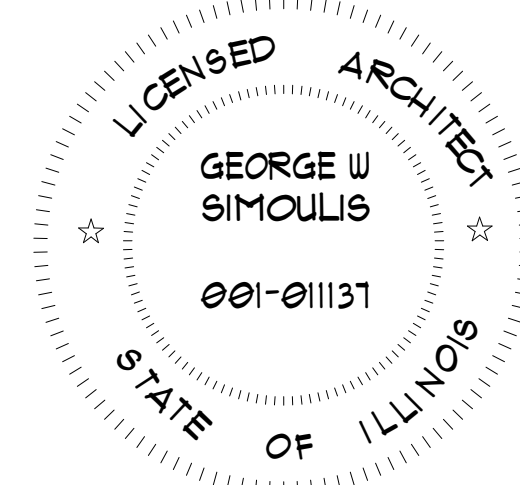
E ROOSEVELT RD

PARKING

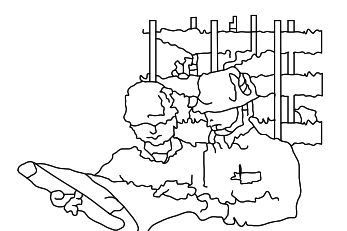
PARKING



5 PROPOSED THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"
NORTH



ADC ALL DESIGN & CONSTRUCTION, LLC
MAQBOOL1300@YAHOO.COM
2104 WEST PETERSON AVENUE, CHICAGO, IL 60659
CELL: 773 291 1938



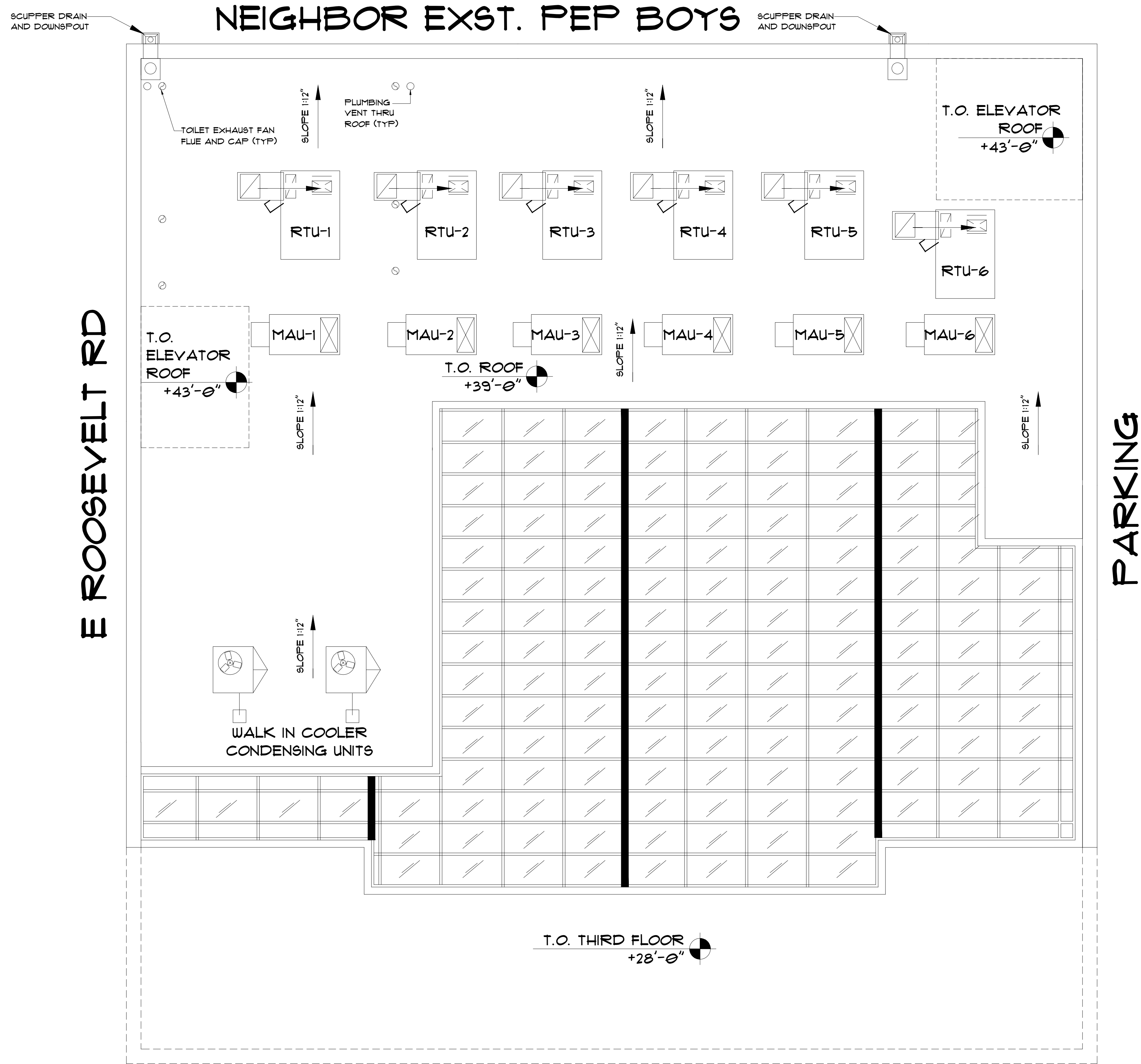
LOCATION:
E ROOSEVELT RD,
LOMBARD, IL

SHEET TITLE
PROPOSED THIRD FLOOR PLAN

| | | |
|-----------|--------------------|------------|
| DRAWN BY: | DRAWINGS | DATE: |
| MMU | REVISIONS PER TEAM | 01/20/2022 |
| | | |
| | | |
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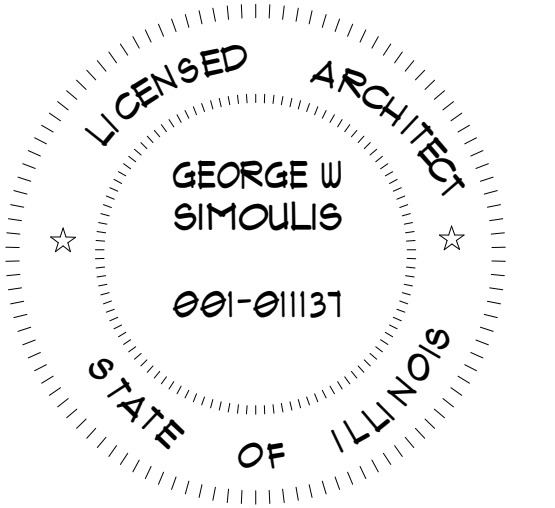
ARCHITECT
GEORGE SIMOULIS

SCALE:
1/4"=1'-0"
DRG. NO. A-5

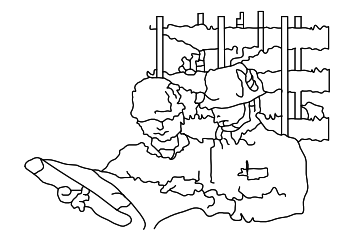


3 PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"

NORTH



ADC ALL DESIGN & CONSTRUCTION, LLC
MAQBOOL1300@YAHOO.COM
2104 WEST PETERSON AVENUE, CHICAGO, IL 60659
CELL: 773 291 1938



LOCATION:
E ROOSEVELT RD,
LOMBARD, IL

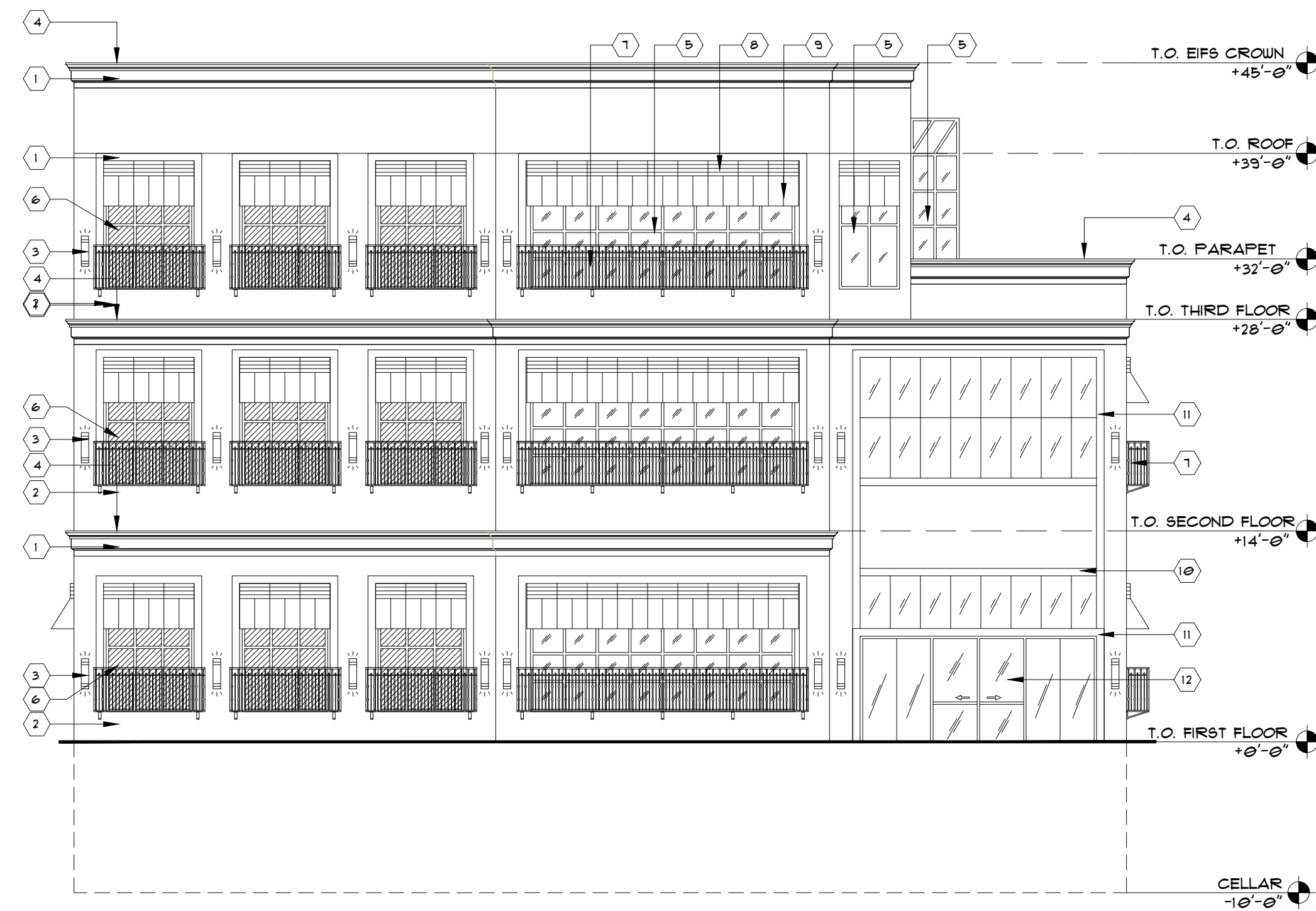
SHEET TITLE
PROPOSED ROOF PLAN

| DRAWN BY: | DRAWINGS | DATE: |
|-----------|--------------------|------------|
| MNU | REVISIONS PER TEAM | 01/20/2022 |
| | | |
| | | |
| | | |

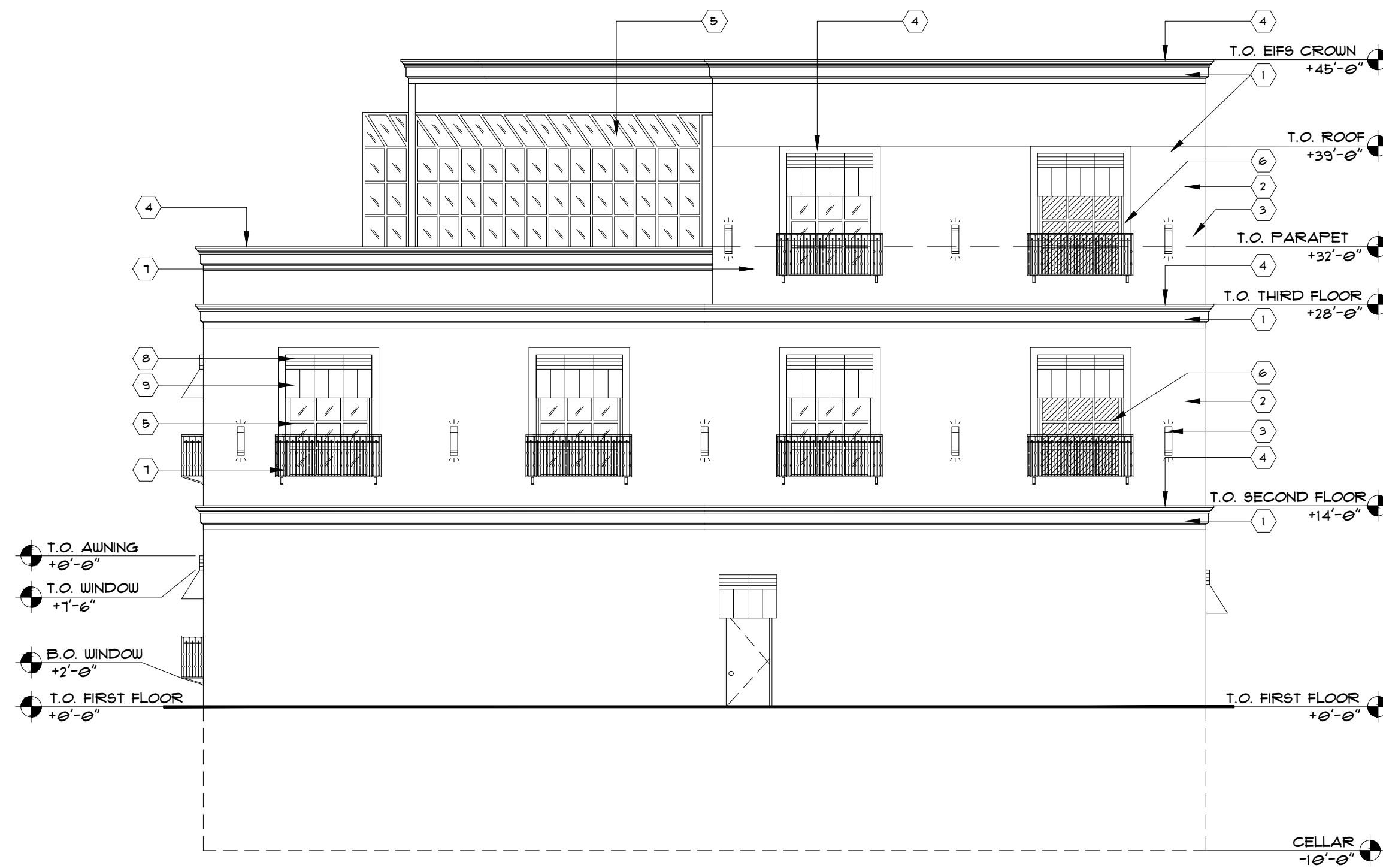
ARCHITECT
GEORGE SIMOULIS

SCALE:
SCALE: 1/4"=1'-0"

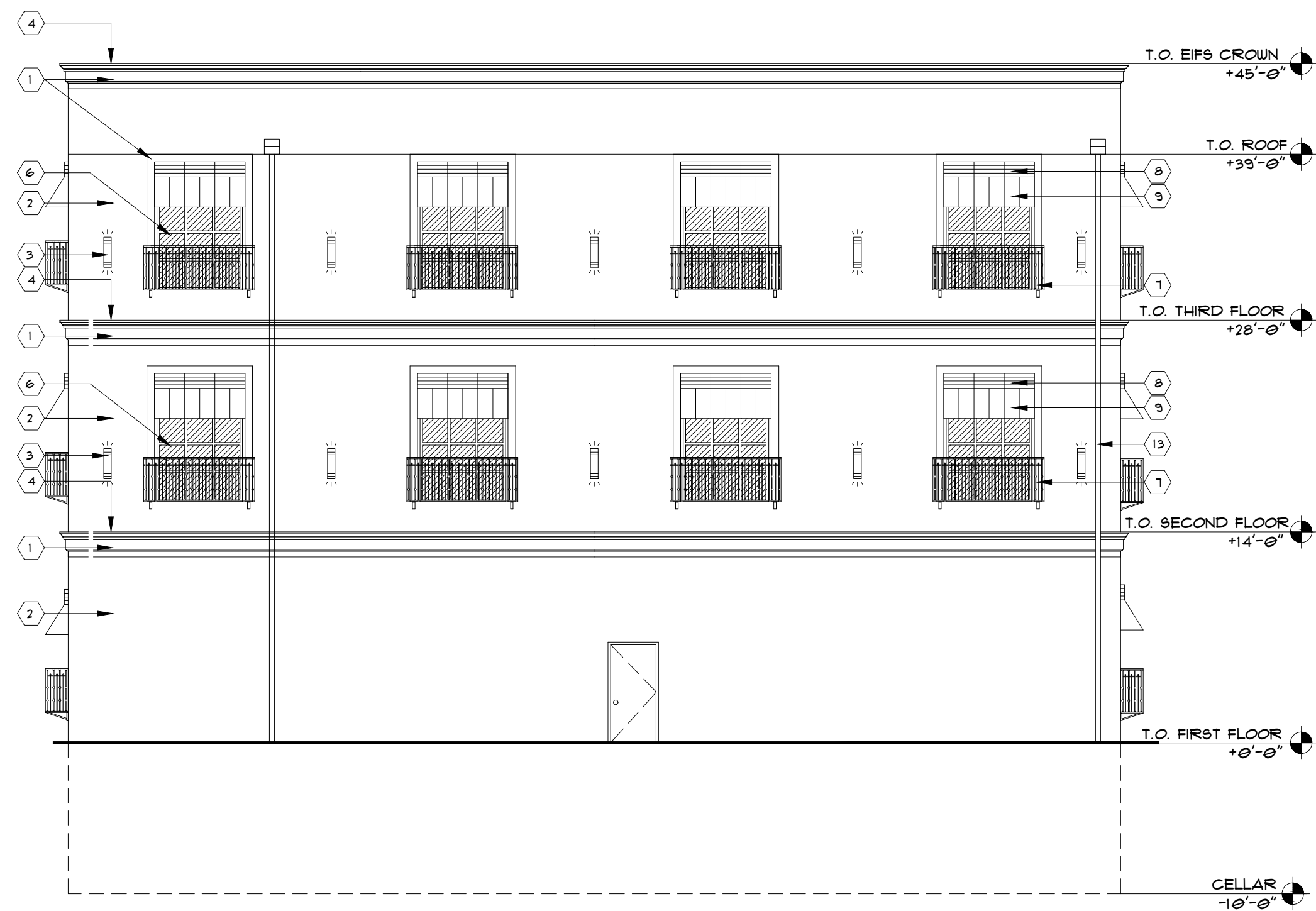
DRG. NO. **A-6**



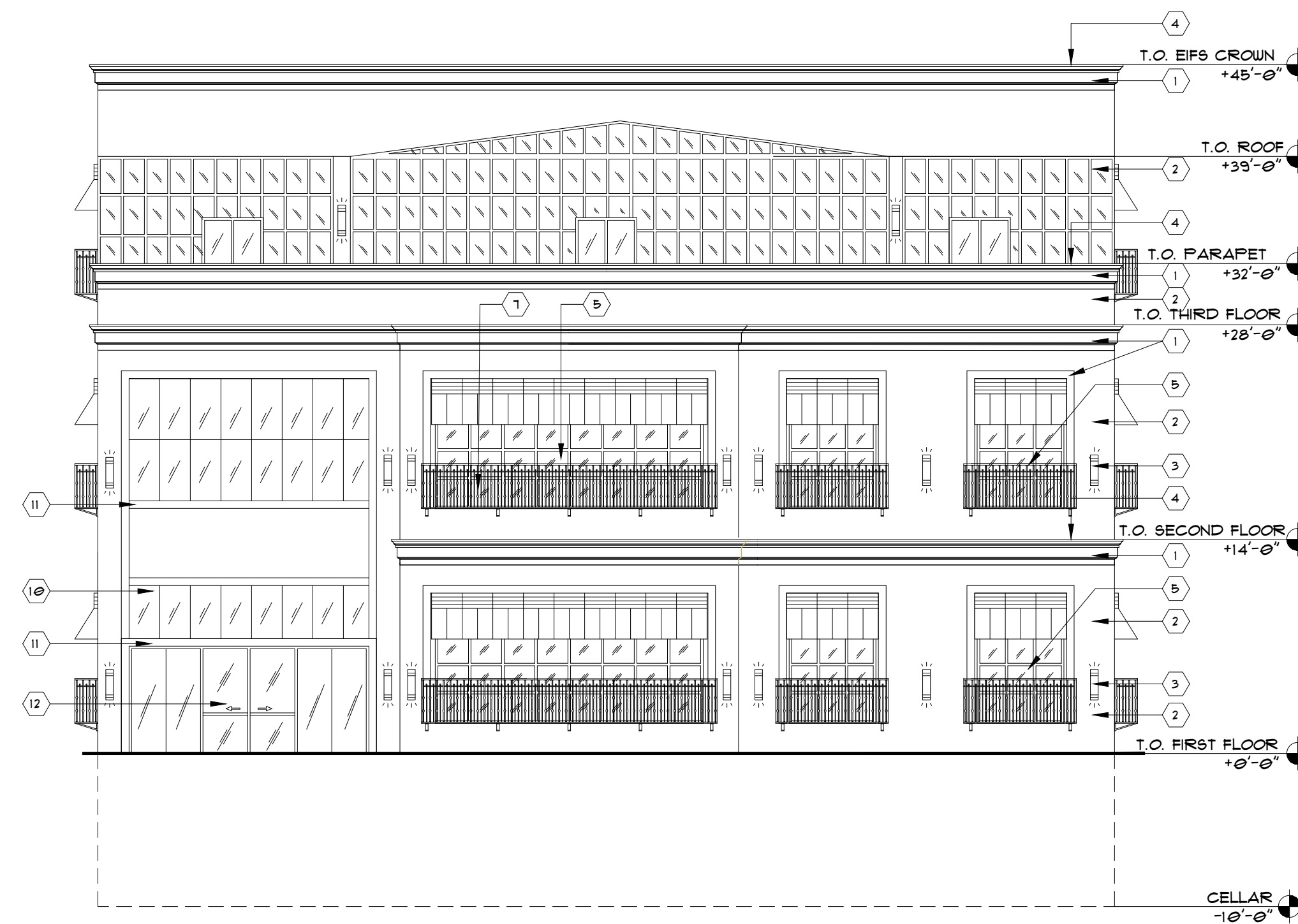
1 PROPOSED NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/8"=1'-0"

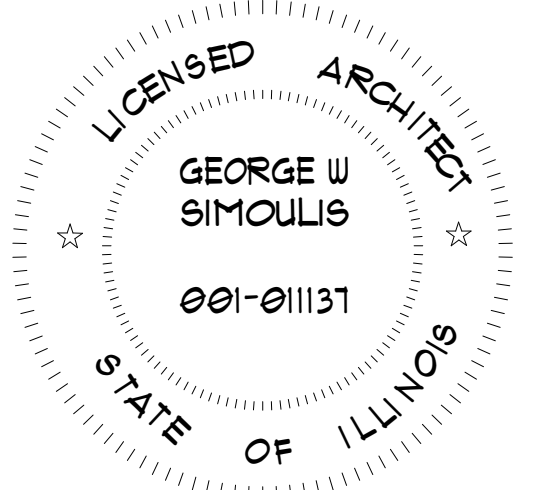
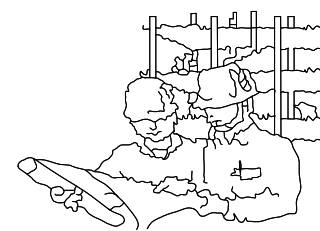


3 PROPOSED EAST ELEVATION
SCALE: 1/8"=1'-0"



4 PROPOSED WEST ELEVATION
SCALE: 1/8"=1'-0"

- KEY NOTES:
- EIFS CORNISH (COLOR SELECTED BY OWNER)
 - STUCCO (COLOR SELECTED BY OWNER)
 - UP & DOWN EXTERIOR LIGHT FIXTURE (COLOR SELECTED BY OWNER)
 - 6" PRE-FINISHED GLAZINIZED METAL COPING (COLOR SELECTED BY OWNER)
 - BRONZED ANODIZED ALUMINUM STORE FRONT SYSTEM w/ TEMPERED SAFETY GLAZING.
 - DUMMY WINDOW
 - METAL GUARDRAIL 36" MIN. HT WITH METAL PICKETS TO BE MAX. 4" APART. TOP AND BOTTOM RAIL POST TO BE 1 1/2". POST SHALL BE 36" APART MAX. SPACING (TYP. FOR ALL BALCONIES) (COLOR SELECTED BY OWNER)
 - METAL SHUTTER ABOVE AWNING (COLOR SELECTED BY OWNER)
 - METAL AWNING (COLOR SELECTED BY OWNER)
 - TEMPERED SAFETY GLAZING GLASS WALL
 - STAINLESS STEEL PANEL
 - BRONZED ANODIZED ALUMINUM GLASS DOOR w/ TEMPERED SAFETY GLAZING
 - PRE-FINISHED SCUPPER AND DOWNSPOUT, MILL ALUMINUM
 - METAL DOOR



Applicant: SAFA PROPERTY LLC
Contact: MARK W DANIEL
Address: 2608 WEST PETERSON
SUITE 201
CHICAGO, IL 60659

IDNR Project Number: 2207130
Date: 11/18/2021

Project: USMANIA PRIME
Address: 849 E. ROOSEVELT ROAD, LOMBARD

Description: CONSTRUCTION OF A RESTAURANT AND ACCESSORY PARKING AND LOADING, DETENTION.

Natural Resource Review Results

Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Consultation is terminated. This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: DuPage

Township, Range, Section:
39N, 11E, 21



IL Department of Natural Resources Contact

Kyle Burkwald
217-785-5500
Division of Ecosystems & Environment

Government Jurisdiction

VILLAGE OF LOMBARD
WILLIAM J HENIFF, AICP
VILLAGE OF LOMBARD
255 EAST WILSON AVENUE
LOMBARD, Illinois 60148

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

Terms of Use

By using this website, you acknowledge that you have read and agree to these terms. These terms may be revised by IDNR as necessary. If you continue to use the EcoCAT application after we post changes to these terms, it will mean that you accept such changes. If at any time you do not accept the Terms of Use, you may not continue to use the website.

1. The IDNR EcoCAT website was developed so that units of local government, state agencies and the public could request information or begin natural resource consultations on-line for the Illinois Endangered Species Protection Act, Illinois Natural Areas Preservation Act, and Illinois Interagency Wetland Policy Act. EcoCAT uses databases, Geographic Information System mapping, and a set of programmed decision rules to determine if proposed actions are in the vicinity of protected natural resources. By indicating your agreement to the Terms of Use for this application, you warrant that you will not use this web site for any other purpose.

2. Unauthorized attempts to upload, download, or change information on this website are strictly prohibited and may be punishable under the Computer Fraud and Abuse Act of 1986 and/or the National Information Infrastructure Protection Act.

3. IDNR reserves the right to enhance, modify, alter, or suspend the website at any time without notice, or to terminate or restrict access.

Security

EcoCAT operates on a state of Illinois computer system. We may use software to monitor traffic and to identify unauthorized attempts to upload, download, or change information, to cause harm or otherwise to damage this site. Unauthorized attempts to upload, download, or change information on this server is strictly prohibited by law.

Unauthorized use, tampering with or modification of this system, including supporting hardware or software, may subject the violator to criminal and civil penalties. In the event of unauthorized intrusion, all relevant information regarding possible violation of law may be provided to law enforcement officials.

Privacy

EcoCAT generates a public record subject to disclosure under the Freedom of Information Act. Otherwise, IDNR uses the information submitted to EcoCAT solely for internal tracking purposes.



EcoCAT Receipt

Project Code 2207130

| APPLICANT | DATE |
|--|------------|
| SAFA PROPERTY LLC MARK W DANIEL 2608 WEST PETERSON SUITE 201 CHICAGO, IL 60659 | 11/18/2021 |

| DESCRIPTION | FEE | CONVENIENCE FEE | TOTAL PAID |
|---------------------|-----------|-----------------|------------|
| EcoCAT Consultation | \$ 125.00 | \$ 2.81 | \$ 127.81 |
| | | TOTAL PAID | \$ 127.81 |

Illinois Department of Natural Resources
One Natural Resources Way
Springfield, IL 62702
217-785-5500
dnr.ecocat@illinois.gov

Land Use Opinion Report (LUO) Application

Petitioner: SAFA PROPERTY LLC
 Contact person: C/O MARK DANIEL
 Address: 17W733 BUTTERFIELD ROAD
 City, State, Zip: OAKBROOK TERRACE, IL 60181
 Phone Number: 630-833-3311
 Email: MARK@THEDANIELLAWOFFICE.COM

Owner: SAFA PROPERTY LLC
 Address: 2608 W PETERSON AVENUE SUITE 201
 City, State, Zip: CHICAGO, IL 60659
 Phone Number: 773-716-9872
 Email: NOORYAQOQB786@GMAIL.COM

Please select: How would you like to receive a copy of the LUO Report? Email ☒ Mail ☐

Site Location

Address: 855 E. ROOSEVELT ROAD
 City, State, Zip: LOMBARD, IL 60148
 Township(s) 39 N Range(s) 11 E Section(s) 21
 Parcel Index Number(s): 06-21-100-013

Type of Request

- ☐ Change in Zoning from _____ to _____
☐ Subdivision or Planned Unit Development (PUD)
☒ Variance (Please describe fully on a separate sheet)
☒ Special Use Permit (Please describe on separate sheet)

Site Information

Permitting Unit of Government: VILLAGE OF LOMBARD/IDOT Hearing Date: 3-22-22
 Project Name: USMANIA PRIME Total Acres: 2.45 Area of Disturbance: +/- 2.0
 Current Use of Site: VACANT - UNDEVELOPED Proposed Use: RESTAURANT

Proposed Improvements (Check all that apply)

- ☐ Dwellings with Basements ☒ Parking Lots ☒ Commercial Buildings ☒ Common Open Space
☐ Dwellings without Basements ☐ Roads and Streets ☐ Utility Structures ☐ Other _____

Stormwater Treatment

- ☒ Drainage Ditches or Swales ☐ Dry Detention Basins ☐ No Detention Facilities Proposed
☒ Storm Sewers ☒ Wet Detention Basins ☐ Other _____

Water Supply

- ☐ Individual Wells
☒ Community Water

Wastewater Treatment

- ☐ Septic System ☐ Other _____
☒ Sewers

Required: Include One Copy of Each of the Following (Processing will not begin until all items are received)

MAIL TO: 2315 DEAN ST. SUITE 100, ST. CHARLES, IL 60175

- ☒ **Application** (completed and signed)
☒ **Fee** (according to fee schedule on back)
☒ Make Checks payable to Kane-DuPage Soil and Water Conservation District
☒ **Plat of Survey** showing legal description, legal measurements
☒ **Site Plan/Drawings** showing lots, storm water detention areas, open areas, streets etc.
☒ **Project Narrative** with additional details on the proposed use, including total area of ground disturbance
☒ **Location Map** (if not on maps above) include distances from major roadways or tax parcel numbers

If Available- Not Required:

Any applicable surveys including wetland delineation, detailed soil survey, topographic survey etc.

I (we) understand the filing of this application allows the authorized representative of the Kane-DuPage Soil and Water Conservation District to visit and conduct an evaluation of the site.

Petitioner or Authorized Agent _____, ATTORNEY **Date** 02/07/2022

FOR OFFICE USE ONLY

LUO # _____ Natural Resource Review Letter _____ Date Initially rec'd _____ Date all rec'd _____
 Date Due _____ Fee Due \$ _____ Refund Due _____ Check # _____

The opinion will be issued on a nondiscriminatory basis without regard to race, color, religion, sex, age, marital status, handicap, or national origin.

Effective July 1, 2020

Land Use Opinion Report (LUO) Fees



FEE AMOUNTS FOR TOTAL ACRES OF PARCEL*: Effective July 1, 2020

¼ acre or less= \$100

¼ acre-5 acres or fraction thereof= \$475.00

6 acres or fraction thereof = \$500.00

ADD \$20 for each additional acre or fraction thereof OVER 6

*****Please contact KDSWCD for non-contiguous parcels. *****

MAKE CHECKS PAYABLE TO: Kane DuPage Soil and Water Conservation District

| Acres | Fee | Acres | Fee | Acres | Fee | Acres | Fee | Acres | Fee | Acres | Fee | Acres | Fee | Acres | Fee | Acres | Fee |
|-------|-----|-------|------|-------|------|-------|------|-------|------|-------|------|-------|------|-------|------|-------|------|
| 1 | 475 | 21 | 800 | 41 | 1200 | 61 | 1600 | 81 | 2000 | 101 | 2400 | 121 | 2800 | 141 | 3200 | 161 | 3600 |
| 2 | 475 | 22 | 820 | 42 | 1220 | 62 | 1620 | 82 | 2020 | 102 | 2420 | 122 | 2820 | 142 | 3220 | 162 | 3620 |
| 3 | 475 | 23 | 840 | 43 | 1240 | 63 | 1640 | 83 | 2040 | 103 | 2440 | 123 | 2840 | 143 | 3240 | 163 | 3640 |
| 4 | 475 | 24 | 860 | 44 | 1260 | 64 | 1660 | 84 | 2060 | 104 | 2460 | 124 | 2860 | 144 | 3260 | 164 | 3660 |
| 5 | 475 | 25 | 880 | 45 | 1280 | 65 | 1680 | 85 | 2080 | 105 | 2480 | 125 | 2880 | 145 | 3280 | 165 | 3680 |
| 6 | 500 | 26 | 900 | 46 | 1300 | 66 | 1700 | 86 | 2100 | 106 | 2500 | 126 | 2900 | 146 | 3300 | 166 | 3700 |
| 7 | 520 | 27 | 920 | 47 | 1320 | 67 | 1720 | 87 | 2120 | 107 | 2520 | 127 | 2920 | 147 | 3320 | 167 | 3720 |
| 8 | 540 | 28 | 940 | 48 | 1340 | 68 | 1740 | 88 | 2140 | 108 | 2540 | 128 | 2940 | 148 | 3340 | 168 | 3740 |
| 9 | 560 | 29 | 960 | 49 | 1360 | 69 | 1760 | 89 | 2160 | 109 | 2560 | 129 | 2960 | 149 | 3360 | 169 | 3760 |
| 10 | 580 | 30 | 980 | 50 | 1380 | 70 | 1780 | 90 | 2180 | 110 | 2580 | 130 | 2980 | 150 | 3380 | 170 | 3780 |
| 11 | 600 | 31 | 1000 | 51 | 1400 | 71 | 1800 | 91 | 2200 | 111 | 2600 | 131 | 3000 | 151 | 3400 | 171 | 3800 |
| 12 | 620 | 32 | 1020 | 52 | 1420 | 72 | 1820 | 92 | 2220 | 112 | 2620 | 132 | 3020 | 152 | 3420 | 172 | 3820 |
| 13 | 640 | 33 | 1040 | 53 | 1440 | 73 | 1840 | 93 | 2240 | 113 | 2640 | 133 | 3040 | 153 | 3440 | 173 | 3840 |
| 14 | 660 | 34 | 1060 | 54 | 1460 | 74 | 1860 | 94 | 2260 | 114 | 2660 | 134 | 3060 | 154 | 3460 | 174 | 3860 |
| 15 | 680 | 35 | 1080 | 55 | 1480 | 75 | 1880 | 95 | 2280 | 115 | 2680 | 135 | 3080 | 155 | 3480 | 175 | 3880 |
| 16 | 700 | 36 | 1100 | 56 | 1500 | 76 | 1900 | 96 | 2300 | 116 | 2700 | 136 | 3100 | 156 | 3500 | 176 | 3900 |
| 17 | 720 | 37 | 1120 | 57 | 1520 | 77 | 1920 | 97 | 2320 | 117 | 2720 | 137 | 3120 | 157 | 3520 | 177 | 3920 |
| 18 | 740 | 38 | 1140 | 58 | 1540 | 78 | 1940 | 98 | 2340 | 118 | 2740 | 138 | 3140 | 158 | 3540 | 178 | 3940 |
| 19 | 760 | 39 | 1160 | 59 | 1560 | 79 | 1960 | 99 | 2360 | 119 | 2760 | 139 | 3160 | 159 | 3560 | 179 | 3960 |
| 20 | 780 | 40 | 1180 | 60 | 1580 | 80 | 1980 | 100 | 2380 | 120 | 2780 | 140 | 3180 | 160 | 3580 | 180 | 3980 |

For the convenience of those who must comply with the provisions of the Illinois Soil and Water Conservation District Act, Section 22.02a (Illinois Compiled Statutes, Chapter 70, Paragraph 405, Section 22.02a), enacted December 3, 1971, effective July 1, 1972, we quote this section:

“The Soil and Water Conservation District shall make all-natural resource information available to the appropriate county agency or municipality in the promulgation of zoning ordinances or variances. Any person who petitions any municipality or county agency in the district for variation, amendment, or other relief from that municipality’s or county’s zoning ordinance or who proposes to subdivide vacant or agricultural lands therein shall furnish a copy of such petition or proposal to the Soil and Water Conservation District. The Soil and Water Conservation District shall be given not more than 30 days from the time of receipt of the petition or proposal to issue its written opinion concerning the petition or proposal and submit the same to the appropriate county agency or municipality for further action.”

***Fees may be adjusted based on size of disturbance and adjacent natural resources which may be impacted.**