

PLAN COMMISSION HEARING  
MARCH 21, 2022 (7:00 PM)  
Case No. PC 22-05

855 East Roosevelt/IL 38

# **USMANIA**

— PRIME —



# DEVELOPMENT TEAM



## **CONCEPT:**

SAFA NOOR, S. SULEMAN NOOR, AND MOHAMMAD YAQOOB (SKOKIE)

## **CIVIL ENGINEERING & SURVEYING:**

JEFF MILLER, WATERMARK ENGINEERING RESOURCES (AURORA)

JOSEPH GENTILE, GENTILE & ASSOCIATES, INC. (LOMBARD)

## **LANDSCAPE DESIGN:**

JOSEPH D. DA VITO, J. DAVITO DESIGN, INC. (ISLAND LAKE)

## **ARCHITECT:**

GEORGE W. SIMOULIS (CHICAGO)

## **CONSTRUCTION:**

RICK SCALI, RMJ CONSTRUCTION, LTD. (LEMONT)

## **SIGNS:**

SIGNS & GRAPHICS, INC. (CHICAGO)

## **LEGAL:**

MARK W. DANIEL, DANIEL LAW OFFICE, P.C. (OAKBROOK TERRACE)

# *About* SAFA PROPERTY, LLC

- Illinois company held by a family in the north suburbs of Chicago with substantial holdings and operations (City, north, west, far west and south)
- Closest affiliated new development: BP/Olivia's Market (Midwest, OBT)
- 2017: Initiated Lombard search
- 2018: First staff inquiry about available properties
- 2020: Identification of 855 E. Roosevelt
- Fall 2021: First plan discussion with Village staff
- Summer 2022: Permitting and Mass Grading
- December 2023: Grand Opening

Neighborhood Observations  
March 2021-Present

Development Team Assembly  
Summer 2021

# ***USMANIA***

## **— PRIME —**

Lombard Engagement  
October 2021-Present

County Engagement  
December 2021-Present

York Center Park District  
February 2022

Neighbor Zoom, Visits & Calls  
February-March 2022



# *About USMANIA PRIME*

<https://usmaniarestaurant.com/>

## Active Usmania Brand Locations

Usmania Fine Dining

2244 W Devon Avenue, Chicago



Usmania Chinese

2253 W Devon Avenue, Chicago



# *About USMANIA PRIME (continued)*

- Anticipated First Year Lombard Sales
  - Dining: \$3.2 million
  - Banquet: \$1.7 million
  - Catering: \$1.0 million
- Anticipated Subsequent Year Lombard Sales
  - Dining: \$4.2 million
  - Banquet: \$2.1 million
  - Catering: \$1.6 million



# *About USMANIA PRIME (continued—Dining)*

- Extended menu (3 kitchen styles):

- Pakistani-Indian
- Chinese
- American

- No lounge or bar (no alcohol)

- Could operate on all three floors

- 1<sup>st</sup> Floor 92 seats, 1,530 square feet (largest of three kitchens)
- 2<sup>nd</sup> Floor use depends on social distancing or normal spacing and timing
  - 156 seats, 2,140 square feet
- 3<sup>rd</sup> Floor will almost entirely be dining (few banquets or events)
  - 72 seats, 1,600 square feet (indoor); 28 seats, 770 square feet (outdoor)

## LIKELY DINING HOURS

NOT TO EXCEED ALLOWABLE DISTRICT HOURS

11:00 AM to 1:00 AM Monday through Thursday

11:00 AM to 1:30 AM Friday and Saturday

11:00 AM to 11:00 PM Sunday

(BANQUETS AND DINING HOURS MAY VARY)

## **3<sup>RD</sup> FLOOR PATIO CLOSES:**

10:30 PM Monday through Thursday

11:30 PM Friday and Saturday

9:30 PM on Sunday

# *About USMANIA PRIME (continued—Banquet)*

- Primarily 2<sup>nd</sup> floor (flexible)
- 156 seats; 2,140 square feet
- 4 top configuration, 39 tables
- 12 top configuration, 13 tables
- No fixed hours
  - Evening typ. 8:30 PM – 1:00 AM
  - Some lunch, some morning
- Standard events: Business, chamber or association meetings, family parties, engagement parties, non-reception wedding dinners, seminars





# *About USMANIA PRIME (continued—Catering)*

- Catering program is well-respected and extends throughout the Chicago metro area, downstate and into IN, MI and WI
- Published catering menu features standards
- Special orders available
- Deliveries with only limited pick-up



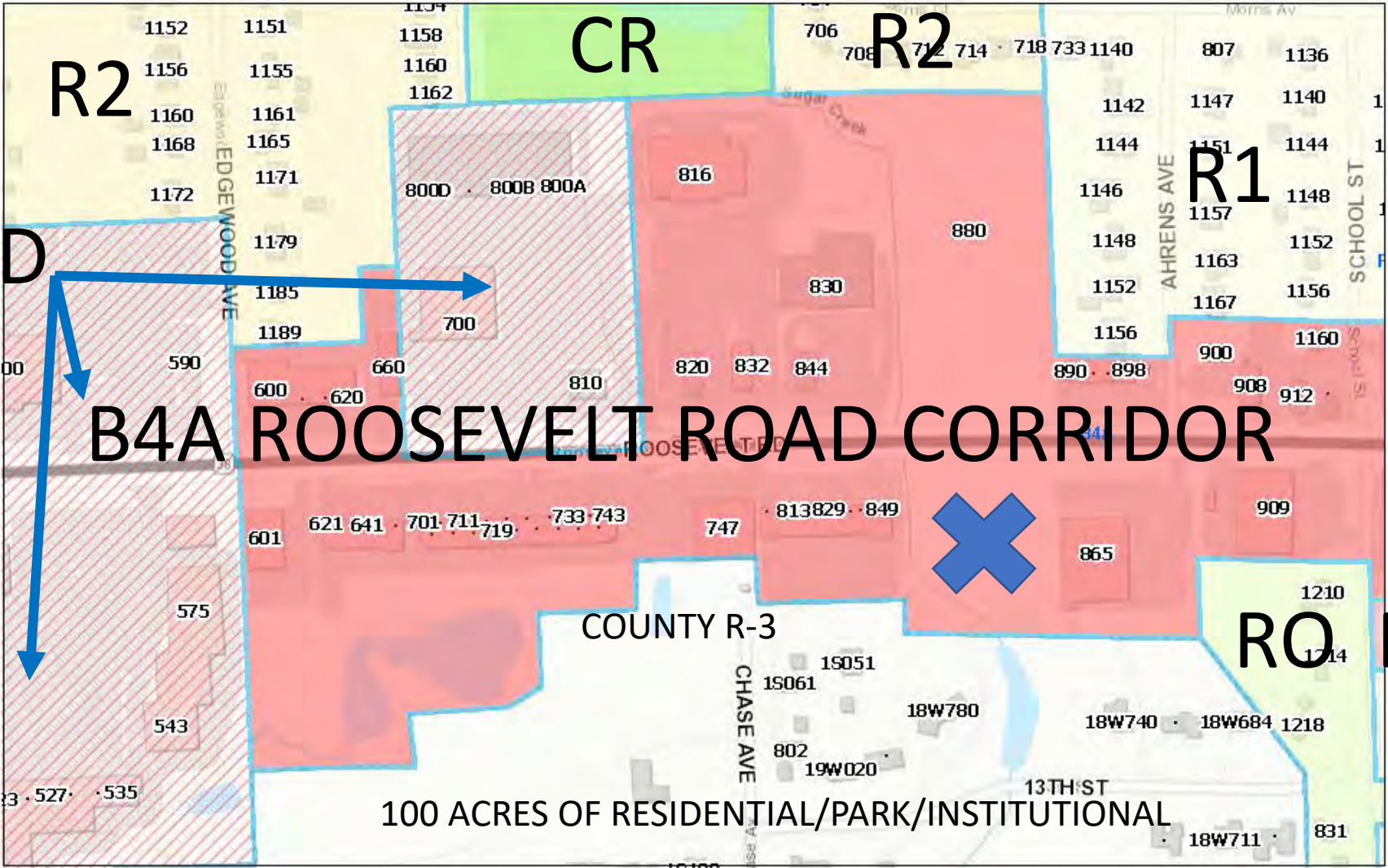


# Cultural Elements of Usmania Prime

- No alcohol
- Dominating family and group dining environment
- Shared plates most popular
- Banquet area too small for weddings or large banquets
  - Fills a role of convenience in the banquet segment
  - Not a conference location
  - Event invitations are heavily focused on full-family invitations
- Cultural bazaars Saturdays and Sundays (12:00-7:00 PM)
- With the exception of weekday lunches, large parties often arrive in few cars to dine

Lombard Parcel & Zoning Map

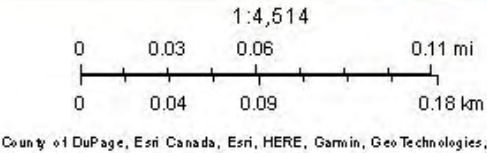
B4APD



B4A ROOSEVELT ROAD CORRIDOR

RO B3

March 18, 2022



# SURROUNDING LAND USE

SINGLE FAMILY DETACHED  
PARK  
SINGLE FAMILY DETACHED

AUTO  
SALES

DETACHED

M BREWERY

AUTO  
OFFICE

S  
T  
O  
R  
G

DETACHED

AUTO

RETAIL

RETAIL

REST REST

OFFICE  
REST REST REST

FITNESS

REST

RETAIL

REST

REST

RETAIL

REST

BAR REST



AUTO

GAS

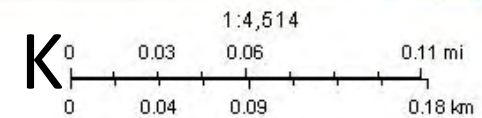
VACANT

SINGLE FAMILY  
DETACHED

P  
A  
R

1X FAM

March 18, 2022



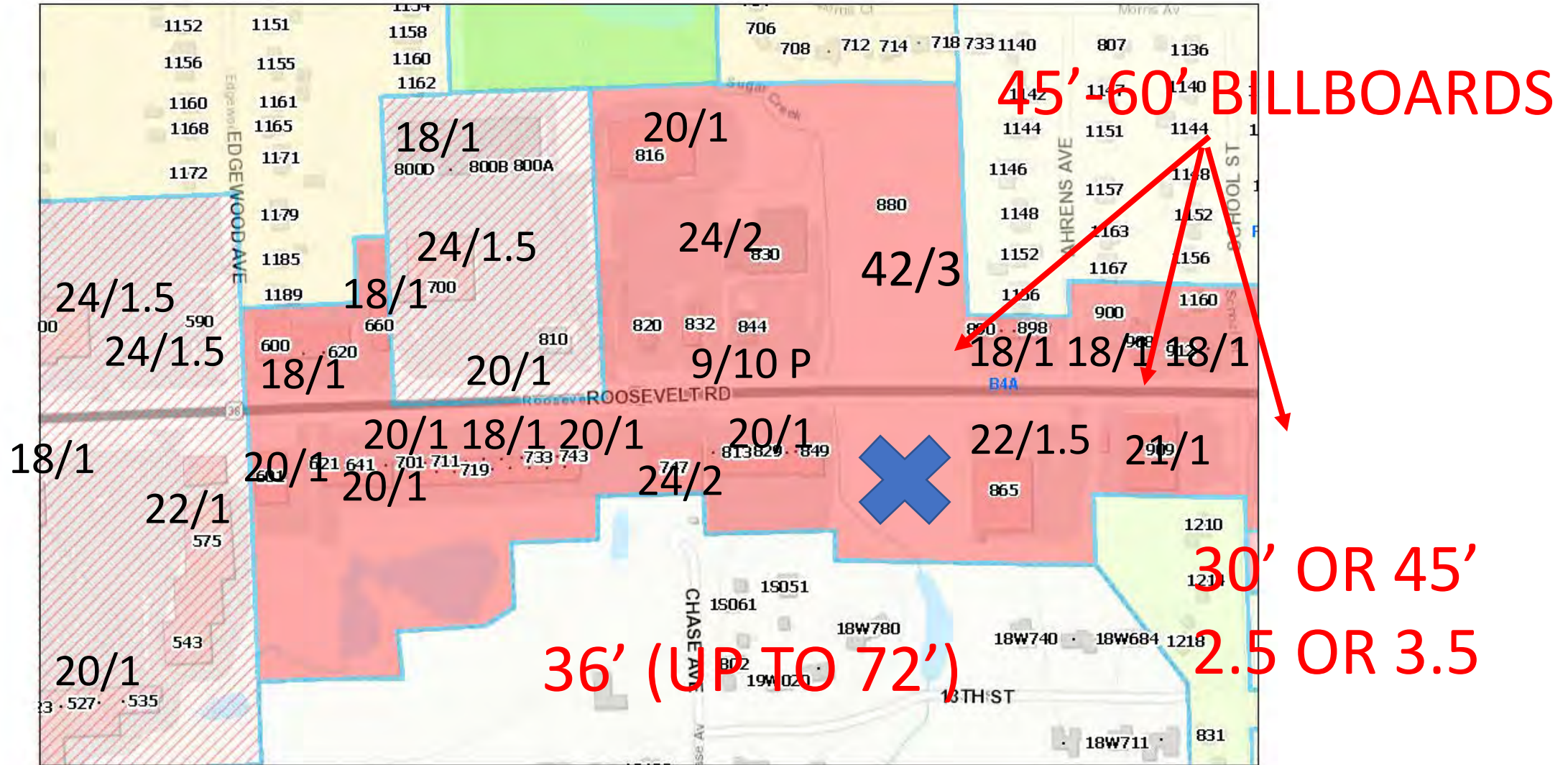
County of DuPage, Esri Canada, Esri, HERE, Garmin, GeoTechnologies,



[illegible]

0 0.03 0.06 0.11 mi  
0 0.04 0.09 0.18 km  
County of DuPage, Esri Canada, Esri, HERE, Garmin, GeoTechnologies,

# CURRENT HEIGHT FEET/STORIES

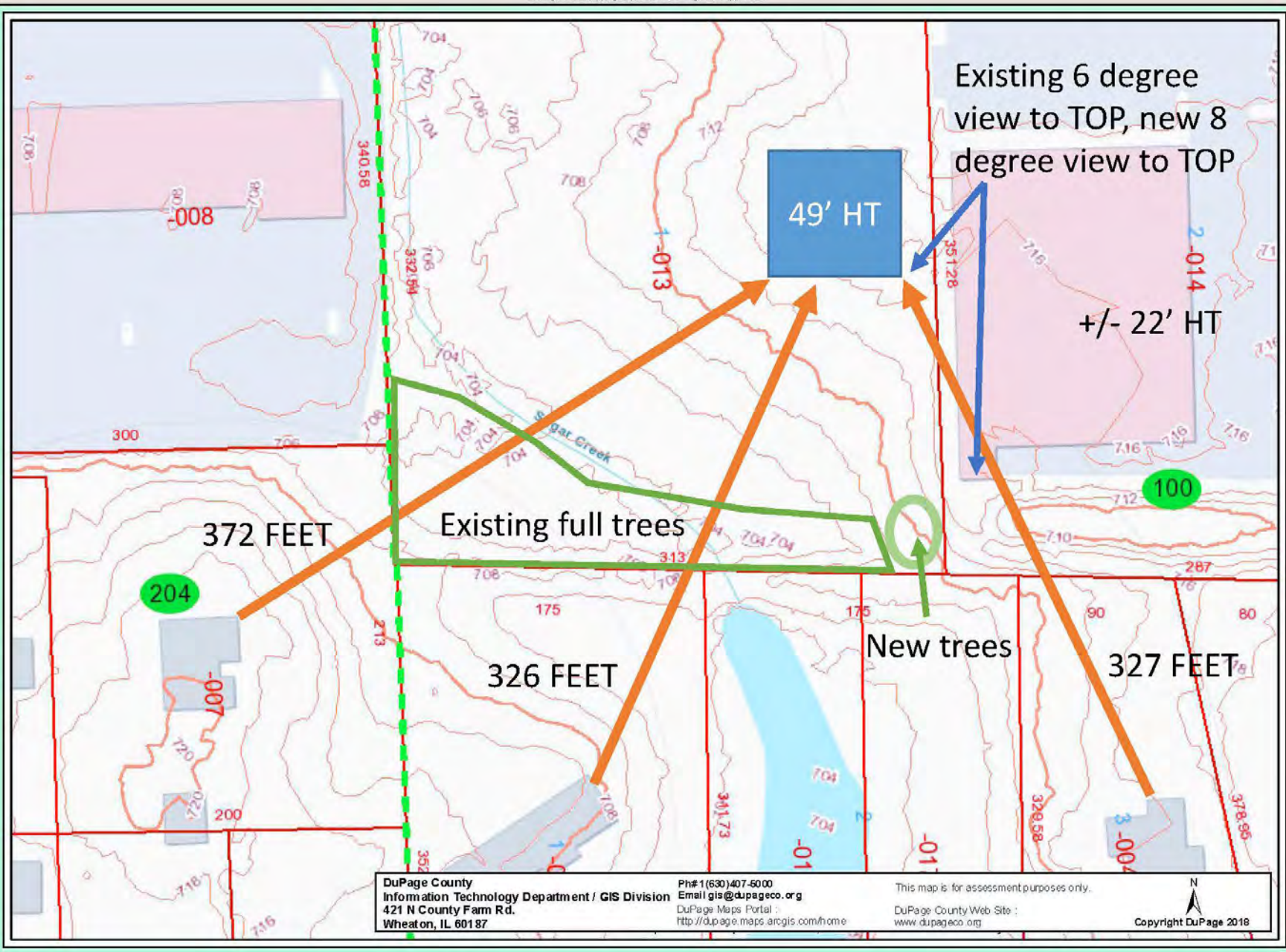


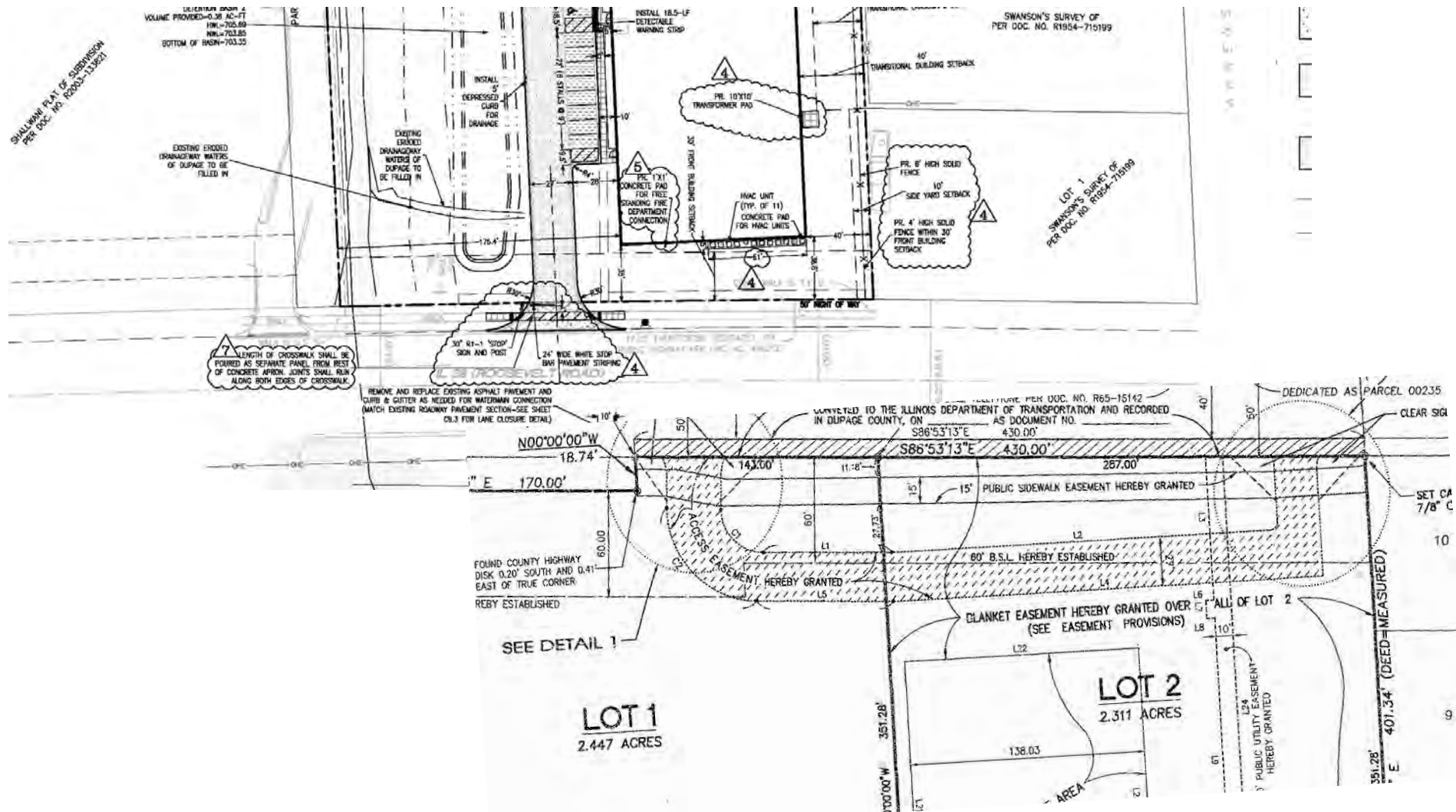
March 18, 2022

HEIGHT IS APPARENT, EXCL. EST. PARAPETS AND FAKE WALLS

1:4,514  
0 0.03 0.06 0.11 mi  
0 0.04 0.09 0.18 km  
County of DuPage, Esri Canada, Esri, HERE, Garmin, GeoTechnologies,







1997 PLAT WITH SELF STORAGE DRIVEWAY





















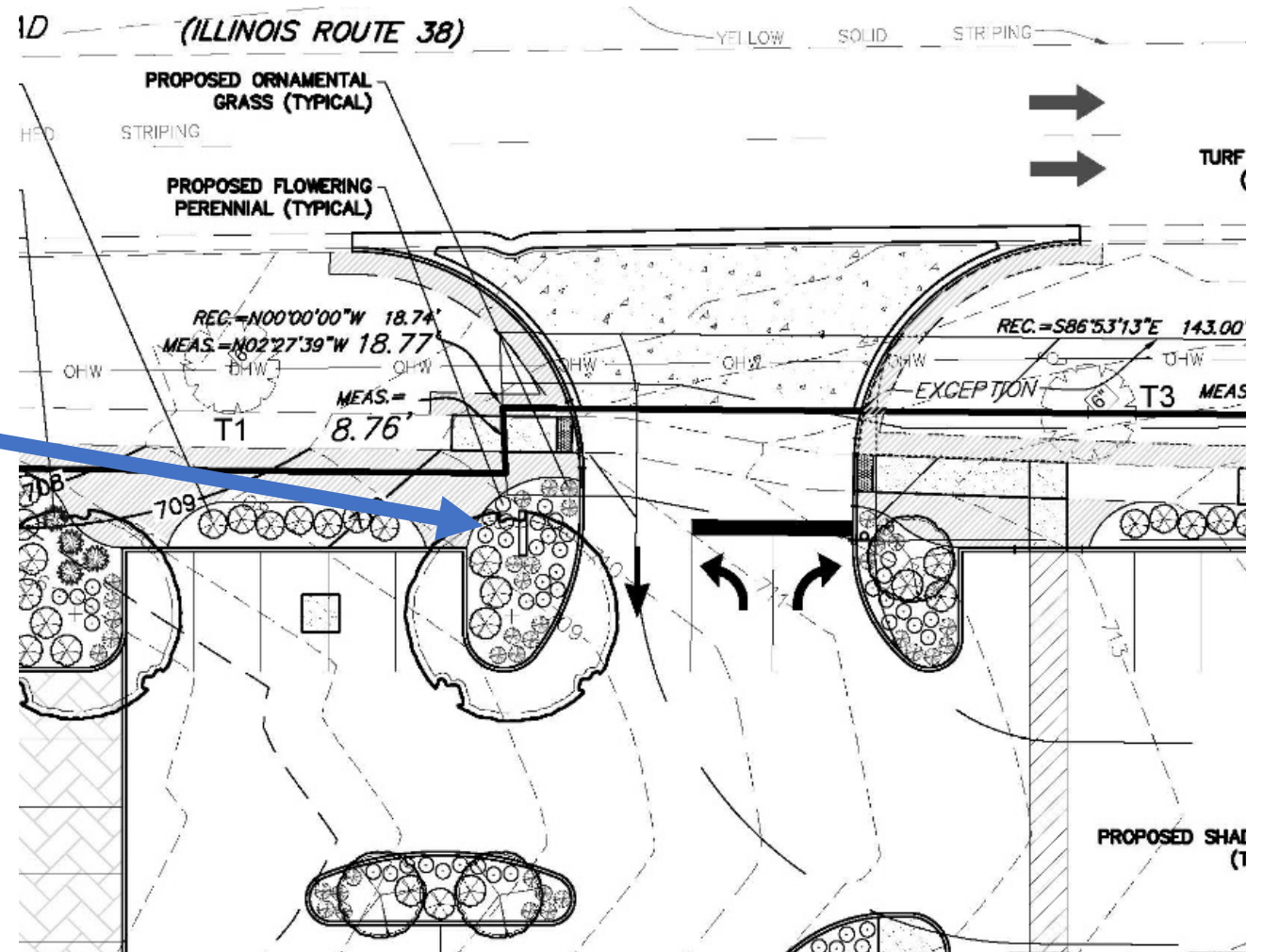
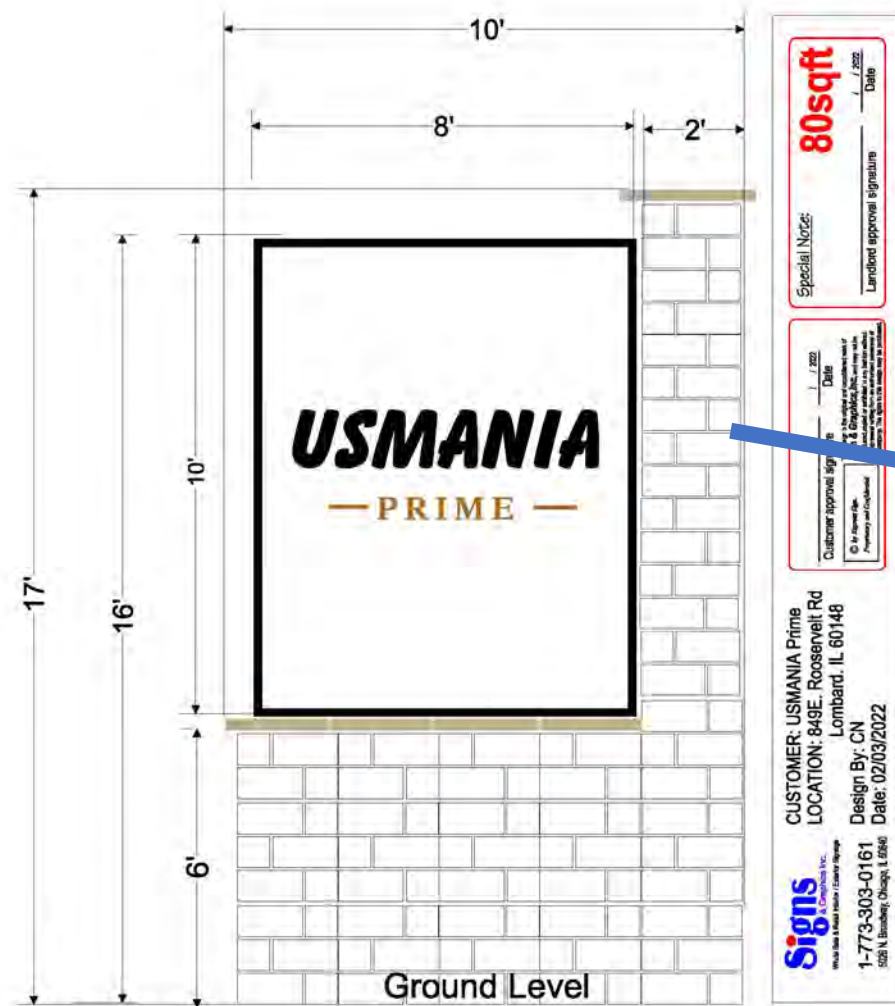






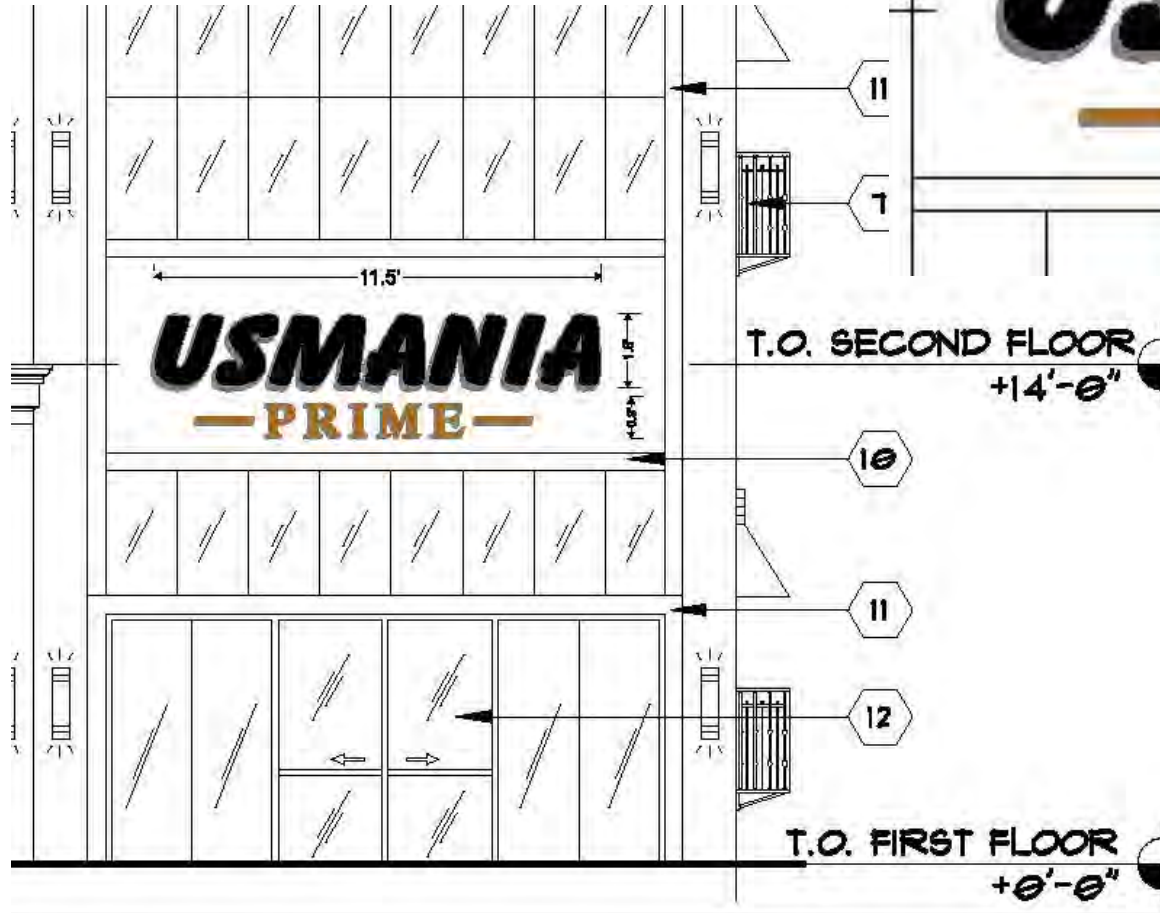


# FREESTANDING/MONUMENT SIGN

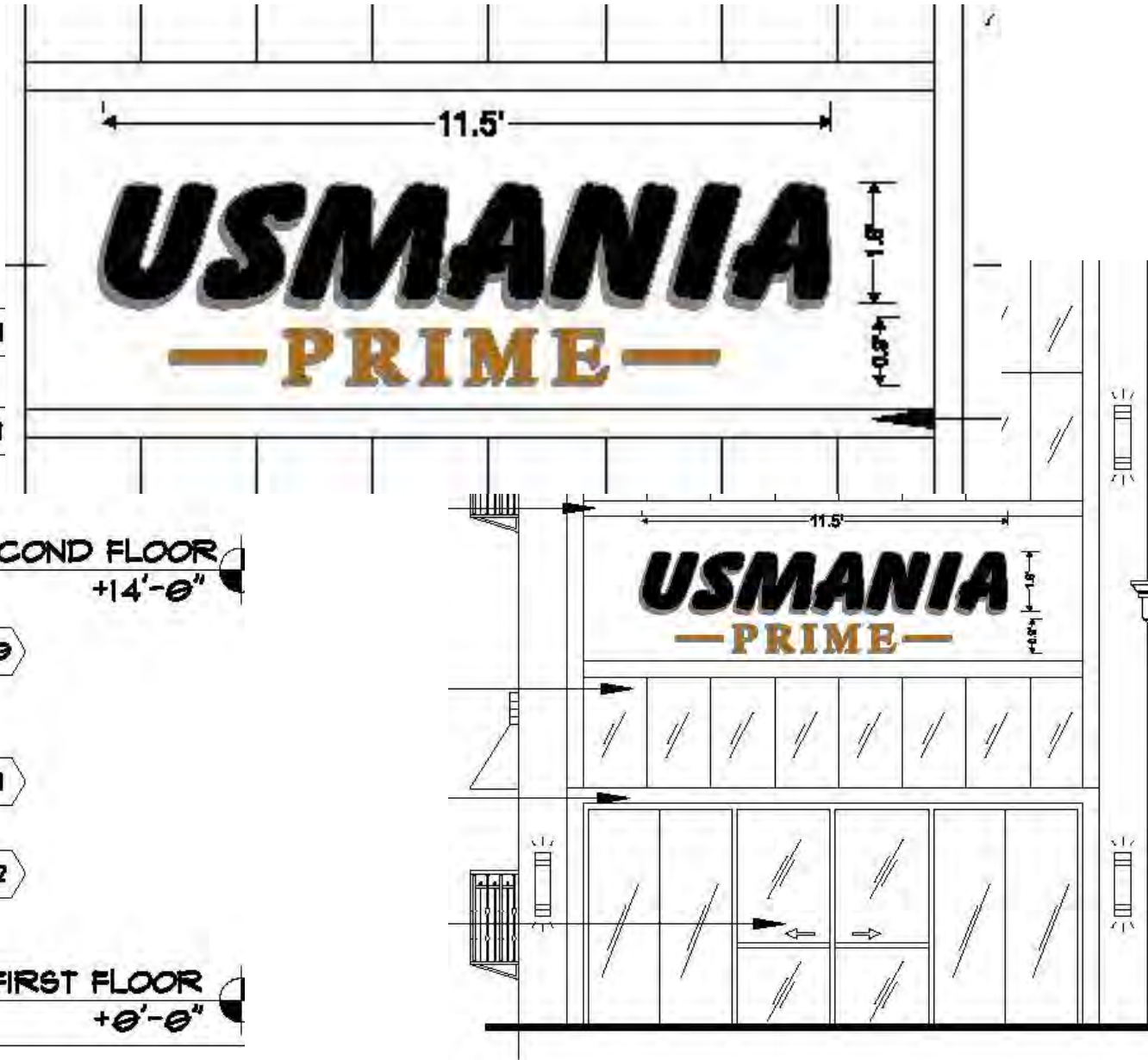




# WALL SIGNS

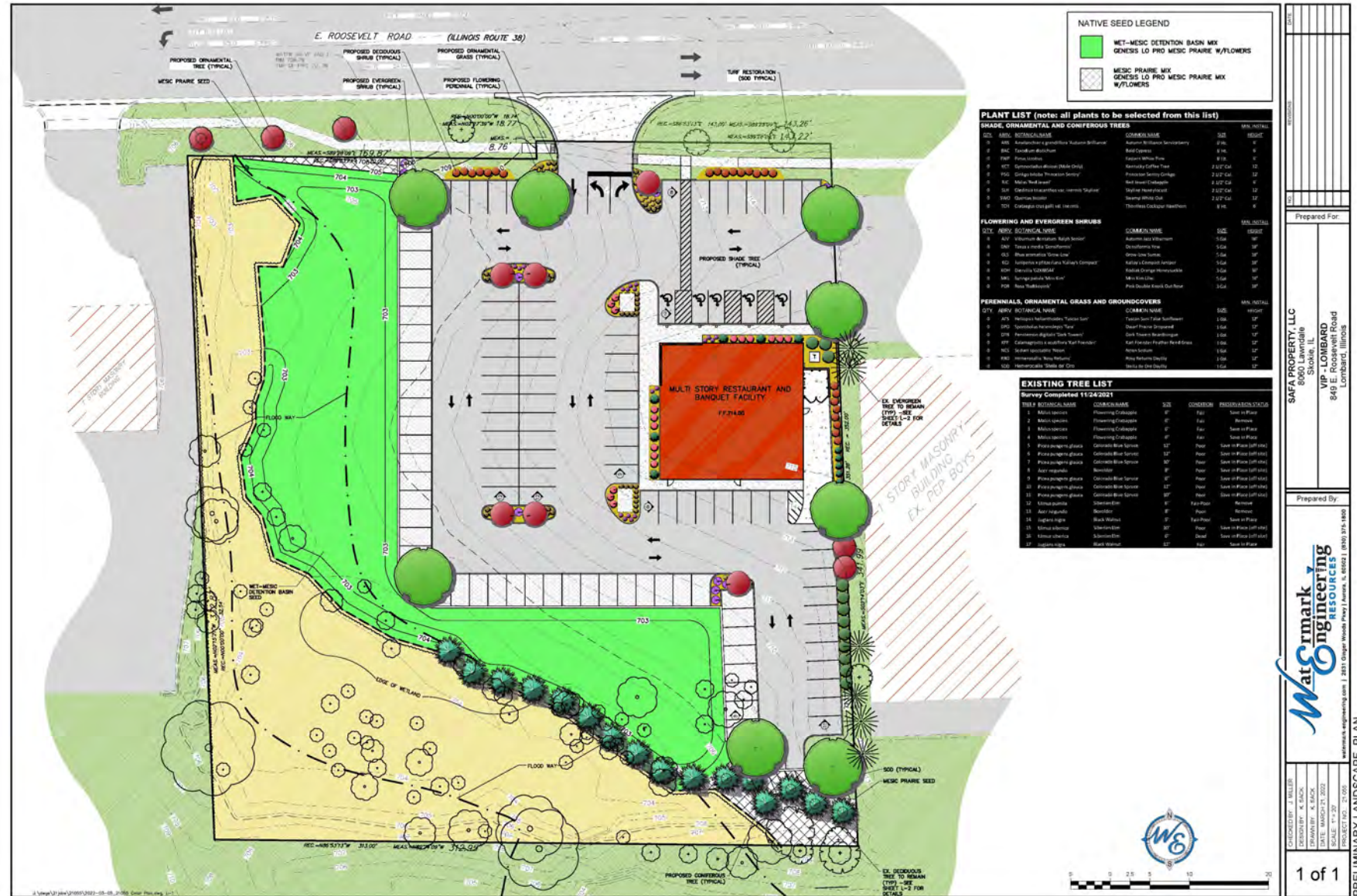


NORTH



EAST

# LANDSCAPE PLAN









**NOTE:**  
ALL TREES AND UNDERSTORY PLANT MATERIAL  
IN EXISTING WETLAND TO BE PRESERVED AS-IS.  
NO CONSTRUCTION ACTIVITY TO BE ALLOWED IN  
THIS AREA.

Know what's Below.  
Call before you dig.



LANDSCAPE PLAN  
DESIGNED BY  
JOSEPH D. DAVITO, PLA  
J. DAVITO DESIGN, INC.  
(847) 469-8797

**NOTE:**  
ALL TREES AND UNDERSTORY PLANT MATERIAL  
IN EXISTING WETLAND TO BE PRESERVED AS-IS.  
NO CONSTRUCTION ACTIVITY TO BE ALLOWED IN  
THIS AREA.

**NOTE:**  
CONTRACTOR TO MULCH ALL PLANT BEDS WITH  
TWICE SHREDDED HARDWOOD BARK, DARK BROWN  
IN COLOR, AND SPADE EDGE WHERE APPLICABLE  
(TYP)

**GENERAL NOTES:**  
1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY.  
(SURVEY PROJECT #21-22554 DATED 08/16/2021)  
PREPARED BY: GENTLE AND ASSOCIATES, INC.  
550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148  
(630) 916-6892  
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.  
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.  
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.  
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

**NATIVE SEED LEGEND**

WET-MESIC DETENTION BASIN MIX  
GENESIS LO PRO MESIC PRAIRIE W/ FLOWERS

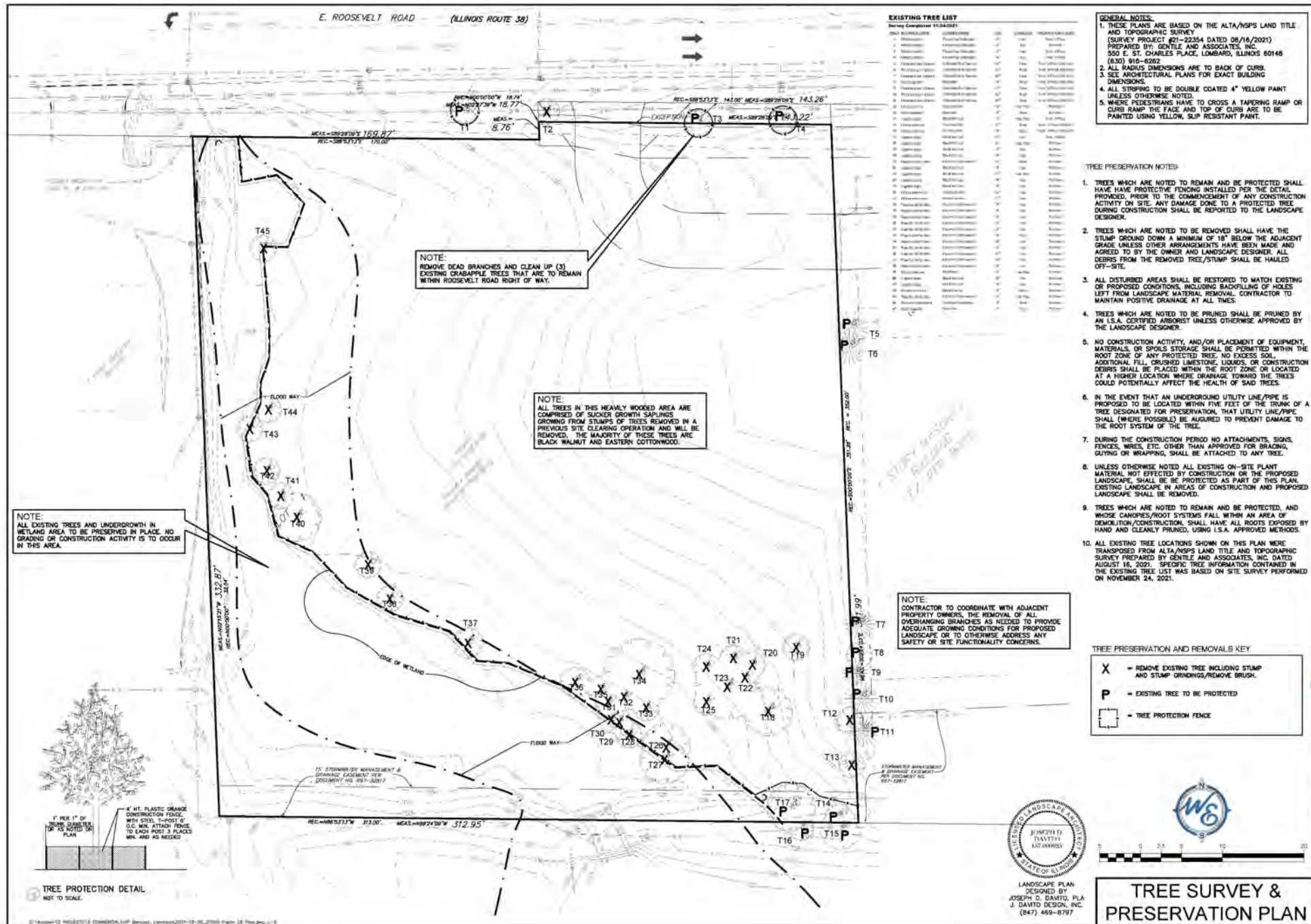
MESIC PRAIRIE MIX  
GENESIS LO PRO MESIC PRAIRIE MIX W/ FLOWERS

**PLANT LIST** (note: all plants to be selected from this list)

NO.	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPREAD	ROOTS
1	DOGWOOD	CORNUS DOG	20'	20'	10'
2	RED TWIG DOGWOOD	CORNUS DOG	20'	20'	10'
3	DOGWOOD	CORNUS DOG	20'	20'	10'
4	DOGWOOD	CORNUS DOG	20'	20'	10'
5	DOGWOOD	CORNUS DOG	20'	20'	10'
6	DOGWOOD	CORNUS DOG	20'	20'	10'
7	DOGWOOD	CORNUS DOG	20'	20'	10'
8	DOGWOOD	CORNUS DOG	20'	20'	10'
9	DOGWOOD	CORNUS DOG	20'	20'	10'
10	DOGWOOD	CORNUS DOG	20'	20'	10'
11	DOGWOOD	CORNUS DOG	20'	20'	10'
12	DOGWOOD	CORNUS DOG	20'	20'	10'
13	DOGWOOD	CORNUS DOG	20'	20'	10'
14	DOGWOOD	CORNUS DOG	20'	20'	10'
15	DOGWOOD	CORNUS DOG	20'	20'	10'
16	DOGWOOD	CORNUS DOG	20'	20'	10'
17	DOGWOOD	CORNUS DOG	20'	20'	10'
18	DOGWOOD	CORNUS DOG	20'	20'	10'
19	DOGWOOD	CORNUS DOG	20'	20'	10'
20	DOGWOOD	CORNUS DOG	20'	20'	10'
21	DOGWOOD	CORNUS DOG	20'	20'	10'
22	DOGWOOD	CORNUS DOG	20'	20'	10'
23	DOGWOOD	CORNUS DOG	20'	20'	10'
24	DOGWOOD	CORNUS DOG	20'	20'	10'
25	DOGWOOD	CORNUS DOG	20'	20'	10'
26	DOGWOOD	CORNUS DOG	20'	20'	10'
27	DOGWOOD	CORNUS DOG	20'	20'	10'
28	DOGWOOD	CORNUS DOG	20'	20'	10'
29	DOGWOOD	CORNUS DOG	20'	20'	10'
30	DOGWOOD	CORNUS DOG	20'	20'	10'
31	DOGWOOD	CORNUS DOG	20'	20'	10'
32	DOGWOOD	CORNUS DOG	20'	20'	10'
33	DOGWOOD	CORNUS DOG	20'	20'	10'
34	DOGWOOD	CORNUS DOG	20'	20'	10'
35	DOGWOOD	CORNUS DOG	20'	20'	10'
36	DOGWOOD	CORNUS DOG	20'	20'	10'
37	DOGWOOD	CORNUS DOG	20'	20'	10'
38	DOGWOOD	CORNUS DOG	20'	20'	10'
39	DOGWOOD	CORNUS DOG	20'	20'	10'
40	DOGWOOD	CORNUS DOG	20'	20'	10'
41	DOGWOOD	CORNUS DOG	20'	20'	10'
42	DOGWOOD	CORNUS DOG	20'	20'	10'
43	DOGWOOD	CORNUS DOG	20'	20'	10'
44	DOGWOOD	CORNUS DOG	20'	20'	10'
45	DOGWOOD	CORNUS DOG	20'	20'	10'
46	DOGWOOD	CORNUS DOG	20'	20'	10'
47	DOGWOOD	CORNUS DOG	20'	20'	10'
48	DOGWOOD	CORNUS DOG	20'	20'	10'
49	DOGWOOD	CORNUS DOG	20'	20'	10'
50	DOGWOOD	CORNUS DOG	20'	20'	10'
51	DOGWOOD	CORNUS DOG	20'	20'	10'
52	DOGWOOD	CORNUS DOG	20'	20'	10'
53	DOGWOOD	CORNUS DOG	20'	20'	10'
54	DOGWOOD	CORNUS DOG	20'	20'	10'
55	DOGWOOD	CORNUS DOG	20'	20'	10'
56	DOGWOOD	CORNUS DOG	20'	20'	10'
57	DOGWOOD	CORNUS DOG	20'	20'	10'
58	DOGWOOD	CORNUS DOG	20'	20'	10'
59	DOGWOOD	CORNUS DOG	20'	20'	10'
60	DOGWOOD	CORNUS DOG	20'	20'	10'
61	DOGWOOD	CORNUS DOG	20'	20'	10'
62	DOGWOOD	CORNUS DOG	20'	20'	10'
63	DOGWOOD	CORNUS DOG	20'	20'	10'
64	DOGWOOD	CORNUS DOG	20'	20'	10'
65	DOGWOOD	CORNUS DOG	20'	20'	10'
66	DOGWOOD	CORNUS DOG	20'	20'	10'
67	DOGWOOD	CORNUS DOG	20'	20'	10'
68	DOGWOOD	CORNUS DOG	20'	20'	10'
69	DOGWOOD	CORNUS DOG	20'	20'	10'
70	DOGWOOD	CORNUS DOG	20'	20'	10'
71	DOGWOOD	CORNUS DOG	20'	20'	10'
72	DOGWOOD	CORNUS DOG	20'	20'	10'
73	DOGWOOD	CORNUS DOG	20'	20'	10'
74	DOGWOOD	CORNUS DOG	20'	20'	10'
75	DOGWOOD	CORNUS DOG	20'	20'	10'
76	DOGWOOD	CORNUS DOG	20'	20'	10'
77	DOGWOOD	CORNUS DOG	20'	20'	10'
78	DOGWOOD	CORNUS DOG	20'	20'	10'
79	DOGWOOD	CORNUS DOG	20'	20'	10'
80	DOGWOOD	CORNUS DOG	20'	20'	10'
81	DOGWOOD	CORNUS DOG	20'	20'	10'
82	DOGWOOD	CORNUS DOG	20'	20'	10'
83	DOGWOOD	CORNUS DOG	20'	20'	10'
84	DOGWOOD	CORNUS DOG	20'	20'	10'
85	DOGWOOD	CORNUS DOG	20'	20'	10'
86	DOGWOOD	CORNUS DOG	20'	20'	10'
87	DOGWOOD	CORNUS DOG	20'	20'	10'
88	DOGWOOD	CORNUS DOG	20'	20'	10'
89	DOGWOOD	CORNUS DOG	20'	20'	10'
90	DOGWOOD	CORNUS DOG	20'	20'	10'
91	DOGWOOD	CORNUS DOG	20'	20'	10'
92	DOGWOOD	CORNUS DOG	20'	20'	10'
93	DOGWOOD	CORNUS DOG	20'	20'	10'
94	DOGWOOD	CORNUS DOG	20'	20'	10'
95	DOGWOOD	CORNUS DOG	20'	20'	10'
96	DOGWOOD	CORNUS DOG	20'	20'	10'
97	DOGWOOD	CORNUS DOG	20'	20'	10'
98	DOGWOOD	CORNUS DOG	20'	20'	10'
99	DOGWOOD	CORNUS DOG	20'	20'	10'
100	DOGWOOD	CORNUS DOG	20'	20'	10'

EXISTING TREE LIST					
Survey Completed 11/28/2021					
NO.	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPREAD	ROOTS/UNDERGROUND
1	DOGWOOD	CORNUS DOG	20'	20'	10'
2	DOGWOOD	CORNUS DOG	20'	20'	10'
3	DOGWOOD	CORNUS DOG	20'	20'	10'
4	DOGWOOD	CORNUS DOG	20'	20'	10'
5	DOGWOOD	CORNUS DOG	20'	20'	10'
6	DOGWOOD	CORNUS DOG	20'	20'	10'
7	DOGWOOD	CORNUS DOG	20'	20'	10'
8	DOGWOOD	CORNUS DOG	20'	20'	10'
9	DOGWOOD	CORNUS DOG	20'	20'	10'
10	DOGWOOD	CORNUS DOG	20'	20'	10'
11	DOGWOOD	CORNUS DOG	20'	20'	10'
12	DOGWOOD	CORNUS DOG	20'	20'	10'
13	DOGWOOD	CORNUS DOG	20'	20'	10'
14	DOGWOOD	CORNUS DOG	20'	20'	10'
15	DOGWOOD	CORNUS DOG	20'	20'	10'
16	DOGWOOD	CORNUS DOG	20'	20'	10'
17	DOGWOOD	CORNUS DOG	20'	20'	10'
18	DOGWOOD	CORNUS DOG	20'	20'	10'
19	DOGWOOD	CORNUS DOG	20'	20'	10'
20	DOGWOOD	CORNUS DOG	20'	20'	10'
21	DOGWOOD	CORNUS DOG	20'	20'	10'
22	DOGWOOD	CORNUS DOG	20'	20'	10'
23	DOGWOOD	CORNUS DOG	20'	20'	10'
24	DOGWOOD	CORNUS DOG	20'	20'	10'
25	DOGWOOD	CORNUS DOG	20'	20'	10'
26	DOGWOOD	CORNUS DOG	20'	20'	10'
27	DOGWOOD	CORNUS DOG	20'	20'	10'
28	DOGWOOD	CORNUS DOG	20'	20'	10'
29	DOGWOOD	CORNUS DOG	20'	20'	10'
30	DOGWOOD	CORNUS DOG	20'	20'	10'
31	DOGWOOD	CORNUS DOG	20'	20'	10'
32	DOGWOOD	CORNUS DOG	20'	20'	10'
33	DOGWOOD	CORNUS DOG	20'	20'	10'
34	DOGWOOD	CORNUS DOG	20'	20'	10'
35	DOGWOOD	CORNUS DOG	20'	20'	10'
36	DOGWOOD	CORNUS DOG	20'	20'	10'
37	DOGWOOD	CORNUS DOG	20'	20'	10'
38	DOGWOOD	CORNUS DOG	20'	20'	10'
39	DOGWOOD	CORNUS DOG	20'	20'	10'
40	DOGWOOD	CORNUS DOG	20'	20'	10'
41	DOGWOOD	CORNUS DOG	20'	20'	10'
42	DOGWOOD	CORNUS DOG	20'	20'	10'
43	DOGWOOD	CORNUS DOG	20'	20'	10'
44	DOGWOOD	CORNUS DOG	20'	20'	10'
45	DOGWOOD	CORNUS DOG	20'	20'	10'
46	DOGWOOD	CORNUS DOG	20'	20'	10'
47	DOGWOOD	CORNUS DOG	20'	20'	10'
48	DOGWOOD	CORNUS DOG	20'	20'	10'
49	DOGWOOD	CORNUS DOG	20'	20'	10'
50	DOGWOOD	CORNUS DOG	20'	20'	10'
51	DOGWOOD	CORNUS DOG	20'	20'	10'
52	DOGWOOD	CORNUS DOG	20'	20'	10'
53	DOGWOOD	CORNUS DOG	20'	20'	10'
54	DOGWOOD	CORNUS DOG	20'	20'	10'
55	DOGWOOD	CORNUS DOG	20'	20'	10'
56	DOGWOOD	CORNUS DOG	20'	20'	10'
57	DOGWOOD	CORNUS DOG	20'	20'	10'
58	DOGWOOD	CORNUS DOG	20'	20'	10'
59	DOGWOOD	CORNUS DOG	20'	20'	10'
60	DOGWOOD	CORNUS DOG	20'	20'	10'
61	DOGWOOD	CORNUS DOG	20'	20'	10'
62	DOGWOOD	CORNUS DOG	20'	20'	10'
63	DOGWOOD	CORNUS DOG	20'	20'	10'
64	DOGWOOD	CORNUS DOG	20'	20'	10'
65	DOGWOOD	CORNUS DOG	20'	20'	10'
66	DOGWOOD	CORNUS DOG	20'	20'	10'
67	DOGWOOD	CORNUS DOG	20'	20'	10'
68	DOGWOOD	CORNUS DOG	20'	20'	10'
69	DOGWOOD	CORNUS DOG	20'	20'	10'
70	DOGWOOD	CORNUS DOG	20'	20'	10'
71	DOGWOOD	CORNUS DOG	20'	20'	10'
72	DOGWOOD	CORNUS DOG	20'	20'	10'
73	DOGWOOD	CORNUS DOG	20'	20'	10'
74	DOGWOOD	CORNUS DOG	20'	20'	10'
75	DOGWOOD	CORNUS DOG	20'	20'	10'
76	DOGWOOD	CORNUS DOG	20'	20'	10'
77	DOGWOOD	CORNUS DOG	20'	20'	10'
78	DOGWOOD	CORNUS DOG	20'	20'	10'
79	DOGWOOD	CORNUS DOG	20'	20'	10'
80	DOGWOOD	CORNUS DOG	20'	20'	10'
81	DOGWOOD	CORNUS DOG	20'	20'	10'
82	DOGWOOD	CORNUS DOG	20'	20'	10'
83	DOGWOOD	CORNUS DOG	20'	20'	10'
84	DOGWOOD	CORNUS DOG	20'	20'	10'
85	DOGWOOD	CORNUS DOG	20'	20'	10'
86	DOGWOOD	CORNUS DOG	20'	20'	10'
87	DOGWOOD	CORNUS DOG	20'	20'	10'
88	DOGWOOD	CORNUS DOG	20'	20'	10'
89	DOGWOOD	CORNUS DOG	20'	20'	10'
90	DOGWOOD	CORNUS DOG	20'	20'	10'
91	DOGWOOD	CORNUS DOG	20'	20'	10'
92	DOGWOOD	CORNUS DOG	20'	20'	10'
93	DOGWOOD	CORNUS DOG	20'	20'	10'
94	DOGWOOD	CORNUS DOG	20'	20'	10'
95	DOGWOOD	CORNUS DOG	20'	20'	10'
96	DOGWOOD	CORNUS DOG	20'	20'	10'
97	DOGWOOD	CORNUS DOG	20'	20'	10'
98	DOGWOOD	CORNUS DOG	20'	20'	10'





DATE: 11/24/2021  
PROJECT: 21-22354  
SHEET: 1 OF 1

PREPARED FOR:

SAFA PROPERTY, LLC  
8060 Lawrence  
Skokie, IL

VIP - LOMBARD  
849 E. Roosevelt Road  
Lombard, Illinois

PREPARED BY:

Watmark Engineering Resources  
10011 Stager Woods Hwy | Aurora, IL 60002 | (630) 375-1825  
www.watmark-engineering.com

DESIGNED BY: J. WALKER  
DRAWN BY: K. BACH  
CHECKED BY: K. BACH  
DATE: DECEMBER 2, 2021  
SCALE: 1" = 30'  
PROJECT NO.: 21-026

LANDSCAPE PLAN  
NOT TO SCALE

L-2

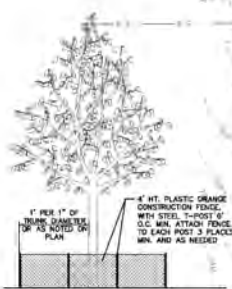
TREE SURVEY & PRESERVATION PLAN

## NOTE:

ALL EXISTING TREES AND UNDERGROWTH IN WETLAND AREA TO BE PRESERVED IN PLACE. NO GRADING OR CONSTRUCTION ACTIVITY IS TO OCCUR IN THIS AREA.



NOTE:  
ALL EXISTING TREES AND UNDERGROWTH IN WETLAND AREA TO BE PRESERVED IN PLACE. NO GRADING OR CONSTRUCTION ACTIVITY IS TO OCCUR IN THIS AREA.



TREE PROTECTION DETAIL  
NOT TO SCALE

NOTE:  
ALL TREES IN THIS HEAVILY WOODED AREA ARE COMPRISED OF SUCKER GROWTH SAPLINGS GROWING FROM STUMPS OF TREES REMOVED IN A PREVIOUS SITE CLEARING OPERATION AND WILL BE REMOVED. THE MAJORITY OF THESE TREES ARE BLACK WALNUT AND EASTERN COTTONWOOD.

NOTE:  
CONTRACTOR TO COORDINATE WITH ADJACENT PROPERTY OWNERS, THE REMOVAL OF ALL OVERHANGING BRANCHES AS NEEDED TO PROVIDE ADEQUATE GROWING CONDITIONS FOR PROPOSED LANDSCAPE OR TO OTHERWISE ADDRESS ANY SAFETY OR SITE FUNCTIONALITY CONCERNS.

EXISTING TREE LIST			
STAMP	COMMON NAME	DBH	STATUS
T1	Black Walnut	12"	Remove
T2	Black Walnut	12"	Remove
T3	Black Walnut	12"	Remove
T4	Black Walnut	12"	Remove
T5	Black Walnut	12"	Remove
T6	Black Walnut	12"	Remove
T7	Black Walnut	12"	Remove
T8	Black Walnut	12"	Remove
T9	Black Walnut	12"	Remove
T10	Black Walnut	12"	Remove
T11	Black Walnut	12"	Remove
T12	Black Walnut	12"	Remove
T13	Black Walnut	12"	Remove
T14	Black Walnut	12"	Remove
T15	Black Walnut	12"	Remove
T16	Black Walnut	12"	Remove
T17	Black Walnut	12"	Remove
T18	Black Walnut	12"	Remove
T19	Black Walnut	12"	Remove
T20	Black Walnut	12"	Remove
T21	Black Walnut	12"	Remove
T22	Black Walnut	12"	Remove
T23	Black Walnut	12"	Remove
T24	Black Walnut	12"	Remove
T25	Black Walnut	12"	Remove
T26	Black Walnut	12"	Remove
T27	Black Walnut	12"	Remove
T28	Black Walnut	12"	Remove
T29	Black Walnut	12"	Remove
T30	Black Walnut	12"	Remove
T31	Black Walnut	12"	Remove
T32	Black Walnut	12"	Remove
T33	Black Walnut	12"	Remove
T34	Black Walnut	12"	Remove
T35	Black Walnut	12"	Remove
T36	Black Walnut	12"	Remove
T37	Black Walnut	12"	Remove
T38	Black Walnut	12"	Remove
T39	Black Walnut	12"	Remove
T40	Black Walnut	12"	Remove
T41	Black Walnut	12"	Remove
T42	Black Walnut	12"	Remove
T43	Black Walnut	12"	Remove
T44	Black Walnut	12"	Remove

GENERAL NOTES:  
1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY.  
(SURVEY PROJECT #21-2254 DATED 08/16/2021)  
PREPARED BY: GENTLE AND ASSOCIATES, INC.  
550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148  
(630) 918-6882  
2. ALL RADIIUS DIMENSIONS ARE TO BACK OF CURB.  
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.  
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.  
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

TREE PRESERVATION NOTES:  
1. TREES WHICH ARE NOTED TO REMAIN AND BE PROTECTED SHALL HAVE PROTECTIVE FENCING INSTALLED PER THE DETAIL. PROVIDED, PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY ON SITE, ANY DAMAGE DONE TO A PROTECTED TREE DURING CONSTRUCTION SHALL BE REPORTED TO THE LANDSCAPE DESIGNER.  
2. TREES WHICH ARE NOTED TO BE REMOVED SHALL HAVE THE STUMP GROUND DOWN A MINIMUM OF 18" BELOW THE ADJACENT GRADE UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE AND AGREED TO BY THE OWNER AND LANDSCAPE DESIGNER. ALL DEBRIS FROM THE REMOVED TREE/STUMP SHALL BE HAILED OFF-SITE.  
3. ALL DISTURBED AREAS SHALL BE RESTORED TO MATCH EXISTING OR PROPOSED CONDITIONS, INCLUDING BACKFILLING OF HOLES LEFT FROM LANDSCAPE MATERIAL REMOVAL. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.  
4. TREES WHICH ARE NOTED TO BE PRUNED SHALL BE PRUNED BY AN I.S. CERTIFIED ARBORIST UNLESS OTHERWISE APPROVED BY THE LANDSCAPE DESIGNER.  
5. NO CONSTRUCTION ACTIVITY, AND/OR PLACEMENT OF EQUIPMENT, MATERIALS, OR SPILLS STORAGE SHALL BE PERMITTED WITHIN THE ROOT ZONE OF ANY PROTECTED TREE. NO EXCESS SOIL, ADDITIONAL FILL, CRUSHED LIMESTONE, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OR LOCATED AT A HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREES COULD POTENTIALLY AFFECT THE HEALTH OF SAID TREES.  
6. IN THE EVENT THAT AN UNDERGROUND UTILITY LINE/PIPE IS PROPOSED TO BE LOCATED WITHIN FIVE FEET OF THE TRUNK OF A TREE, DESIGNATED FOR PRESERVATION, THAT UTILITY LINE/PIPE SHALL (WHERE POSSIBLE) BE ADJUSTED TO PREVENT DAMAGE TO THE ROOT SYSTEM OF THE TREE.  
7. DURING THE CONSTRUCTION PERIOD NO ATTACHMENTS, SIGNS, FENCES, WIRES, ETC. OTHER THAN APPROVED FOR BRACING, CUTTING OR WRAPPING, SHALL BE ATTACHED TO ANY TREE.  
8. UNLESS OTHERWISE NOTED ALL EXISTING ON-SITE PLANT MATERIAL, NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED.  
9. TREES WHICH ARE NOTED TO REMAIN AND BE PROTECTED, AND WHOSE CANOPIES/ROOT SYSTEMS FALL WITHIN AN AREA OF DEMOLITION/CONSTRUCTION, SHALL HAVE ALL ROOTS EXPOSED BY HAND AND CLEARLY PRUNED, USING U.S.A. APPROVED METHODS.  
10. ALL EXISTING TREE LOCATIONS SHOWN ON THIS PLAN WERE TRANSFERRED FROM ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY PREPARED BY GENTLE AND ASSOCIATES, INC. DATED AUGUST 16, 2021. SPECIFIC TREE INFORMATION CONTAINED IN THE EXISTING TREE LIST WAS BASED ON SITE SURVEY PERFORMED ON NOVEMBER 24, 2021.

TREE PRESERVATION AND REMOVALS KEY  
X - REMOVE EXISTING TREE INCLUDING STUMP AND STUMP GRINDINGS/REMOVE BRUSH.  
P - EXISTING TREE TO BE PROTECTED  
[ ] - TREE PROTECTION FENCE



LANDSCAPE PLAN  
DESIGNED BY  
JOSEPH D. DAVITO, P.E.  
J. DAVITO DESIGN, INC.  
(847) 469-8797



## TREE SURVEY & PRESERVATION PLAN

SAFA PROPERTY, LLC  
8080 Lawndale  
Skokie, IL  
VIP - LOMBARD  
849 E. Roosevelt Road  
Lombard, Illinois

Prepared By:  
**Wat & Armark Engineering Resources**  
www.wat-and-armark-engineering.com | 2651 Dwyer Woods Pkwy | Aurora, IL 60012 | (630) 375-1905

DESIGNED BY: J. MILLER  
DRAWN BY: K. SACK  
DATE: DECEMBER 9, 2021  
SCALE: 1"=50'  
PROJECT NO.: 21-002

L-2

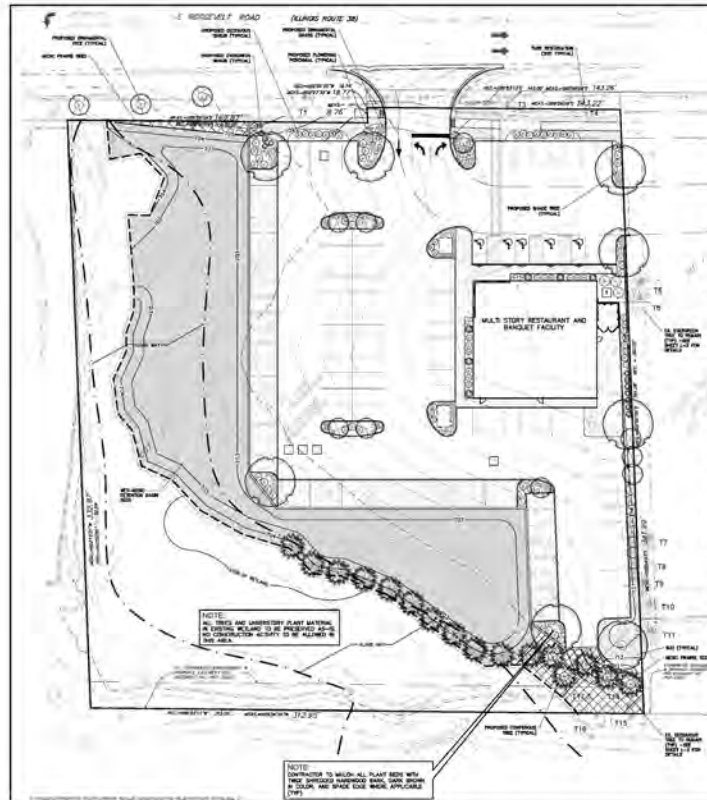




The image is a detailed preliminary landscape plan, labeled 'L-1' in the bottom right corner. It depicts a site layout with various features and annotations:

- Site Layout:** The plan shows a large rectangular area with a 'WETLAND' area on the left side. A 'FLOOD WAY' is indicated near the center. A 'WILD STORY RESTAURANT AND BANQUET FACILITY' is located on the right side. A 'MEAS. = 50284.03'E 341.99'' line is shown on the far right.
- Plant Material:** A large area of 'UNDERSTORY PLANT MATERIAL' is highlighted with a red outline. A text box within this area states: 'LAND TO BE PRESERVED AS-IS. NO REMOVAL ACTIVITY TO BE ALLOWED IN THIS AREA.' The plant material is represented by numerous small, stylized tree symbols.
- Topography:** Elevation contours are shown, with labels such as 703, 704, 705, 706, 707, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
- Annotations:** A note at the bottom left states: 'NOTE: CONSTRUCTION TO MATCH ALL PLANT SPECIES WITH PREVIOUS EXISTING LAND. LAND AREA TO BE PRESERVED AS-IS. NO REMOVAL ACTIVITY TO BE ALLOWED IN THIS AREA.' Another note at the bottom right states: 'NOTE: CONSTRUCTION TO MATCH ALL PLANT SPECIES WITH PREVIOUS EXISTING LAND. LAND AREA TO BE PRESERVED AS-IS. NO REMOVAL ACTIVITY TO BE ALLOWED IN THIS AREA.'
- Scale and Orientation:** A scale bar is located at the bottom center, showing a distance of 100 feet. A north arrow is located at the bottom right.
- Legend:** A legend is located at the bottom left, defining symbols for 'WETLAND', 'FLOOD WAY', and 'UNDERSTORY PLANT MATERIAL'.
- Measurements:** A measurement of 'MEAS. = 8924.09"W 312.95'' is shown near the bottom center.
- Other Features:** The plan includes various other features such as 'ROAD', 'WETLAND', 'FLOOD WAY', 'UNDERSTORY PLANT MATERIAL', 'WILD STORY RESTAURANT AND BANQUET FACILITY', 'MEAS. = 50284.03'E 341.99'', 'MEAS. = 8924.09"W 312.95'', 'NOTE: CONSTRUCTION TO MATCH ALL PLANT SPECIES WITH PREVIOUS EXISTING LAND. LAND AREA TO BE PRESERVED AS-IS. NO REMOVAL ACTIVITY TO BE ALLOWED IN THIS AREA.', 'NOTE: CONSTRUCTION TO MATCH ALL PLANT SPECIES WITH PREVIOUS EXISTING LAND. LAND AREA TO BE PRESERVED AS-IS. NO REMOVAL ACTIVITY TO BE ALLOWED IN THIS AREA.', 'SCALE BAR', 'NORTH ARROW', 'LEGEND', 'Preliminary Landscape Plan L-1'.



[illegible]





# PARKING SUPPLY

FLOOR	SEATS	DINING AREA
Cellar	0	0 SF
First	92	1,530 SF
Second	156	2,140 SF
Third (indoor)	72	1,600 SF
Third (outdoor)	28	770 SF
TOTAL	348	5,270 SF - 6,040 SF

ONE (1) SPACE PER THREE (3) SEATS  
PLUS 15 WITH OFF-SITE EMPLOYEE SPACES  
PLUS 15-18 WITH VALET OPERATION  
MAXIMUM EMPLOYEE SHIFT OF 22

INSTITUTE OF TRAFFIC ENGINEERS DATA  
SUBMITTED WITH APPLICATION SAYS THE  
SUPPLY IS SUFFICIENT FOR THE USE

60% IS THE NORMAL DINING AREA  
28-32% IS THE PROJECT DINING AREA

KLOA/STAFF  
NEIGHBORS

104  
7

**GENERAL NOTES:**

1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148 (630) 916-6262
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

### ON SITE PARKING DATA

REGULAR SPACES	108
EMPLOYEE ONLY SPACES	3
<u>ADA ACCESSIBLE SPACES</u>	<u>5</u>
TOTAL SPACES	116

116

## SITE DATA

LOT AREA = 105,372 S.F. (2.42 AC.)  
BUILDING AREA = 18,593 S.F. (INCLUDING  
CELLAR AND ROOF TOP)  
F.A.R. = 0.18

## DIMENSION LEGEND

F	= FACE	FNC	= FENCE
FND	= FOUNDATION	R	= RADIUS
B	= BACK	C	= CENTER
E	= EDGE	PL	= PROPERTY LINE

PROPERTY, LLC Lawndale okie, IL	OMBARD oosevelt Road ard, Illinois	Prepared For:		
		NO.	REVISIONS	DATE
		1	NEW SITE PLAN TO AVOID WETLAND	1/12/22
		2	PER VILLAGE CALL ON 2/01/22	2/03/22

# COMPARISON OF PARKING REGULATIONS AND EFFECT

MUNICIPALITY	PER 1000	SEATS	EMPLOYEE	BAR	GFA DEFINITION	PROJECT
Addison	33	N/A	N/A	N/A	Dining + Kitchen	295
Arlington Heights	22	N/A	N/A	N/A	Seating area only	184
Bensenville	10	N/A	N/A	1:100 SF	Gross, no exclusions	131
Bloomindale	13	N/A	N/A	1 per 30%	Gross, limited exclusions	167
Burr Ridge	10	N/A	1:1 emp	N/A	Dining + Kitchen	122
Carol Stream	16	N/A	N/A	N/A	Dining + Kitchen	130
Downers Grove	10	1:4 seats	N/A	N/A	Gross, limited exclusions	131
DuPage County	15	N/A	N/A	N/A	Gross, limited exclusions	208
Elmhurst	10	N/A	N/A	N/A	Gross, limited exclusions	122
Glen Ellyn	N/A	1:3 seats	N/A	N/A	Dining + Kitchen	116
Glendale Heights	10	N/A	N/A	N/A	All no basement	139
Hinsdale	5	1:3 seats	1:2 emp	N/A	Dining + Kitchen	126
Lisle	10	1:3 seats	1:3 emp	N/A	Seating	123
Lombard <7000	16	N/A	N/A	N/A	Gross, limited exclusions	158
Lombard >7000 Min	18.5	N/A	N/A	N/A	Gross, limited exclusions	181
Lombard Project	26.7	N/A	N/A	N/A	Gross, limited exclusions	246
Naperville	10	N/A	N/A	N/A	All no basement	139
Oak Brook	10	N/A	N/A	N/A	All no basement midwall	128
Oak Park	4	N/A	N/A	N/A	Gross, no exclusions	37
Oakbrook Terrace	12	N/A	N/A	N/A	Gross, limited exclusions	161
Orland Park	10	N/A	N/A	N/A	Gross, no exclusions	180
Schaumburg	16	N/A	N/A	N/A	Dining + Most Kitchen	90
Skokie	10	N/A	N/A	N/A	Gross, many exclusions	110
St. Charles	10	N/A	N/A	N/A	Gross, limited exclusions	180
Villa Park	N/A	3:1 seats	N/A	N/A	All no basement	127
West Chicago	10	N/A	N/A	N/A	All no basement	138
Westmont	10	4:1 seats	2:3 emp	N/A	Gross, many exclusions	106
Wheaton	15	N/A	N/A	N/A	Gross, excludes most, note that it is also TBD by code Council approval	131
Woodridge	12	N/A	N/A	N/A	Dining + Kitchen	98

## PARKING SUFFICIENT IN:

Bensenville, Burr Ridge, Carol Stream, Downers Grove, Elmhurst, Glen Ellyn, Hinsdale, Lisle, Oak Brook, Oak Park, Schaumburg, Skokie, Villa Park, Westmont, Wheaton, Woodridge

60% IS THE NORMAL DINING AREA  
28-32% IS PROJECT DINING AREA

LOMBARD

<10 OF:  
Naperville,  
West Chicago



Wheaton determines parking on each project without variations.



## Land Use: 931 Quality Restaurant

### Description

This land use consists of high quality, full-service eating establishments with a typical duration of stay of at least one hour. They are also commonly referred to as fine dining. Quality restaurants generally do not serve breakfast; some do not serve lunch; all serve dinner. This type of restaurant often requests and sometimes requires a reservation and is generally not part of a chain. A patron commonly waits to be seated, is served by wait staff, orders from a menu and pays after the meal. Some of the study sites have lounge or bar facilities (serving alcoholic beverages), but they are ancillary to the restaurant. Fast casual restaurant (Land Use 930) and high-turnover (sit-down) restaurant (Land Use 932) are related uses.

### Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a Monday-through-Thursday weekday (one study site) and a Friday (one study site) in a general urban/suburban setting.

Hour Beginning	Percent of Peak Parking Demand	
	Weekday	Friday
12:00–4:00 a.m.	–	–
5:00 a.m.	–	–
6:00 a.m.	–	–
7:00 a.m.	–	–
8:00 a.m.	–	–
9:00 a.m.	–	–
10:00 a.m.	–	–
11:00 a.m.	20	11
12:00 p.m.	51	37
1:00 p.m.	56	54
2:00 p.m.	40	29
3:00 p.m.	27	22
4:00 p.m.	27	14
5:00 p.m.	39	18
6:00 p.m.	71	42
7:00 p.m.	100	91
8:00 p.m.	97	100
9:00 p.m.	–	–

## Quality Restaurant (931)

**Peak Period Parking Demand vs: Seats**  
**On a: Friday**  
**Setting/Location: General Urban/Suburban**  
**Peak Period of Parking Demand: 7:00 - 9:00 p.m.**  
 Number of Studies: 9  
 Avg. Num. of Seats: 189

### Peak Period Parking Demand per Seat

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.47	0.24 - 1.00	0.33 / 0.86	***	0.22 (47%)

## Quality Restaurant (931)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GFA**  
**On a: Friday**  
**Setting/Location: General Urban/Suburban**  
**Peak Period of Parking Demand: 7:00 - 9:00 p.m.**  
 Number of Studies: 11  
 Avg. 1000 Sq. Ft. GFA: 6.1

### Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
14.84	7.84 - 29.70	11.93 / 22.52	***	5.32 (36%)

Land Use: 932 High-Turnover (Sit-Down) Restaurant

Description

This land use consists of sit-down, full-service eating establishments with a typical duration of stay of 60 minutes or less. They are commonly referred to as casual dining. This type of restaurant is usually moderately priced and frequently belongs to a restaurant chain. Generally, these restaurants serve lunch and dinner; they may also be open for breakfast and are sometimes open 24 hours a day. These restaurants typically do not accept reservations. A patron commonly waits to be seated, is served by wait staff, orders from a menu, and pays after the meal. Some facilities offer carry-out for a small proportion of its customers. Some facilities within this land use may also contain lounge or bar area for serving food and alcoholic drinks. Fast casual restaurant (Land Use 930), quality restaurant (Land Use 931), fast-food restaurant without drive-through window (Land Use 933), and fast-food restaurant with drive-through window (Land Use 934) are related uses.

The analysis of parking demand for this land use has identified different parking demand rates between high-turnover restaurants with and without lounges. The term "family restaurant" is used interchangeably as an abbreviated version of "high-turnover (sit-down) restaurant without lounge or bar facilities."

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday at family restaurants that serve breakfast, lunch, and dinner (12 study sites); family restaurants that serve lunch and dinner (38 sites), and restaurants with a lounge or bar (four sites).

Hour Beginning	Percent of Weekday Peak Parking Demand		
	Family (breakfast, lunch, and dinner)	Family (lunch and dinner)	Lounge or Bar
12:00–4:00 a.m.	—	—	—
5:00 a.m.	—	—	—
6:00 a.m.	10	—	—
7:00 a.m.	25	—	—
8:00 a.m.	68	—	—
9:00 a.m.	72	—	—
10:00 a.m.	77	26	9
11:00 a.m.	83	43	15
12:00 p.m.	100	95	100
1:00 p.m.	91	95	81
2:00 p.m.	56	49	54
3:00 p.m.	42	39	33
4:00 p.m.	42	37	26
5:00 p.m.	64	62	29
6:00 p.m.	87	99	58
7:00 p.m.	79	100	70
8:00 p.m.	65	83	77
9:00 p.m.	42	51	61
10:00 p.m.	21	28	41
11:00 p.m.	—	—	—

High-Turnover (Sit Down) Restaurant - Family (932)

Peak Period Parking Demand vs: Seats  
On a: Friday  
Setting/Location: General Urban/Suburban  
Peak Period of Parking Demand: 12:00 - 1:00 p.m.; 6:00 - 8:00 p.m.  
Number of Studies: 5  
Avg. Num. of Seats: 91

Peak Period Parking Demand per Seat

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.47	0.33 - 0.58	0.38 / 0.58	***	0.10 (21%)

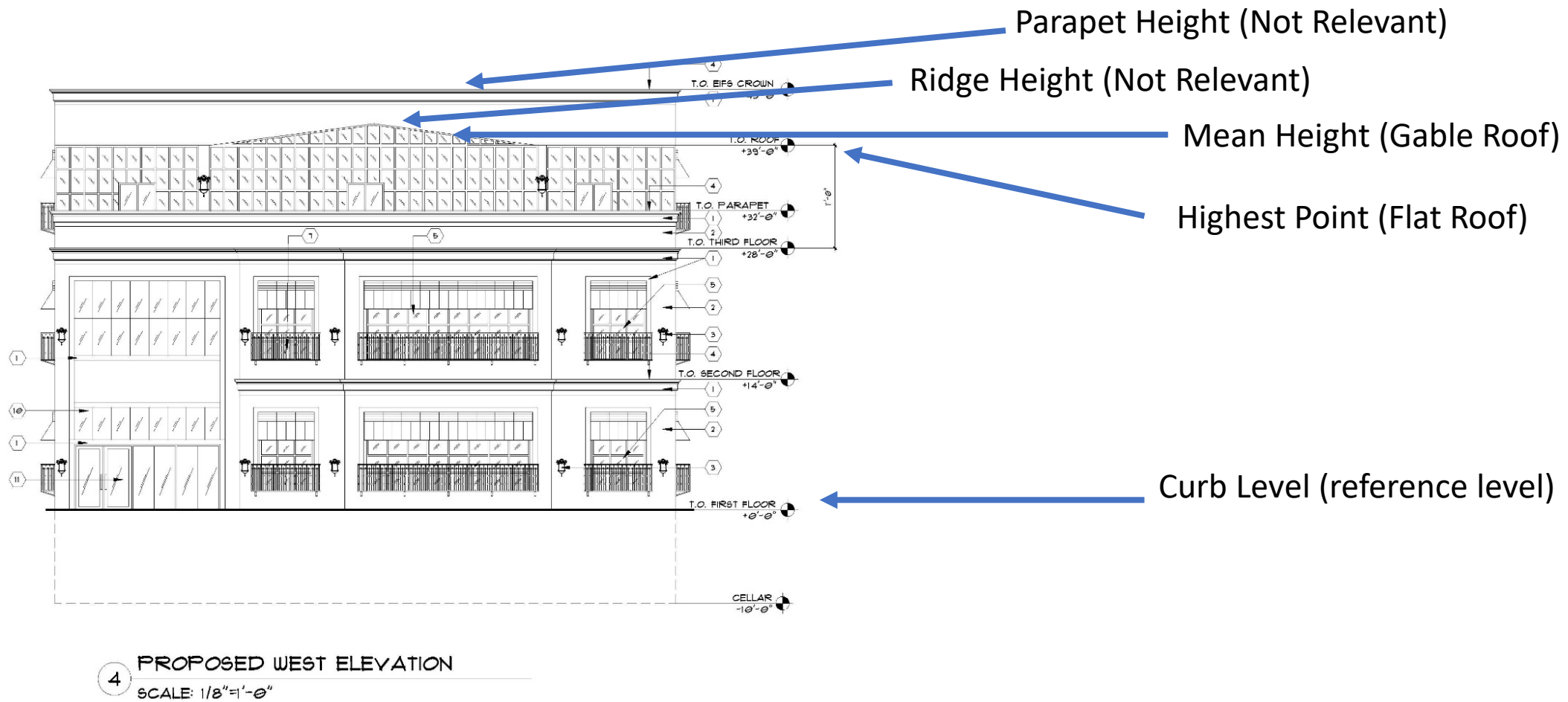
High-Turnover (Sit Down) Restaurant - Family (932)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA  
On a: Saturday  
Setting/Location: General Urban/Suburban  
Peak Period of Parking Demand: 10:00 a.m. - 12:00 p.m.; 6:00 - 9:00 p.m.  
Number of Studies: 14  
Avg. 1000 Sq. Ft. GFA: 3.7

Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
12.28	7.03 - 26.49	8.17 / 24.91	***	6.10 (50%)

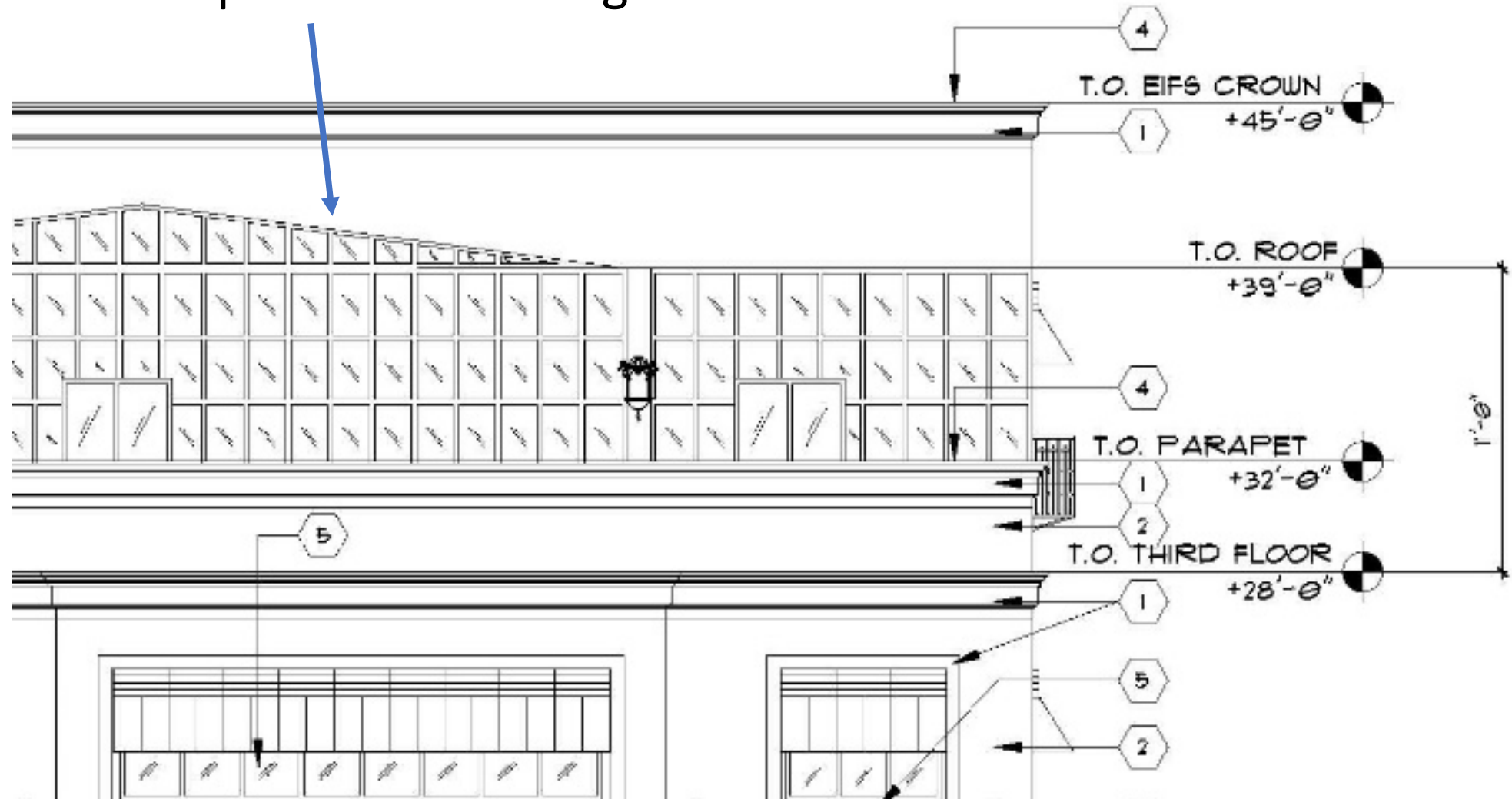




Building height is the vertical distance measured from the reference level (curb level, or its equivalent, or the average elevation of the finished lot grade in front of the building) to the highest point of the roof surface of a flat roof; to the deck of a mansard roof; and to the mean height level between eaves and ridge of gable, hip, pitch and gambrel roofs.

Applicant cannot determine height to mean until structural review and specifications for glass roof.

*The height to mean may be 40 feet (which complies), but it will likely be 41-43 feet.*

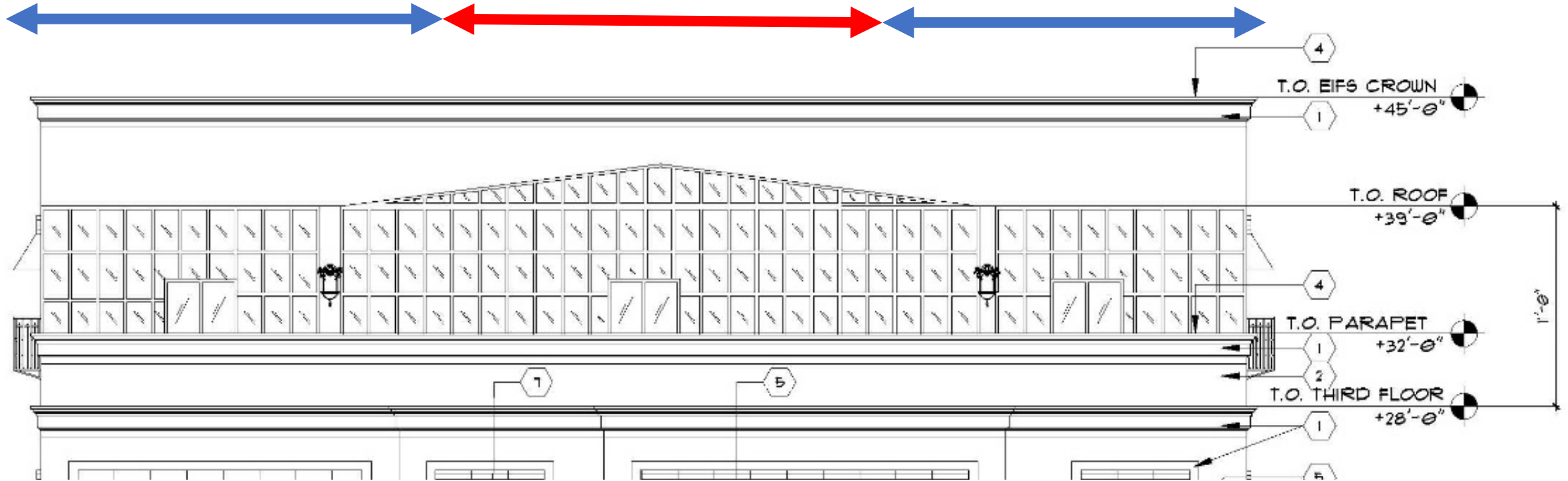




# COMPLIES

20-42 SF of the glass roof,  
appearing 2-3 feet below  
a solid parapet, may  
exceed the height limit.

# COMPLIES

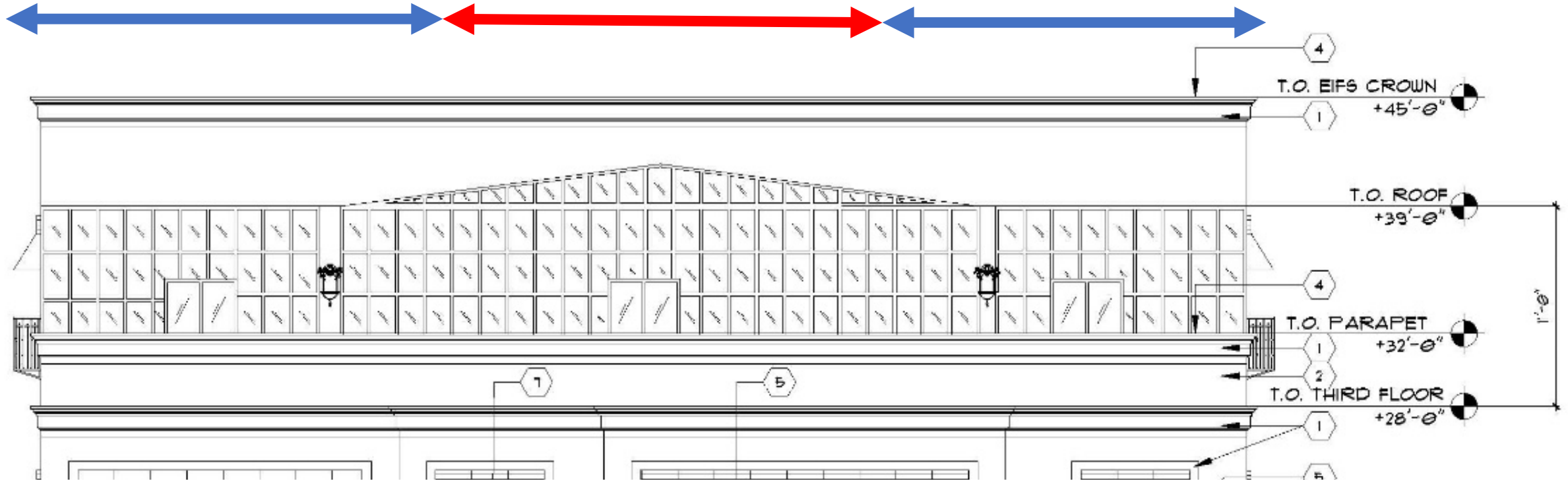


# WEST ELEVATION

COMPLIES

20-42 SF of the glass roof,  
appearing 2-3 feet below  
a solid parapet, may  
exceed the height limit.

COMPLIES



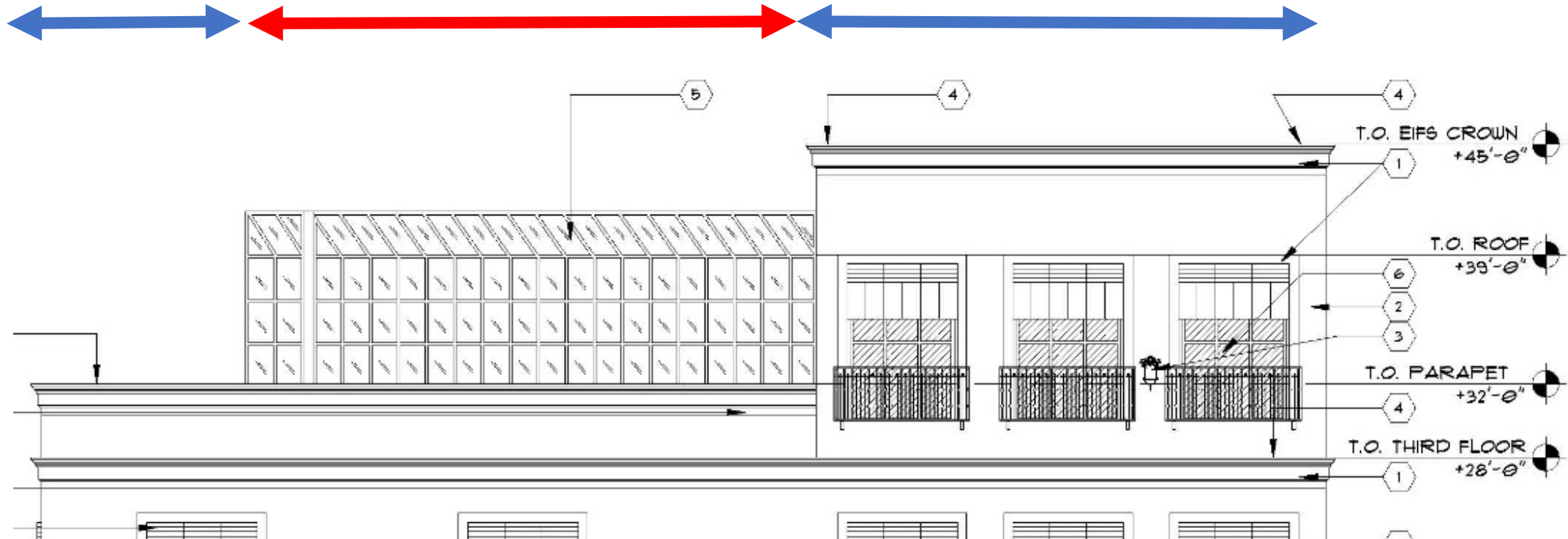


# SOUTH ELEVATION

COMPLIES

30-60 SF of the glass roof,  
appearing 2-3 feet below  
a solid parapet, may  
exceed the height limit.

COMPLIES





## ELIMINATE LIGHT

PLAN FOR LIGHTING ZONES SO  
UPPER TWO FLOORS CAN BE OFF WHILE  
LOWER FLOOR CAN MEET DIMMED  
CLOSED HOUR REQUIREMENTS





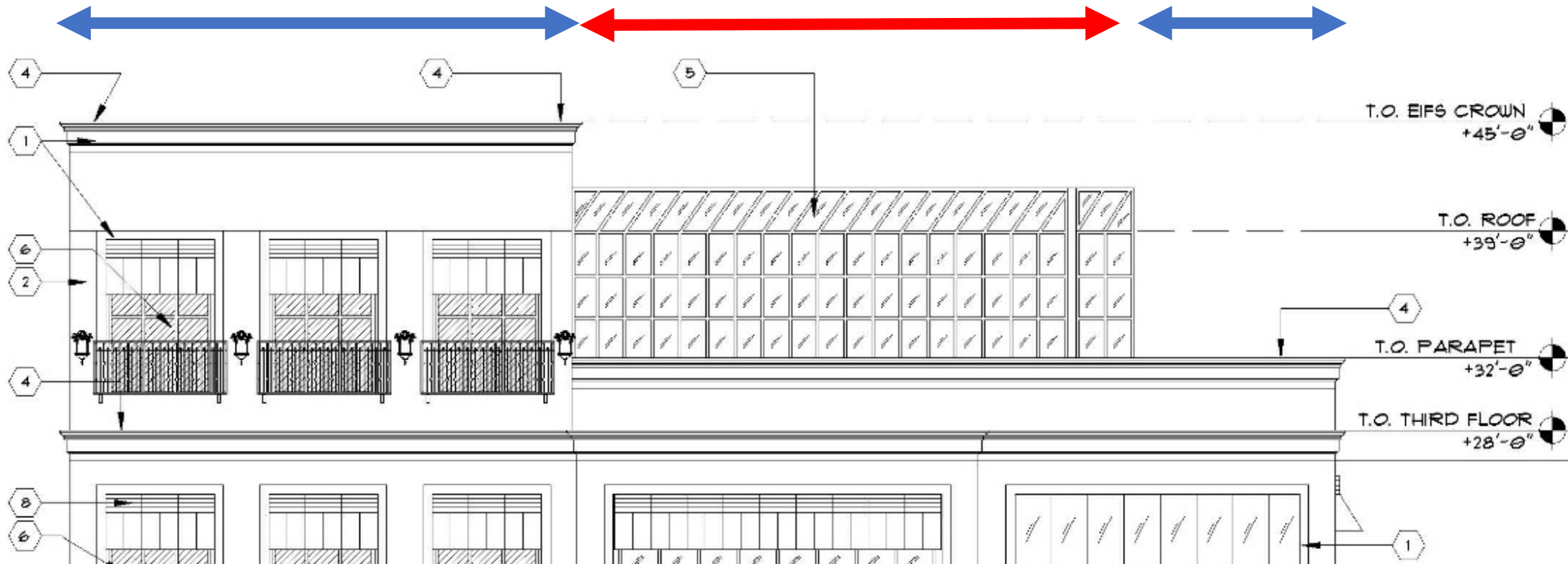


# NORTH ELEVATION

COMPLIES

30-60 SF of the glass roof,  
appearing 2-3 feet below  
a solid parapet, may  
exceed the height limit.

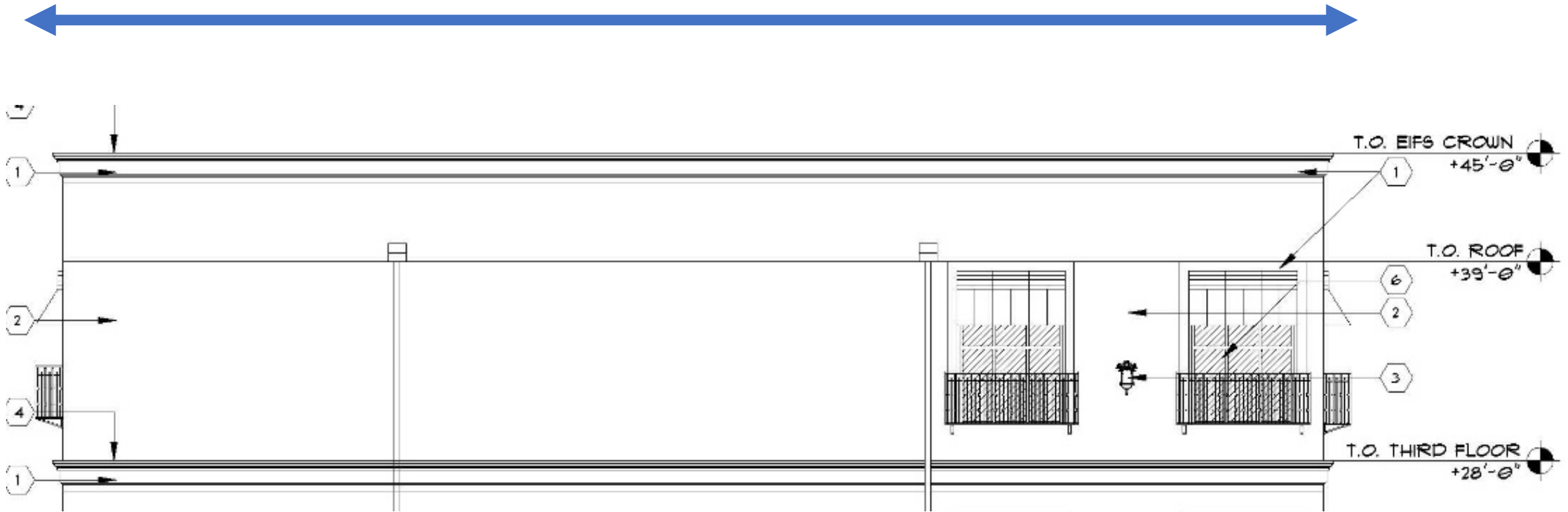
COMPLIES

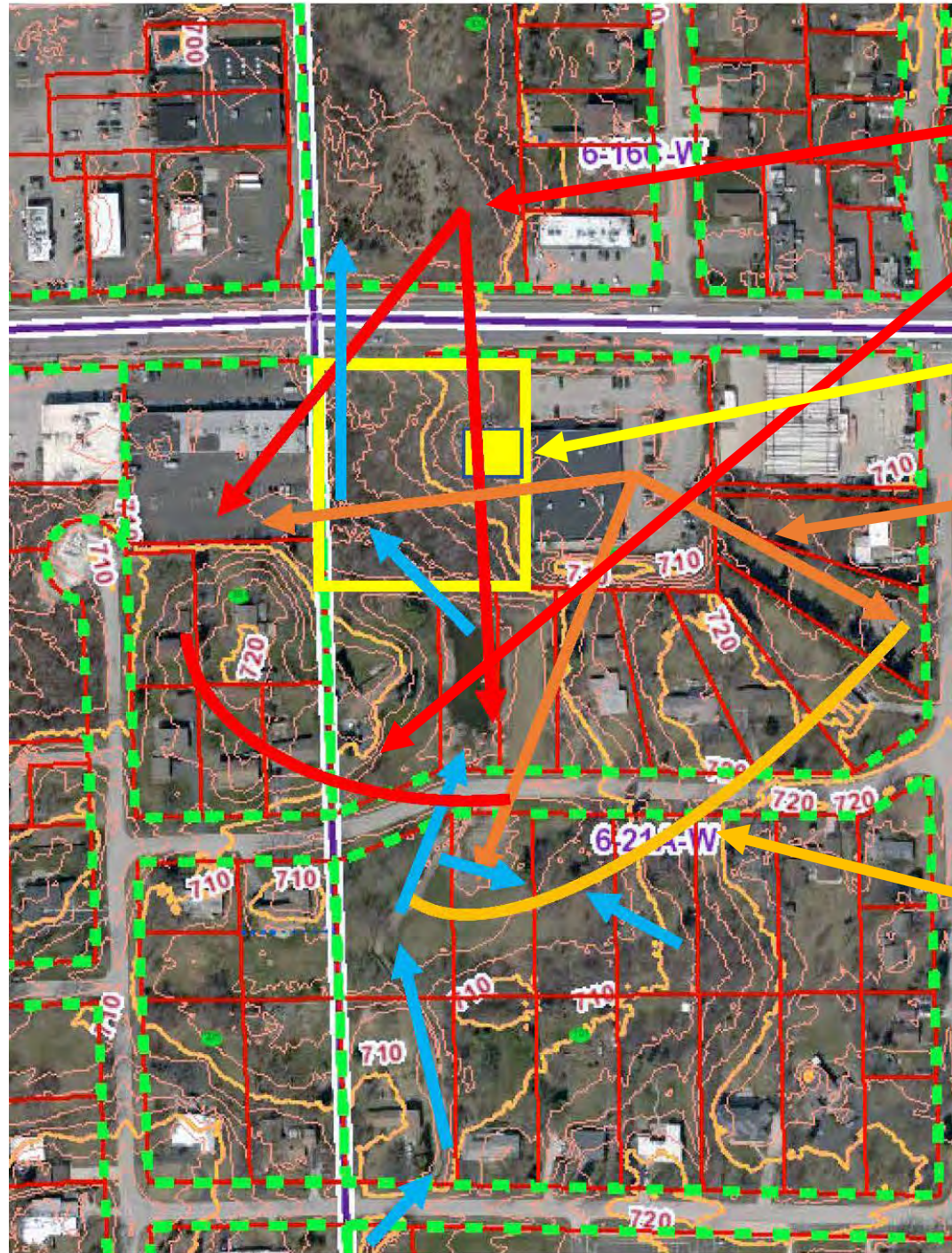




# EAST ELEVATION

## COMPLIES





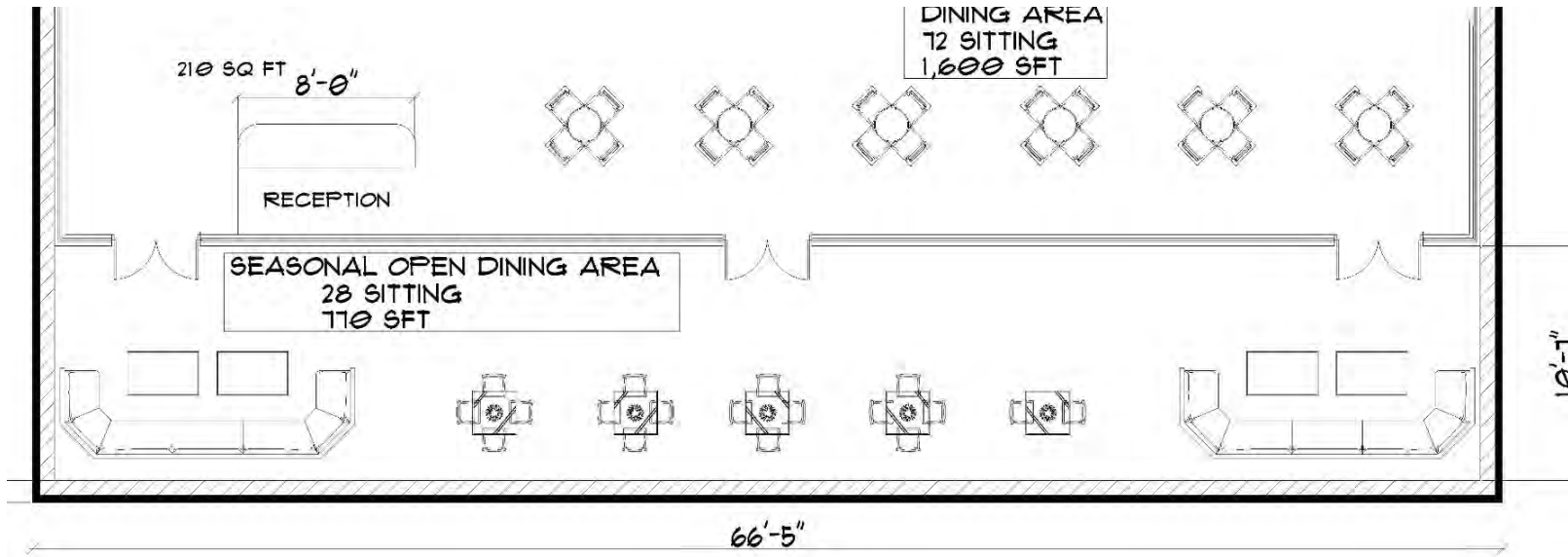
SELF STORAGE CONSTRUCTION NOISE

SUBJECT PROPERTY

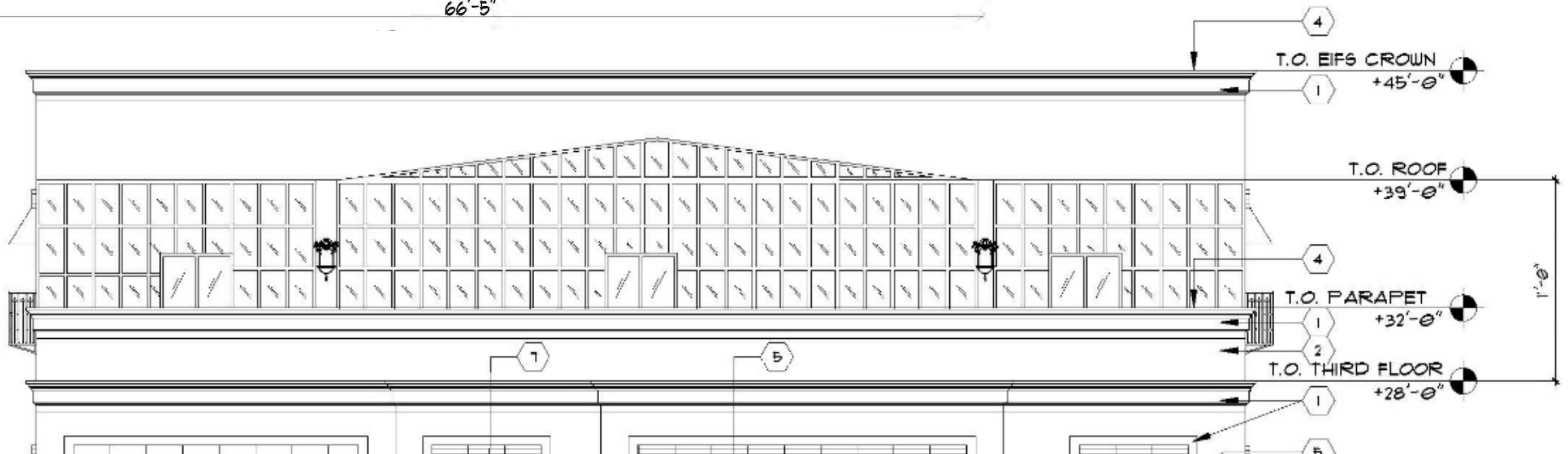
PEPBOYS NOISE

RT 38/CONSTR/PEPBOYS NOISE





28 SEATS, 770 SQUARE FEET  
NO AMPLIFIED SOUND  
NONOPERATIONAL NOT AUDIBLE  
LIMITED HOURS  
SWINGING DOORS  
DCHD REQUIRES CLOSED



# COMMENT ON CERTIFICATIONS

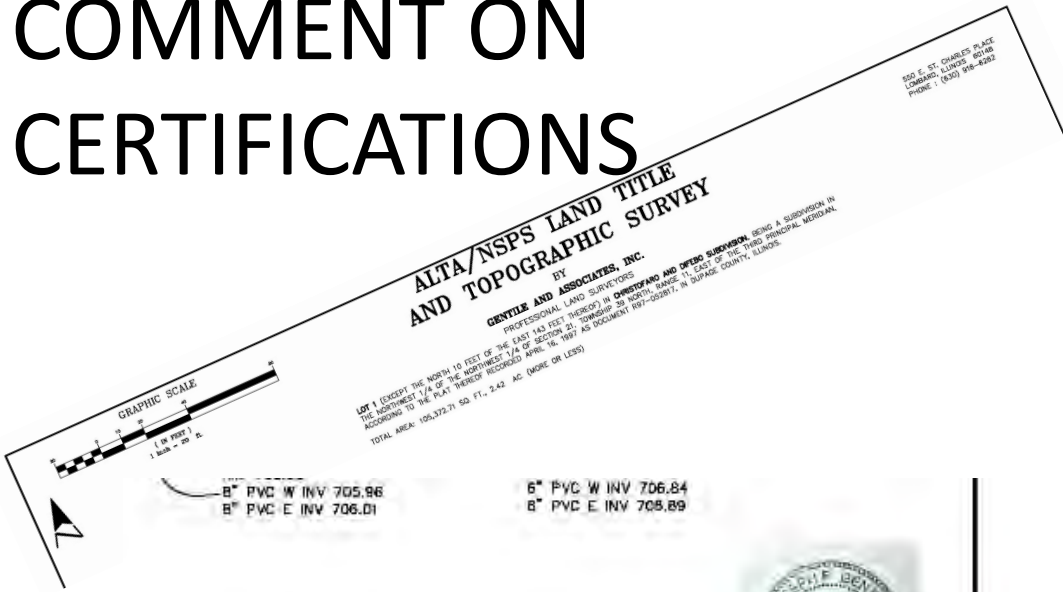


TABLE "A" ITEMS LISTED IN SURVEYOR'S CERTIFICATE NOT OTHERWISE SHOWN HEREON:  
7) NO NO BULDCSS ON SUBJECT PROPERTY AT TIME OF SURVEY;  
8) NO PARKING STALLS ON SUBJECT PROPERTY AT TIME OF SURVEY;  
STATE OF ILLINOIS) S.S.  
COUNTY OF DUPage)

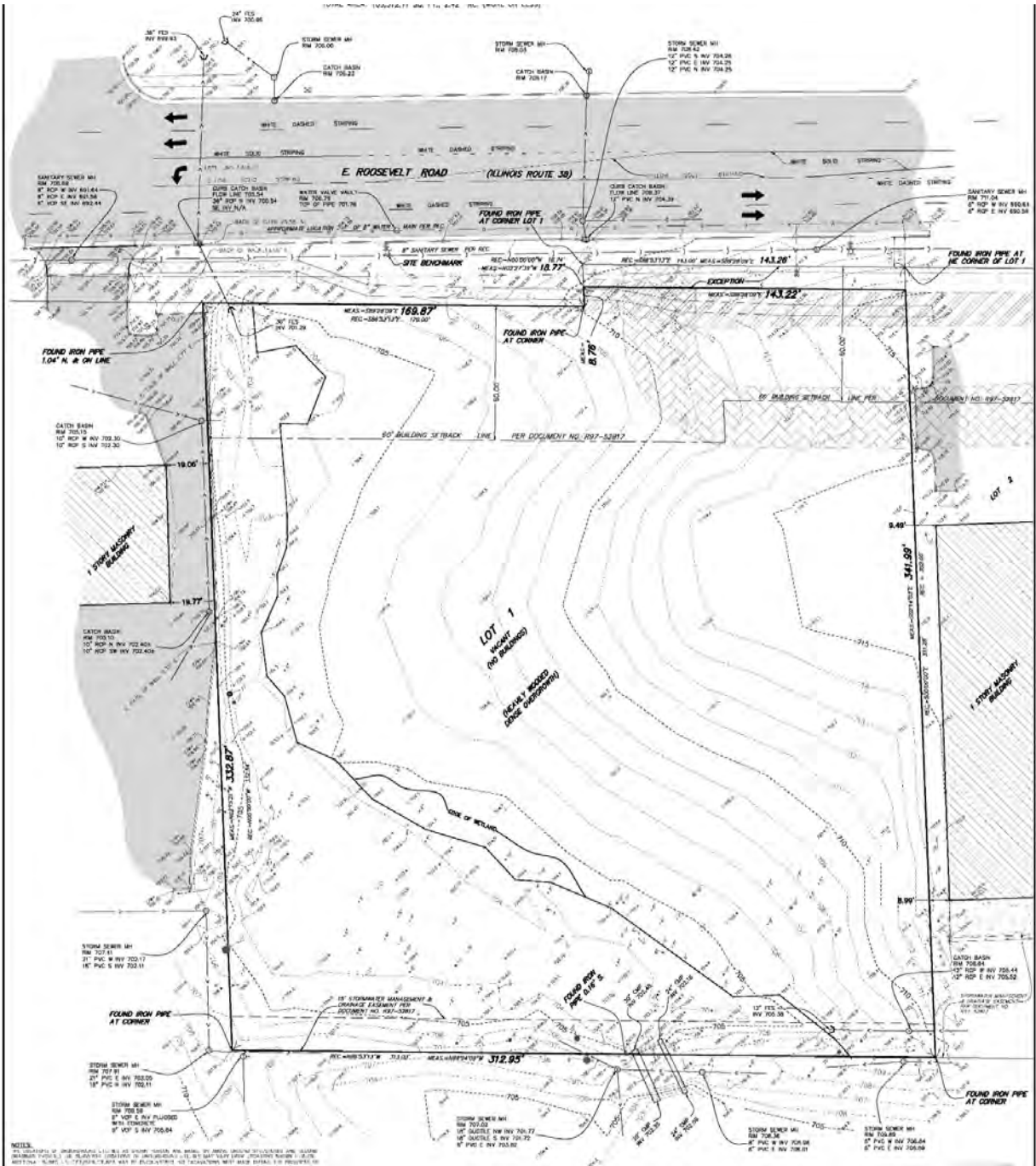
TO: 1) FIDELITY NATIONAL TITLE INSURANCE COMPANY  
2) ZARMIN INVESTMENTS, LLC, A LIMITED LIABILITY COMPANY  
3) SAFA PROPERTY LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7, 8, 9 AND 11 OF TABLE A THEREOF.

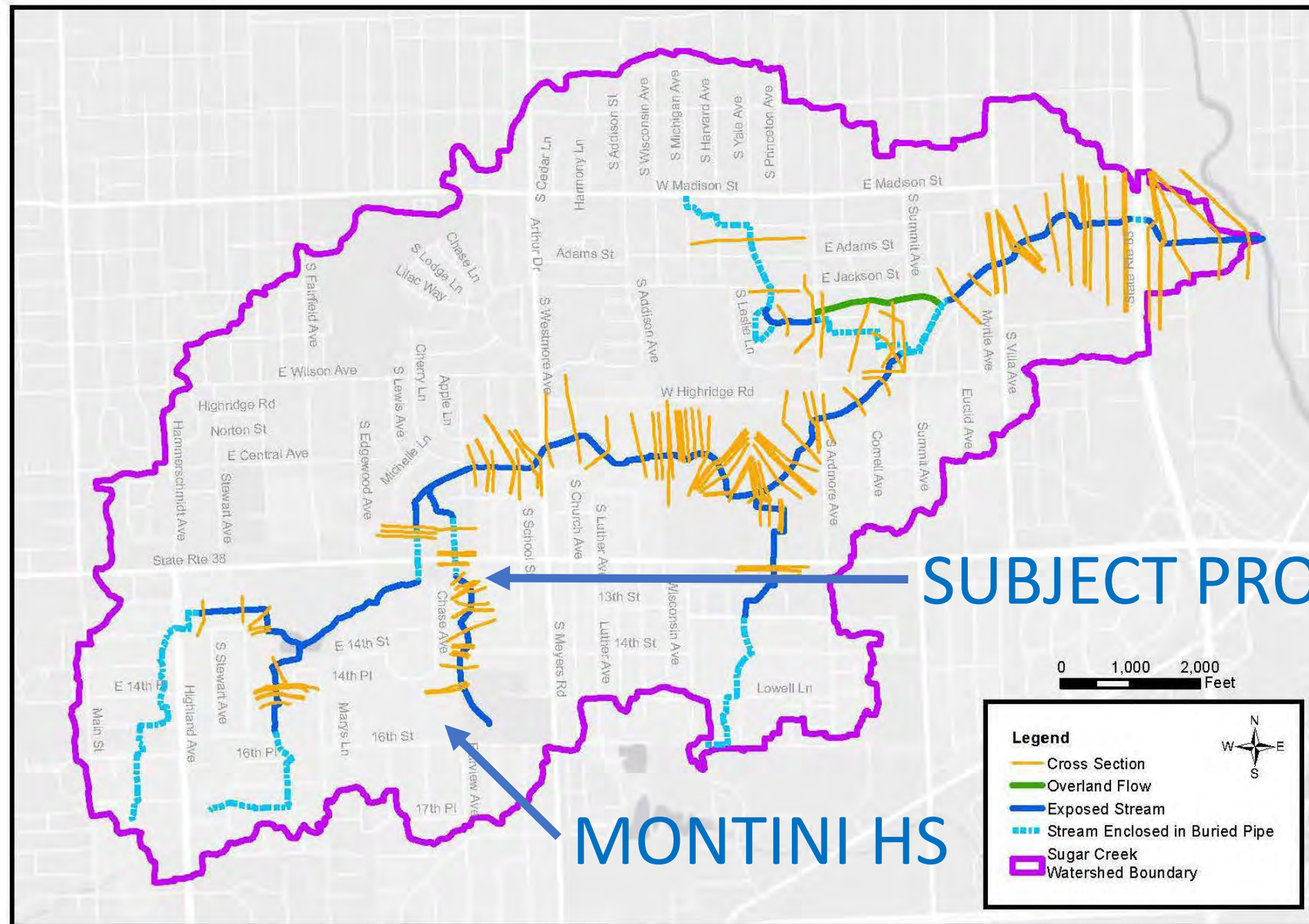
THE FIELD WORK WAS COMPLETED ON AUGUST 12, A.D. 2021.

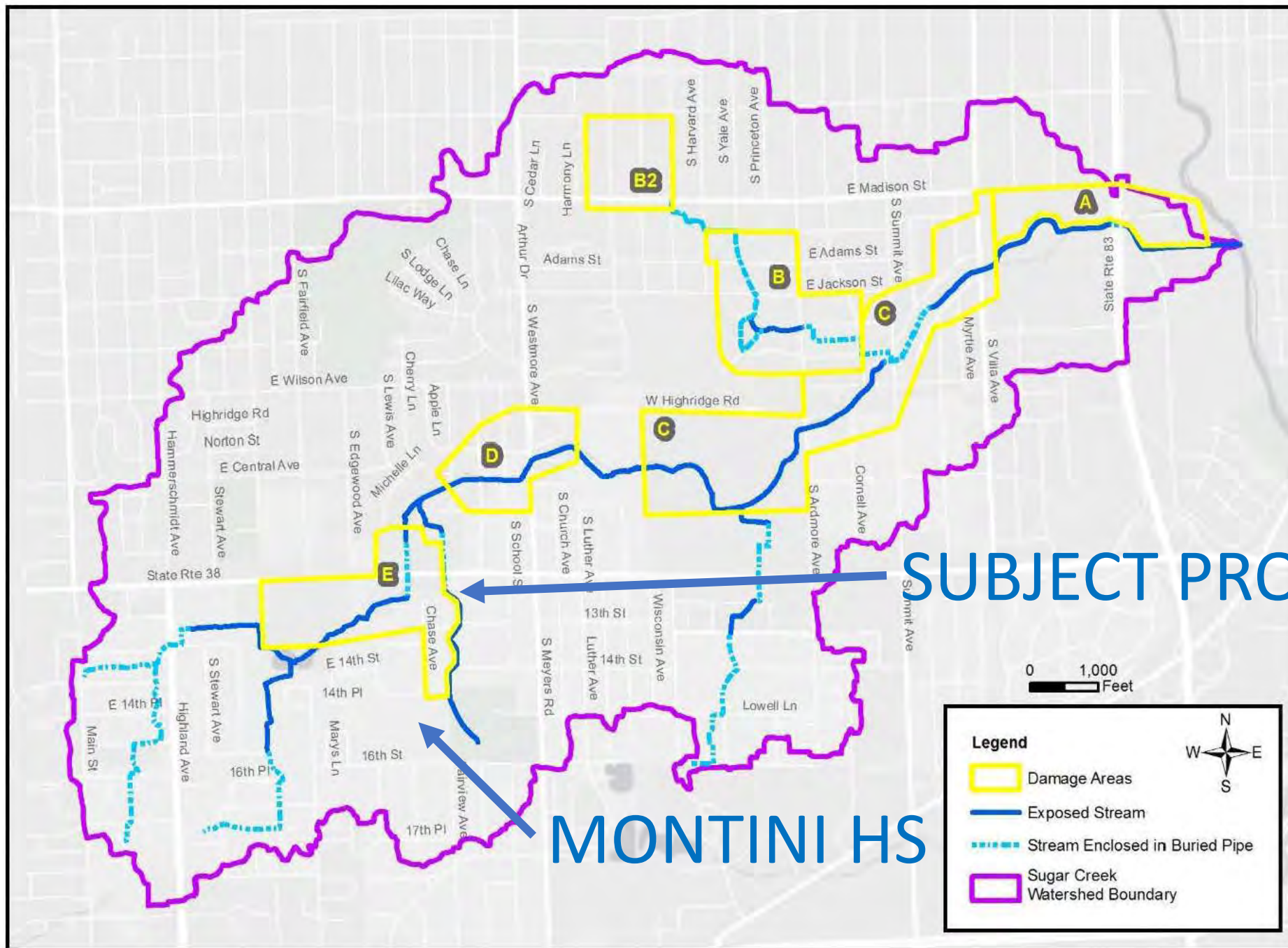
DATE OF PLAT: AUGUST 16, A.D. 2021

BY: *Joseph P. Gentile*  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2925  
MY LICENSE EXPIRES NOVEMBER 30, 2022  
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.002870









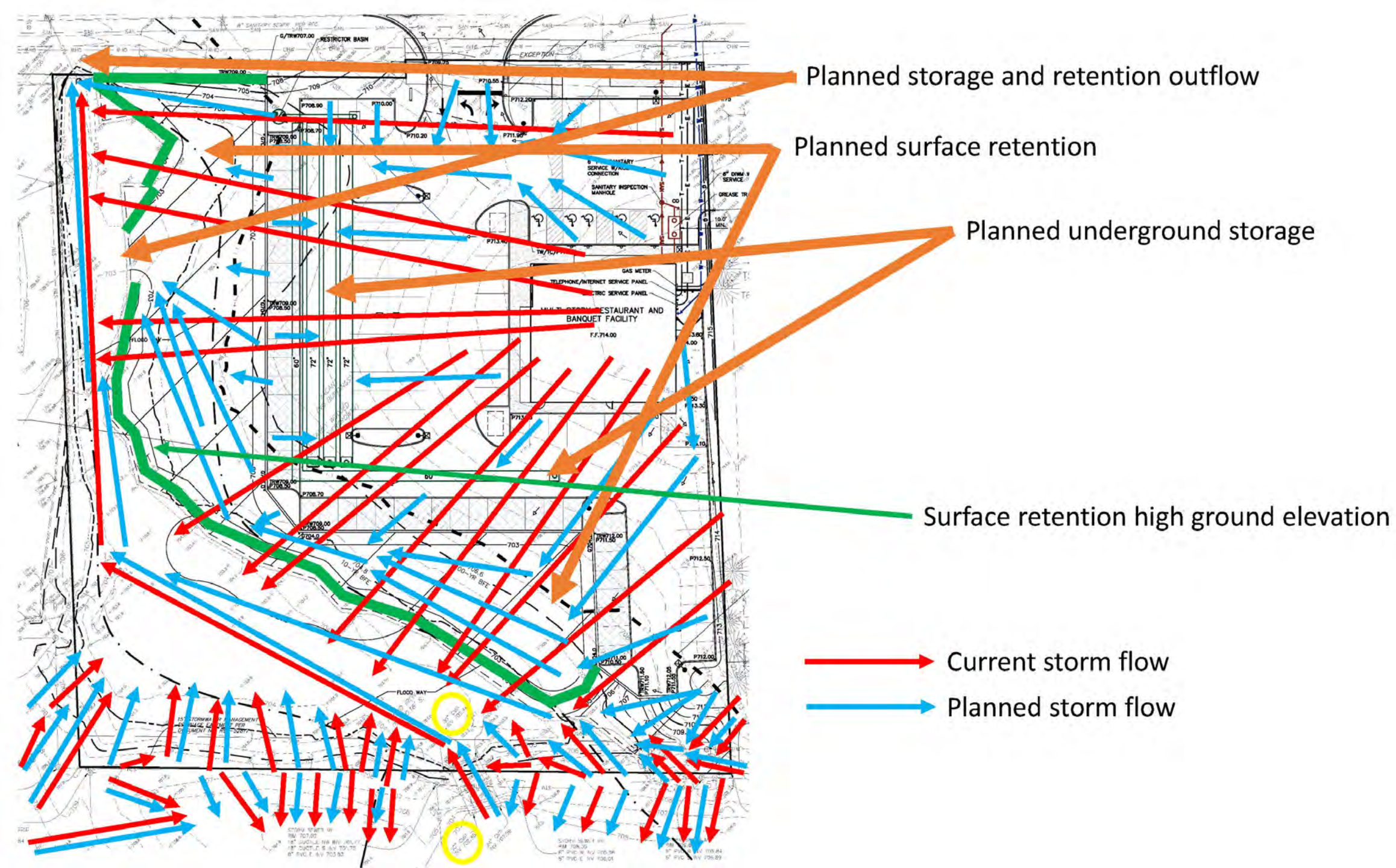


NO AREA E  
RESIDENTIAL  
FLOOD  
DAMAGES IN  
60 YEARS

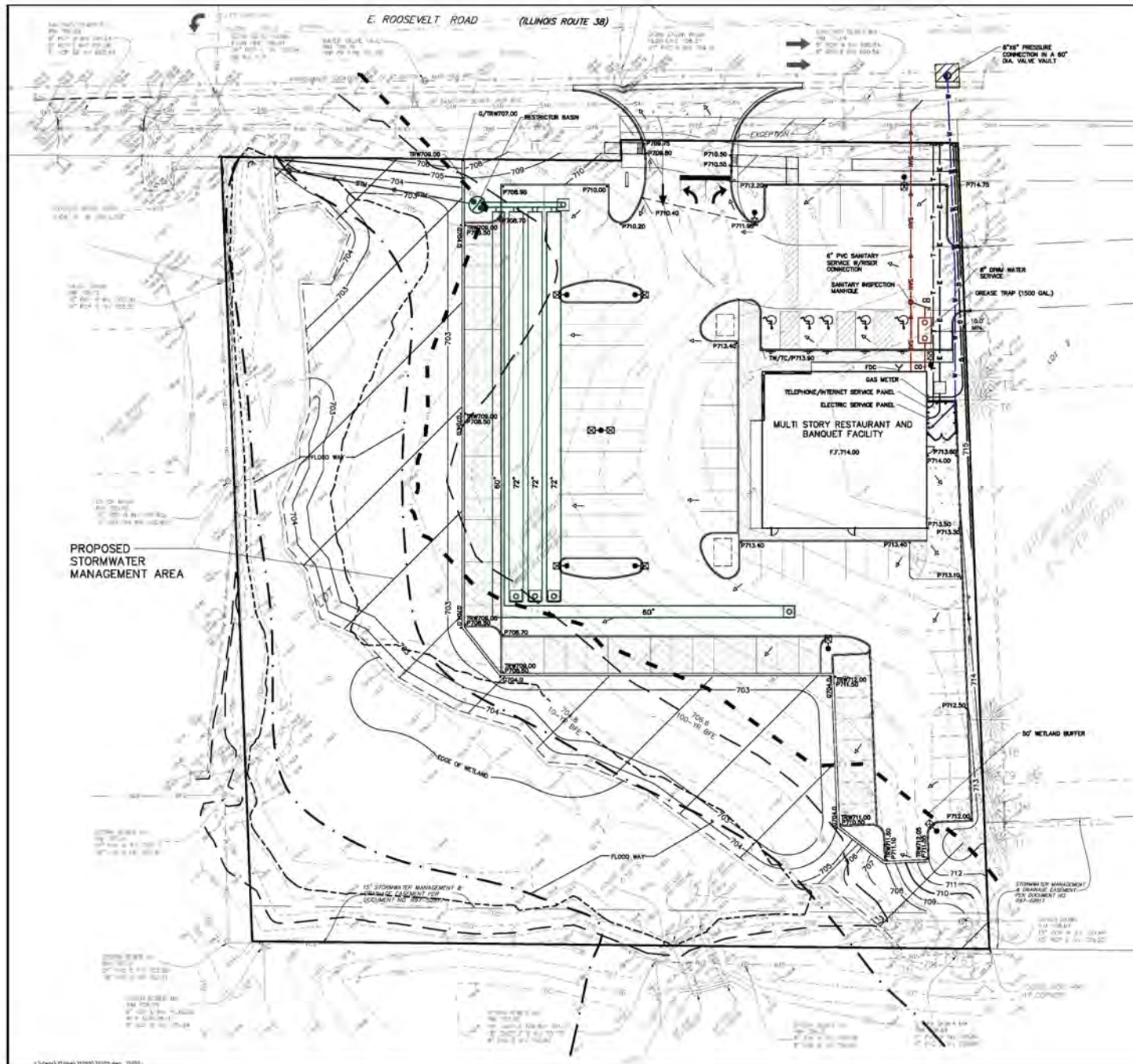
\$2,000 IN  
NON-RES  
FLOOD  
DAMAGES IN  
60 YEARS

Location (shown on Figure 4-1)	Total Computed Damages (60 year)	Number of Structures Flooded	Buyout Eligible Structures if No Further Action Is Taken	Number of Structures with Associated Damages Only
Residential				
Lower Sugar Creek, Damage Area A	\$0	0	0	1
Tributary No. 1 Damage Area B	\$1,316,000	15	11	3
Tributary No. 1 Damage Area B2	\$1,210,000	19	7	15
Middle Sugar Creek, Damage Area C	\$327,000	8	0	11
Upper Sugar Creek, Damage Area D	\$173,000	6	1	5
Businesses/Public Buildings				
Lower Sugar Creek, Damage Area A	\$4,000	1	0	1
Middle Sugar Creek, Damage Area C	\$1,336,000	1	0	0
Upper Sugar Creek, Damage Area E	\$2,000	0	0	1
Totals:	\$4,369,000	50	19	37
Average Annual Damages:	\$73,000			









- GENERAL NOTES:**
1. THESE PLANS ARE BASED ON THE ALTA/NSP'S LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/16/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 550 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60146 (630) 916-6282
  2. ALL RADIIUS DIMENSIONS ARE TO BACK OF CURB.
  3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
  5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

**REFERENCE BENCHMARK:**  
SURFACE COUNTY BENCHMARK #X050202 (NAD 83 DATUM) STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE ELINDS PRAIRIE PATH AND CENTRAL BOULEVARD. STATION IS 21.5 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE ELINDS PRAIRIE PATH, AND 146.0 FT NORTH OF PARK AVENUE. MONUMENT IS 0.85 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.  
ELEVATION = 709.33

**SITE BENCHMARK:**  
TAG BOLT AND FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38), THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.  
ELEVATION = 708.75

**STORMWATER MANAGEMENT DATA**

**WETLAND:**  
-NO IMPACT

**WETLAND BUFFER:**  
-50' REQUIRED, 19' TO 85' PROPOSED  
-25,321 sq ft @ 50', 25,365 sq ft @ PROPOSED

**FLOODWAY:**  
-NO IMPACT

**FLOODPLAIN:**  
-100 YR BFE = 706.6  
-10 YR BFE = 704.8  
-0-10 YR FILL = 0 cy  
-0-10 YR CUT/COMP. STORAGE REQ. = 0 cy  
-10-100 YR FILL = 93 cy  
-10-100 YR CUT/COMP. STORAGE REQ. = 140 cy  
(1.5453 cy FILL)  
-10-100 YR CUT/COMP. STORAGE PROP. = 339 cy > 140 cy

**NEW RUNOFF STORAGE:**  
-REQUIRED STORAGE PER UNIT AREA DETENTION VOLUMES NIPCC STUDY  
-DRAINAGE AREA = 1.21 AC  
-IMPERVIOUS AREA = 0.94 AC  
-UNIT DETENTION REQ. = 0.47 cc-ft/ac  
-REQUIRED STORAGE = 0.57 cc-ft (24,773 cf)  
-STORAGE PROPOSED = 0.59 cc-ft (25,857 cf)  
-0.59 cc-ft > 0.57 cc-ft OK  
-THE PROPOSED STORAGE IS PROVIDED IN OVERSIZED PIPE (18,767 cf) AND THE VOIDS IN THE STONE AROUND THE PIPE (6,089 cf USING A POROSITY OF 0.30)

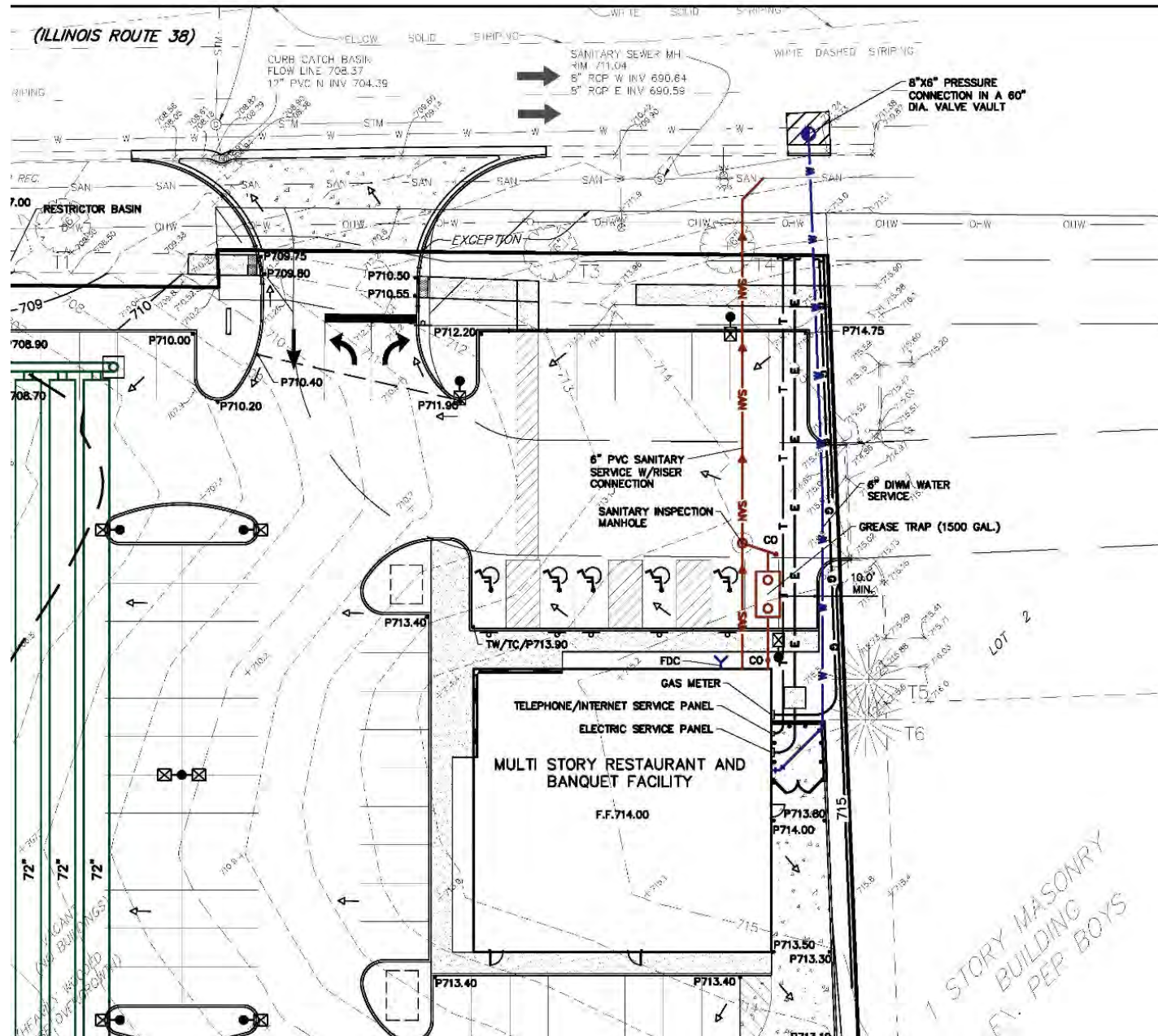
**WATER QUALITY-POMPS:**  
-THE PERMEABLE PAVERS AND STONE BELOW THE PAVERS WILL PROVIDE THE REQUIRED MITIGATION OF THE NEW IMPERVIOUS AREAS.  
-IMPERVIOUS AREA = 0.94 ac  
-FIRST FLUSH RUNOFF = 0.94 ac\*43.560\*1.25'/12 = 4,266 cf  
-AREA OF PAVERS = 5,968 sq ft  
-DEPTH OF STONE UNDER PAVERS = 30"  
-VOLUME PROPOSED = 3,281 cf > 4,266 cf OK  
-WATER TABLE ELEV = 692.6  
-LOWEST BMP ELEV = 701.58



**PRELIMINARY  
ENGINEERING PLAN**

DATE	11/15/2021
REVISION	
NO. 1	11/15/2021
NO. 2	
NO. 3	
NO. 4	
NO. 5	
NO. 6	
NO. 7	
NO. 8	
NO. 9	
NO. 10	
NO. 11	
NO. 12	
NO. 13	
NO. 14	
NO. 15	
NO. 16	
NO. 17	
NO. 18	
NO. 19	
NO. 20	
NO. 21	
NO. 22	
NO. 23	
NO. 24	
NO. 25	
NO. 26	
NO. 27	
NO. 28	
NO. 29	
NO. 30	
NO. 31	
NO. 32	
NO. 33	
NO. 34	
NO. 35	
NO. 36	
NO. 37	
NO. 38	
NO. 39	
NO. 40	
NO. 41	
NO. 42	
NO. 43	
NO. 44	
NO. 45	
NO. 46	
NO. 47	
NO. 48	
NO. 49	
NO. 50	
NO. 51	
NO. 52	
NO. 53	
NO. 54	
NO. 55	
NO. 56	
NO. 57	
NO. 58	
NO. 59	
NO. 60	
NO. 61	
NO. 62	
NO. 63	
NO. 64	
NO. 65	
NO. 66	
NO. 67	
NO. 68	
NO. 69	
NO. 70	
NO. 71	
NO. 72	
NO. 73	
NO. 74	
NO. 75	
NO. 76	
NO. 77	
NO. 78	
NO. 79	
NO. 80	
NO. 81	
NO. 82	
NO. 83	
NO. 84	
NO. 85	
NO. 86	
NO. 87	
NO. 88	
NO. 89	
NO. 90	
NO. 91	
NO. 92	
NO. 93	
NO. 94	
NO. 95	
NO. 96	
NO. 97	
NO. 98	
NO. 99	
NO. 100	
NO. 101	
NO. 102	
NO. 103	
NO. 104	
NO. 105	
NO. 106	
NO. 107	
NO. 108	
NO. 109	
NO. 110	
NO. 111	
NO. 112	
NO. 113	
NO. 114	
NO. 115	
NO. 116	
NO. 117	
NO. 118	
NO. 119	
NO. 120	
NO. 121	
NO. 122	
NO. 123	
NO. 124	
NO. 125	
NO. 126	
NO. 127	
NO. 128	
NO. 129	
NO. 130	
NO. 131	
NO. 132	
NO. 133	
NO. 134	
NO. 135	
NO. 136	
NO. 137	
NO. 138	
NO. 139	
NO. 140	
NO. 141	
NO. 142	
NO. 143	
NO. 144	
NO. 145	
NO. 146	
NO. 147	
NO. 148	
NO. 149	
NO. 150	
NO. 151	
NO. 152	
NO. 153	
NO. 154	
NO. 155	
NO. 156	
NO. 157	
NO. 158	
NO. 159	
NO. 160	
NO. 161	
NO. 162	
NO. 163	
NO. 164	
NO. 165	
NO. 166	
NO. 167	
NO. 168	
NO. 169	
NO. 170	
NO. 171	
NO. 172	
NO. 173	
NO. 174	
NO. 175	
NO. 176	
NO. 177	
NO. 178	
NO. 179	
NO. 180	
NO. 181	
NO. 182	
NO. 183	
NO. 184	
NO. 185	
NO. 186	
NO. 187	
NO. 188	
NO. 189	
NO. 190	
NO. 191	
NO. 192	
NO. 193	
NO. 194	
NO. 195	
NO. 196	
NO. 197	
NO. 198	
NO. 199	
NO. 200	
NO. 201	
NO. 202	
NO. 203	
NO. 204	
NO. 205	
NO. 206	
NO. 207	
NO. 208	
NO. 209	
NO. 210	
NO. 211	
NO. 212	
NO. 213	
NO. 214	
NO. 215	
NO. 216	
NO. 217	
NO. 218	
NO. 219	
NO. 220	
NO. 221	
NO. 222	
NO. 223	
NO. 224	
NO. 225	
NO. 226	
NO. 227	
NO. 228	
NO. 229	
NO. 230	
NO. 231	
NO. 232	
NO. 233	
NO. 234	
NO. 235	
NO. 236	
NO. 237	
NO. 238	
NO. 239	
NO. 240	
NO. 241	
NO. 242	
NO. 243	
NO. 244	
NO. 245	
NO. 246	
NO. 247	
NO. 248	
NO. 249	
NO. 250	
NO. 251	
NO. 252	
NO. 253	
NO. 254	
NO. 255	
NO. 256	
NO. 257	
NO. 258	
NO. 259	
NO. 260	
NO. 261	
NO. 262	
NO. 263	
NO. 264	
NO. 265	
NO. 266	
NO. 267	
NO. 268	
NO. 269	
NO. 270	
NO. 271	
NO. 272	
NO. 273	
NO. 274	
NO. 275	
NO. 276	
NO. 277	
NO. 278	
NO. 279	
NO. 280	
NO. 281	
NO. 282	
NO. 283	
NO. 284	
NO. 285	
NO. 286	
NO. 287	
NO. 288	
NO. 289	
NO. 290	
NO. 291	
NO. 292	
NO. 293	
NO. 294	
NO. 295	
NO. 296	
NO. 297	
NO. 298	
NO. 299	
NO. 300	
NO. 301	
NO. 302	
NO. 303	
NO. 304	
NO. 305	
NO. 306	
NO. 307	
NO. 308	
NO. 309	
NO. 310	
NO. 311	
NO. 312	
NO. 313	
NO. 314	
NO. 315	
NO. 316	
NO. 317	
NO. 318	
NO. 319	
NO. 320	
NO. 321	
NO. 322	
NO. 323	
NO. 324	
NO. 325	
NO. 326	
NO. 327	
NO. 328	
NO. 329	
NO. 330	
NO. 331	
NO. 332	
NO. 333	
NO. 334	
NO. 335	
NO. 336	
NO. 337	
NO. 338	
NO. 339	
NO. 340	
NO. 341	
NO. 342	
NO. 343	
NO. 344	
NO. 345	
NO. 346	
NO. 347	
NO. 348	
NO. 349	
NO. 350	
NO. 351	
NO. 352	
NO. 353	
NO. 354	
NO. 355	
NO. 356	
NO. 357	
NO. 358	
NO. 359	
NO. 360	
NO. 361	
NO. 362	
NO. 363	
NO. 364	
NO. 365	
NO. 366	
NO. 367	
NO. 368	
NO. 369	
NO. 370	
NO. 371	
NO. 372	
NO. 373	
NO. 374	
NO. 375	
NO. 376	
NO. 377	
NO. 378	
NO. 379	
NO. 380	
NO. 381	
NO. 382	
NO. 383	
NO. 384	
NO. 385	
NO. 386	
NO. 387	
NO. 388	
NO. 389	
NO. 390	
NO. 391	
NO. 392	
NO. 393	
NO. 394	
NO. 395	
NO. 396	
NO. 397	
NO. 398	
NO. 399	
NO. 400	
NO. 401	
NO. 402	
NO. 403	
NO. 404	
NO. 405	
NO. 406	
NO. 407	
NO. 408	
NO. 409	
NO. 410	
NO. 411	
NO. 412	
NO. 413	
NO. 414	
NO. 415	
NO. 416	
NO. 417	
NO. 418	
NO. 419	
NO. 420	
NO. 421	
NO. 422	
NO. 423	
NO. 424	
NO. 425	
NO. 426	
NO. 427	
NO. 428	
NO. 429	
NO. 430	
NO. 431	
NO. 432	
NO. 433	
NO. 434	
NO. 435	
NO. 436	
NO. 437	
NO. 438	
NO. 439	
NO. 440	
NO. 441	
NO. 442	
NO. 443	
NO. 444	
NO. 445	
NO. 446	
NO. 447	
NO. 448	
NO. 449	
NO. 450	
NO. 451	
NO. 452	
NO. 453	
NO. 454	
NO. 455	
NO. 456	
NO. 457	
NO. 458	
NO. 459	
NO. 460	
NO. 461	
NO. 462	
NO. 463	
NO. 464	
NO. 465	
NO. 466	
NO. 467	
NO. 468	
NO. 469	
NO. 470	
NO. 471	
NO. 472	
NO. 473	
NO. 474	
NO. 475	
NO. 476	
NO. 477	
NO. 478	
NO. 479	
NO. 480	
NO. 481	
NO. 482	
NO. 483	
NO. 484	
NO. 485	
NO. 486	
NO. 487	
NO. 488	
NO. 489	
NO. 490	
NO. 491	
NO. 492	
NO. 493	
NO. 494	
NO. 495	
NO. 496	
NO. 497	
NO. 498	
NO. 499	
NO. 500	
NO. 501	
NO. 502	
NO. 503	
NO. 504	
NO. 505	
NO. 506	
NO. 507	
NO. 508	
NO. 509	
NO. 510	
NO. 511	
NO. 512	
NO. 513	
NO. 514	
NO. 515	
NO. 516	
NO. 517	
NO. 518	
NO. 519	
NO. 520	
NO. 521	
NO. 522	
NO. 523	
NO. 524	
NO. 525	
NO. 526	
NO. 527	
NO. 528	
NO. 529	
NO. 530	
NO. 531	
NO. 532	
NO. 533	
NO. 534	
NO. 535	
NO. 536	
NO. 537	
NO. 538	
NO. 539	
NO. 540	
NO. 541	
NO. 542	
NO. 543	
NO. 544	
NO. 545	
NO. 546	
NO. 547	
NO. 548	
NO. 549	
NO. 550	
NO	





**GENERAL NOTES:**

1. THESE PLANS ARE BASED ON THE ALTA/NSP LAND TITLE AND TOPOGRAPHIC SURVEY.  
(SURVEY PROJECT #21-22354 DATED 05/15/2021)  
PREPARED BY: GENTILE AND ASSOCIATES, INC.  
300 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60146  
(630) 918-6292
2. ALL RADIIUS DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

**REFERENCE BENCHMARK:**  
BURAGE COUNTY BENCHMARK PROSSER (NAVD 88 DATUM) STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE KLINCK PRARIE PATH AND CENTRAL BOULEVARD. STATION IS 21.3 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE KLINCK PRARIE PATH, AND 144.0 FT NORTH OF PARK AVENUE. MONUMENT IS 0.80 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.  
ELEVATION = 709.33

**SITE BENCHMARK:**  
TAG BOLT AND FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38), THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.  
ELEVATION = 706.75

#### STORMWATER MANAGEMENT DATA

**WETLAND:**  
-NO IMPACT

**WETLAND BUFFER:**

-50' REQUIRED, 19' TO 60' PROPOSED  
-25,321 sq ft @ 50', 25,365 sq ft @ PROPOSED

**FLOODWAY:**  
-NO IMPACT

**CLUTTER:**

-100 YR BFE = 706.6  
-10 YR BFE = 704.6  
-0-10 YR FILL = 0 cy  
-0-10 YR CUT/COMP. STORAGE REQ. = 0 cy  
-10-100 YR FILL = 93 cy  
-10-100 YR CUT/COMP. STORAGE REQ. = 140 cy  
(1,943 cy FILL)  
-10-100 YR CUT/COMP. STORAGE PROP. = 339 cy > 140 cy

#### NEW RUNOFF STORAGE

-REQUIRED STORAGE PER UNIT AREA DETENTION VOLUMES MPC STUDY  
-DRAINAGE AREA = 1.21 AC  
-IMPERVIOUS AREA = 0.94 AC  
-UNIT DETENTION REQ. = 0.47 ac-in/acre  
-REQUIRED STORAGE = 0.57 ac-ft (24,773 cf)  
-STORAGE PROPOSED = 0.59 ac-ft (25,657 cf)  
-0.59 ac-ft > 0.57 ac-ft OK  
-THE PROPOSED STORAGE IS PROVIDED IN OVERSIZED PIPE (16,767 cf) AND THE Voids IN THE STONE AROUND THE PIPE (8,890 cf USING A POROSITY OF 0.30)

#### WATER QUALITY-POLYMER

-THE PERMEABLE PAVERS AND STONE BELOW THE PAVERS WILL PROVIDE THE REQUIRED MITIGATION OF THE NEW IMPERVIOUS AREAS.  
-IMPERVIOUS AREA = 0.94 ac  
-FIRST FLUSH RUNOFF = 0.94 ac\*43.500"/12" = 4,268 cf  
-AREA OF PAVERS = 5,068 sq ft  
-DEPTH OF STONE UNDER PAVERS = 30"  
-VOLUME PROPOSED = 5,281 cf > 4,268 cf OK  
-WATER TABLE ELEV = 599.5  
-LOWEST BMP ELEV = 701.53



**PRELIMINARY ENGINEERING PLAN**

SAFA PROPERTY, LLC  
8000 Lumberton  
Stokely, IL

VIP LONGHORN  
885 E. Roosevelt Road  
Lombard, Illinois

Prepared By

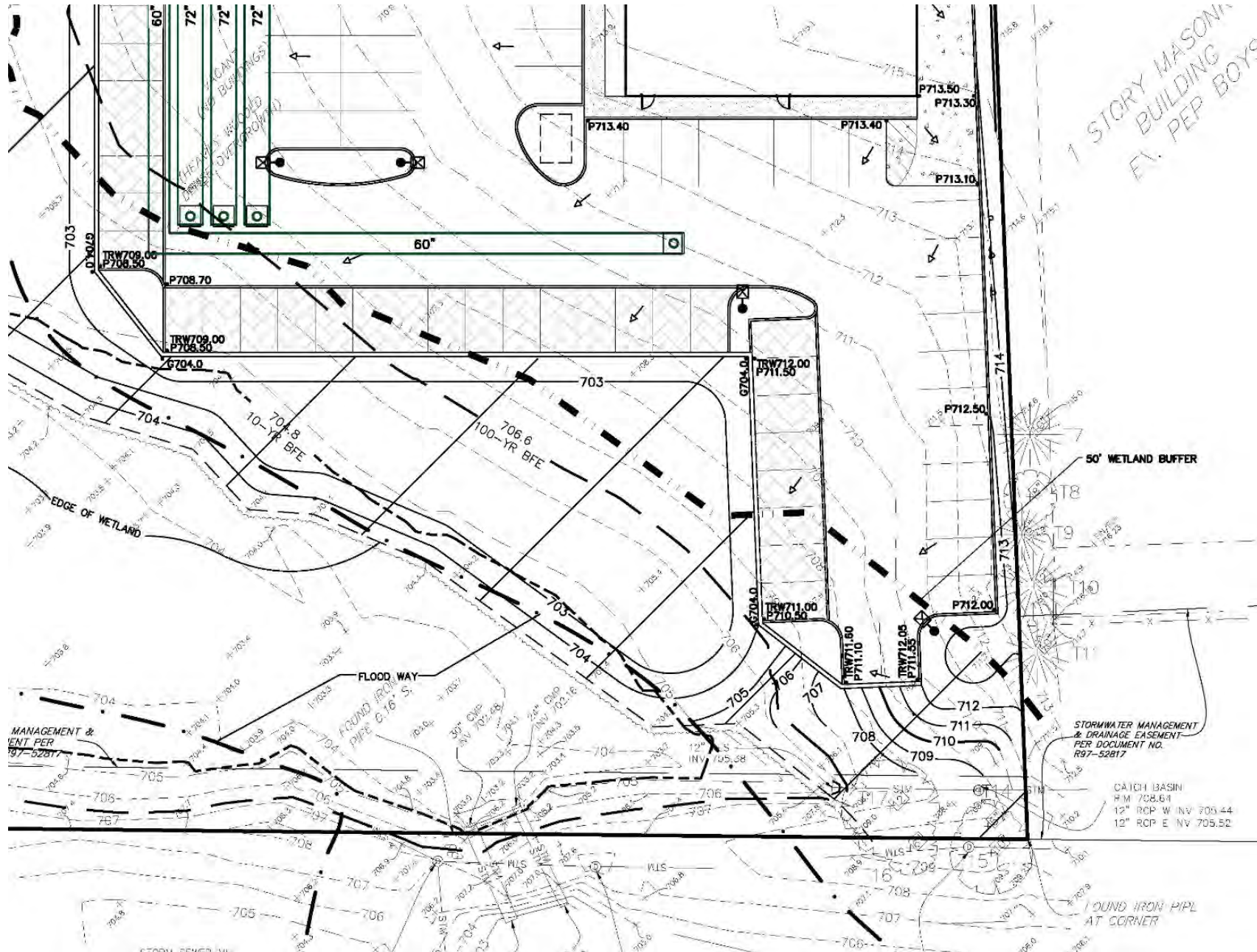
**Watmark Engineering Resources**  
12010 Oakwood Drive, Suite 100, Lombard, IL 60148  
(630) 275-1600

DESIGNED BY: J. MILLER  
DRAWN BY: J. MILLER  
CHECKED BY: J. MILLER  
DATE: 11/15/21  
SCALE: 1"=20'  
PROJECT: 21-22354

1 of 1

PRELIMINARY ENGINEERING PLAN





**GENERAL NOTES:**

1. THESE PLANS ARE BASED ON THE ALTA/NSP LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/18/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 300 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60146 (630) 918-0292
2. ALL RADIIUS DIMENSIONS ARE TO BACK OF CURB. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. ALL STIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
4. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

**REFERENCE BENCHMARK:**  
BURRIDGE COUNTY BENCHMARK PROPOSED (NAVD 88 DATUM) STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE KILGUS PRARIE PATH AND CENTRAL BOULEVARD. STATION IS 21.3 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE KILGUS PRARIE PATH, AND 144.5 FT NORTH OF PARK AVENUE. MONUMENT IS 0.85 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.  
ELEVATION = 709.33

**SITE BENCHMARK:**  
TAG BOLT AND FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38). THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.  
ELEVATION = 706.75

**STORMWATER MANAGEMENT DATA**

**WETLAND:**  
-NO IMPACT

**WETLAND BUFFER:**  
-50' REQUIRED, 19' TO 60' PROPOSED  
-25,321 sq ft @ 50', 25,365 sq ft @ 60' PROPOSED

**FLOODWAY:**  
-NO IMPACT

**CLIFFEPLAIN:**  
-100 YR BFE = 706.6  
-10 YR BFE = 704.8  
-0-10 YR FILL = 0 cy  
-0-10 YR CUT/COMP. STORAGE REQ. = 0 cy  
-10-100 YR FILL = 93 cy  
-10-100 YR CUT/COMP. STORAGE REQ. = 140 cy  
(1,945 cy FILL)  
-10-100 YR CUT/COMP. STORAGE PROP. = 339 cy > 140 cy

**NEW RUNOFF STORAGE:**  
-REQUIRED STORAGE PER UNIT AREA DETENTION VOLUMES MPC STUDY  
-DRAINAGE AREA = 1.21 AC  
-IMPERVIOUS AREA = 0.94 AC  
-UNIT DETENTION REQ. = 0.47 ac-ft/acre  
-REQUIRED STORAGE = 0.57 ac-ft (24,773 cf)  
-STORAGE PROPOSED = 0.59 ac-ft (25,657 cf)  
-0.59 ac-ft > 0.57 ac-ft OK  
-THE PROPOSED STORAGE IS PROVIDED IN OVERSIZED PIPE (16,767 cf) AND THE Voids IN THE STONE AROUND THE PIPE (8,089 cf USING A POROSITY OF 0.30)

**WATER QUALITY-POLYMER:**  
-THE PERMEABLE PAVERS AND STONE BELOW THE PAVERS WILL PROVIDE THE REQUIRED MITIGATION OF THE NEW IMPERVIOUS AREAS.  
-IMPERVIOUS AREA = 0.94 ac  
-FIRST FLUSH RUNOFF = 0.94 ac\*43.500\*1.25'/12 = 4,268 cf  
-AREA OF PAVERS = 5,088 sq ft  
-DEPTH OF STONE UNDER PAVERS = 30"  
-VOLUME PROPOSED = 5,281 cf > 4,268 cf OK  
-WATER TABLE ELEV = 595.4  
-LOWEST BMP ELEV = 701.53

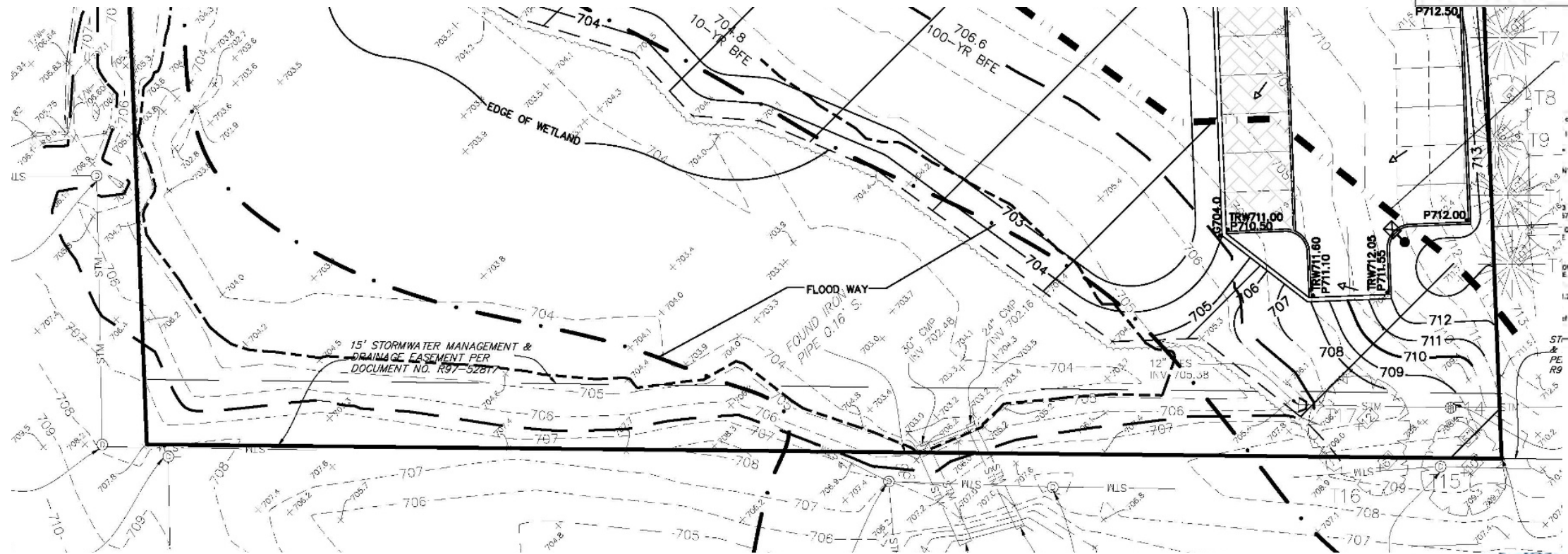


**PRELIMINARY ENGINEERING PLAN**

<b>SAFA PROPERTY, LLC</b> 8000 Lumbago Skokie, IL <b>VIP: LOMBARD</b> 885 E. Roosevelt Road Lombard, Illinois	
Prepared For:	
Prepared By:	
<b>Watmark Engineering Resources</b> 1201 Ogden Street, Suite 100, Lombard, IL 60148 (630) 375-1400 www.watmark-engineering.com	
CHECKED BY: J. MILLER EXAMINED BY: J. MILLER DRAWN BY: J. MILLER DATE: 08/18/2021 SCALE: 1" = 20' PROJECT NO.: 21-22354	1 of 1

**PRELIMINARY ENGINEERING PLAN**





**GENERAL NOTES:**

1. THESE PLANS ARE BASED ON THE ALTA/NPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 05/15/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60146 (312) 918-4292
2. ALL RADIIUS DIMENSIONS ARE TO BACK OF CURB. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
4. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

**REFERENCE BENCHMARK:**  
DUPAGE COUNTY BENCHMARK #700002 (NAVD 83 DATUM) STATION IS LOCATED ALONG ADDISON AVENUE, BETWEEN THE ILLINOIS PRARIE PATH AND CENTRAL BOULEVARD. STATION IS 21.3 FT SOUTH OF THE CENTERLINE OF CENTRAL BOULEVARD, 54.0 FT EAST OF THE CENTERLINE OF ADDISON AVENUE, 67.0 FT NORTH OF THE CENTERLINE OF THE ILLINOIS PRARIE PATH, AND 140.5 FT NORTH OF PARK AVENUE. MONUMENT IS 0.85 FT ABOVE THE ROAD SURFACE AND IS FERROMAGNETIC.  
ELEVATION = 709.33

**SITE BENCHMARK:**  
TAG BOLT AND FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF E. ROOSEVELT ROAD (ILLINOIS ROUTE 38). THE MOST WESTERLY FIRE HYDRANT IN FRONT OF SUBJECT PROPERTY.  
ELEVATION = 706.75

**STORMWATER MANAGEMENT DATA**

cy  
140 cy  
• 339 cy > 140 cy

STATION VOLUMES MFC

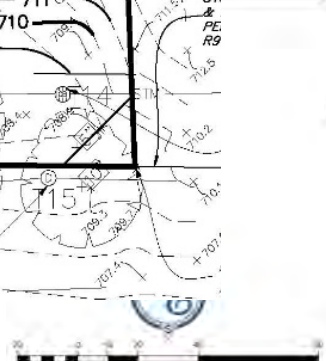
OVERSIZED PIPE  
E AROUND THE PIPE

ON THE PAVERS WILL  
E NEW IMPERVIOUS

1.25"/12" = 4.268 cf

of OK

ST  
&  
FE  
R9



**PRELIMINARY  
ENGINEERING PLAN**

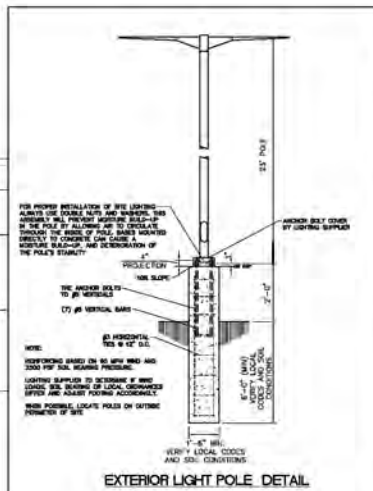
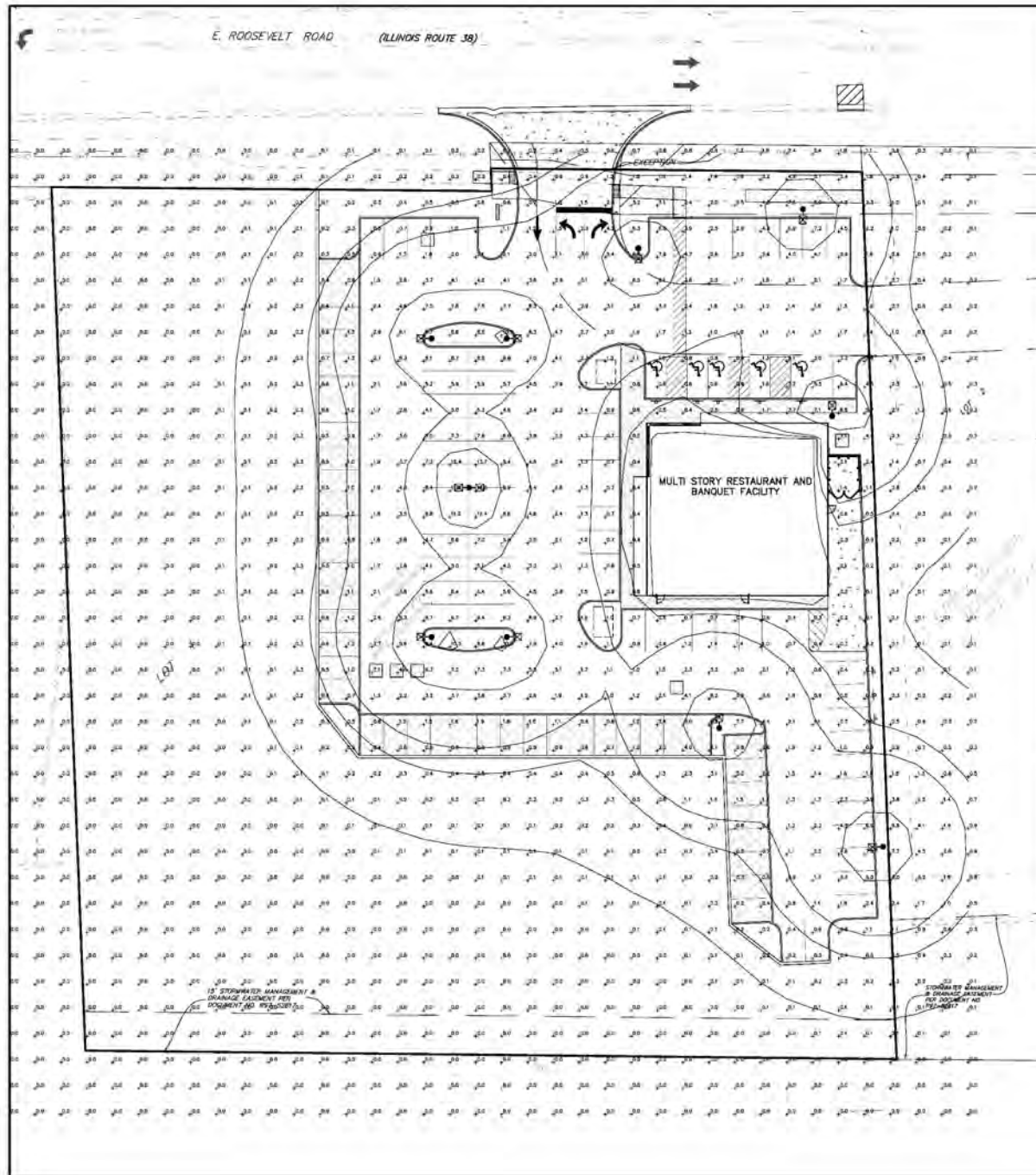












**R2T Series Pole Luminaires**

Technical Data Summary

Model	Power (W)	Beam Angle (°)	Height (ft)	Mounting
R2T-1	150	120	10	Standard
R2T-2	250	120	15	Standard
R2T-3	400	120	20	Standard
R2T-4	600	120	25	Standard
R2T-5	1000	120	30	Standard

**LITHONIA LIGHTING**

WARRANTY SPECIFICATIONS

Model: R2T Series

Warranty: 5 Years

Manufacturer: Lithonia Lighting

**GENERAL NOTES:**

1. THESE PLANS ARE BASED ON THE ALTA/NSP LAND TITLE AND TOPOGRAPHIC SURVEY.
2. SURVEY PROJECT #21-22354 DATED 08/18/2021.
3. PREPARED BY: GENTLE AND ASSOCIATES, INC.
4. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148
5. (630) 910-6282
6. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
7. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
8. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
9. WHEN FEEDSTRAINS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

**QUANTITIES**

FIXTURE TYPE:	SYMBOL	QUANTITY
RECUR (FIXTURE COLOR, LENS TYPE, ETC. TO BE SELECTED BY OWNER)		11
POLE TYPE:	SYMBOL	QUANTITY
ISA 22 50 (POLE COLOR, MOUNTING, ETC. TO BE SELECTED BY OWNER)		10

**PHOTOMETRIC SUMMARY**

VEHICULAR USE AREA:	VALUE
AVERAGE	3.0
MAXIMUM	13.7
MINIMUM	0.2
AVG/MIN	15.0 f

- NOTES:**
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOOTCANDLE SHOWN IN THE "QUANTITIES" NOTE LOCATED ON THIS SHEET. ANY SUBSTITUTIONS OR CHANGES TO THE FOOTCANDLE LEVELS WILL BE THE RESPONSIBILITY OF THE ARCHITECT.
  2. MOUNTING HEIGHT OF FIXTURES = 25' MOUNTING HEIGHT INCLUDES A 2" HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 25' HIGH POLE.
  3. DISTANCE BETWEEN READINGS = 10'
  4. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED, MAINTENANCE FACTOR USED ON THIS DRAWING IS 1.00.
  5. FINAL ADJUSTMENTS TO LAMP ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJACENT PROPERTIES OR ROADWAYS.
  6. HOUSE SIDE SHELVES ARE NOT ALWAYS ABLE TO BE MOVED DUE TO THE UNAVAILABILITY OF THE EXISTING JES FILES. IN THESE INSTANCES OTHER MANUAL ACCOMMODATIONS MAY BE MADE DURING THE MODELING PROCESS TO SIMULATE CUT OFF AT PROPERLY LINES ON ELEVATIONS.
  7. CONTRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT NOT LIMITED TO, VOLTAGE AND MOUNTING. PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRES AND/OR POLES, ALL LIGHT FIXTURES TO BE FULL OUT OFF.
  8. LOCATE WALL PADS AS NEEDED. CONTRACTOR SHALL FIELD ADJUST MOUNTING ON BUILDING TO ACHIEVE A UNIFORM HEIGHT AND SPACING. WALL PADS SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE WORKED WITH THE ARCHITECT PRIOR TO INSTALLATION.
  9. ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
  10. CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL SUPPLIES, CONDUIT, SERVICES, CONDUIT FORMATIONS, POLES, LUMINAIRES, AND NECESSARY PARTS FOR PROPER LIGHTING INSTALLATIONS. ALL PROPOSED LIGHTING WORK SHALL NOT INTERFERE WITH EXISTING UTILITY SERVICES AND EXISTING LIGHTING FIXTURES OR SECURITY SYSTEMS.
  11. PROPOSED LIGHTING SHALL INCLUDE PHOTOCELL ON/OFF SWITCHES. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL ON/OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
  12. THIS PLAN IS FOR LIGHTING PERFORMANCE, ALL MEANS, METHODS, AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR DISCRETION, ALL INSTALLATIONS SHALL BE COMPLETE AND FINISHED. ANY GAPS OR EXPOSED MOUNTING SHALL BE REJECTED.
  13. ALL PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND PROTECTED BY A 2" MIN. THICK CONCRETE SLAB OR 1" MIN. THICK POLYESTER. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  14. ALL PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL COLORIST AND TYPES OF PAINT SHALL BE MATCHED TO ADJUST COLOR AND MATERIALS. VERIFY AND COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.
  15. ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXPENSE TO THE OWNER.
  16. WHETHER NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOGRAPHIC PLAN INSTALLATION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NEEDED.
  17. CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE WIRING AS NEEDED FOR PROPER INSTALLATION. IF NEEDED, CONTRACTOR SHALL CONSULT AN ELECTRICAL ENGINEER.
  18. CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
  19. CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDS. SHOP DRAWINGS OR WELD UPS MAY BE NECESSARY FOR APPROVAL PRIOR TO INSTALLATIONS. VERIFY AS NEEDED.
  20. ALL FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND FINISHES TO PROTECT BUILDING FROM ANY STAINING.



**PHOTOMETRIC PLAN**

DATE: 01/14/2022  
DRAWN BY: K. SACK  
CHECKED BY: K. SACK  
DATE: JANUARY 14, 2022  
SCALE: 1"=20'  
PROJECT NO.: 21-22354

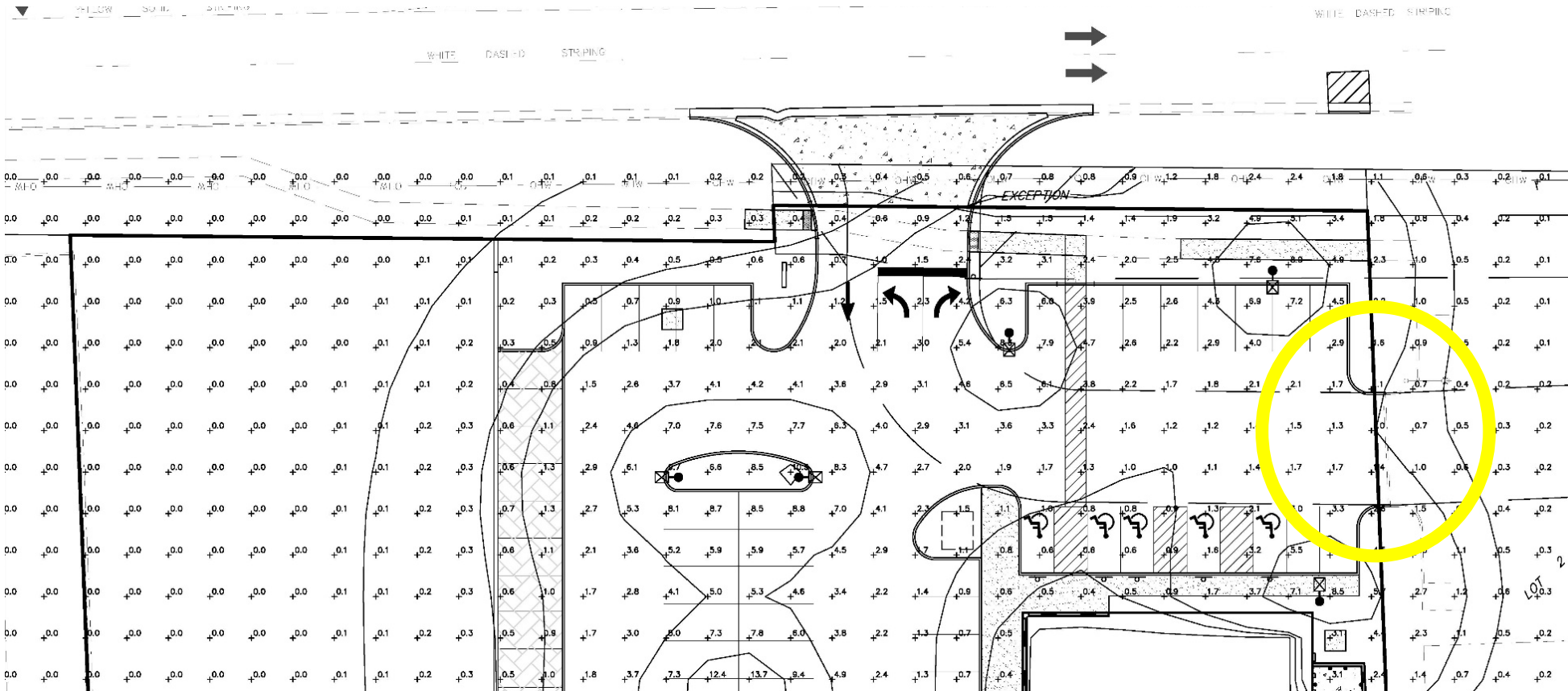
SAFA PROPERTY, LLC  
8080 Lawrence  
Skokie, IL  
VIP - LOMBARD  
855 E. Roosevelt Road  
Lombard, Illinois

Prepared By:  
Watson Engineering Resources  
12345 Engineering Drive | 2021 Chicago Street Hwy | Aurora, IL 60012 | (630) 375-1800

DESIGNED BY: K. SACK  
CHECKED BY: K. SACK  
DATE: JANUARY 14, 2022  
SCALE: 1"=20'  
PROJECT NO.: 21-22354

**PHOTOMETRIC PLAN**

1 of 1



GENERAL NOTES:  
1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-23354 DATED 08/16/2021) PREPARED BY: GENTLE AND ASSOCIATES, INC. 500 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60146 (630) 916-0252  
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.  
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.  
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.  
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLIP RESISTANT PAINT.

QUANTITIES			
FEATURE TYPE:	SYMBOL	QUANTITY	
REFLECTOR (POLE COLOR, LENS TYPE, ETC. TO BE SELECTED BY OWNER)		11	
POLE TYPE:	SYMBOL	QUANTITY	
SSA 23 30 (POLE COLOR, MOUNTING, ETC. TO BE SELECTED BY OWNER. FEATURE SUPPLIER TO DETERMINE IF POLE IS COMPATIBLE WITH FEATURE)		10	

PHOTOMETRIC SUMMARY	
VEHICULAR USE AREA:	
AVERAGE	3.0
MAXIMUM	13.7
MINIMUM	0.2
AVG/MIN	(5.0)

- NOTES:
- THE PHOTOGRAPHIC LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE, LOCATED ON THIS SHEET. ANY SUBSTITUTIONS OF SPECIFIED FEATURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMARK ENGINEERING RESOURCES, LTD.
  - MOUNTING HEIGHT OF FIXTURES = 20'. MOUNTING HEIGHT INCLUDES A 2" HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 23" HIGH POLE.
  - DISTANCE BETWEEN READINGS = 10'
  - FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 0.8.
  - FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR SLARE ONTO ADJACENT PROPERTIES OR ROADWAYS.
  - HOUSE SICK SHELTERS ARE NOT ALWAYS ABLE TO BE MOVED DUE TO THE UNAVAILABILITY OF THE PROXIMITY SITES. IN THESE INSTANCES OTHER MANUAL ACCOMMODATIONS MAY BE MADE DURING THE MODELING PROCESS TO SIMULATE CUT OFF AT PROPERTY OR ON ELEVATIONS.
  - CONTRACTOR TO VERIFY PROPER ORIENTATION INFORMATION INCLUDING BUT NOT LIMITED TO, VOLTAGE AND MOUNTING. PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRES AND/OR POLES. ALL LIGHT FIXTURES TO BE PAID CUT OFF.
  - LEGATE WALL PAGES ARE NOTED. CONTRACTOR SHALL FIELD ADJUST MOUNTING ON BUILDING TO DETERMINE A UNIFORM HEIGHT AND SPACING WALL PAGES SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATION.
  - ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
  - CONTRACTOR IS RESPONSIBLE TO VERIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL, SOURCE, CONTROL, SYSTEMS, CONCRETE FOUNDATIONS, POLES, AND ALL NECESSARY PERMITS. ALL NECESSARY PERMITS AND MATERIALS VERIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL, SOURCE, CONTROL, SYSTEMS, CONCRETE FOUNDATIONS, POLES, AND ALL NECESSARY PERMITS. ALL NECESSARY PERMITS AND MATERIALS VERIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL, SOURCE, CONTROL, SYSTEMS, CONCRETE FOUNDATIONS, POLES, AND ALL NECESSARY PERMITS.
  - PROPOSED LIGHTING SHALL INCLUDE PROTOCOL ON/OFF SCHEDULING. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL OR WIRELESS ON/OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
  - THIS PLAN IS FOR LIGHTING PERFORMANCE. ALL MEANS, METHODS, AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR DISCRETION ALL INSTALLATIONS SHALL BE COMPLETE AND FINISHED. ANY SAYS OR EXPOSED MOUNTING WILL BE REJECTED.
  - ALL PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND HIDDEN SO AS NOT TO BE SEEN OR IMMEDIATELY NOTICEABLE. FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - ALL PAINTING WORK SHALL BE DONE BY A PROFESSIONAL COLORIST AND TYPES OF PAINT SHALL BE MATCHED TO THE BUILDING EXTERIOR AND MATERIALS VERIFY AND COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.
  - ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXPENSE TO THE OWNER.
  - WHICHES NOTED ON THIS PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOGRAPHIC PLAN INSTALLATION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND NOTICED AS NEEDED.
  - CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE WIRING AS NEEDED FOR PROPER INSTALLATION. IF NEEDED, CONTRACTOR SHALL CONSULT WITH AN ELECTRICAL ENGINEER FOR VERIFICATION.
  - CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATION, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
  - CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS NEEDED. SHOP DRAWINGS OR BACK UPS MAY BE NECESSARY FOR APPROVALS PRIOR TO INSTALLATION. VERIFY AS NEEDED.
  - ALL FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND FINISHES TO PREVENT BUILDING FROM ANY STAINING.



PHOTOMETRIC PLAN

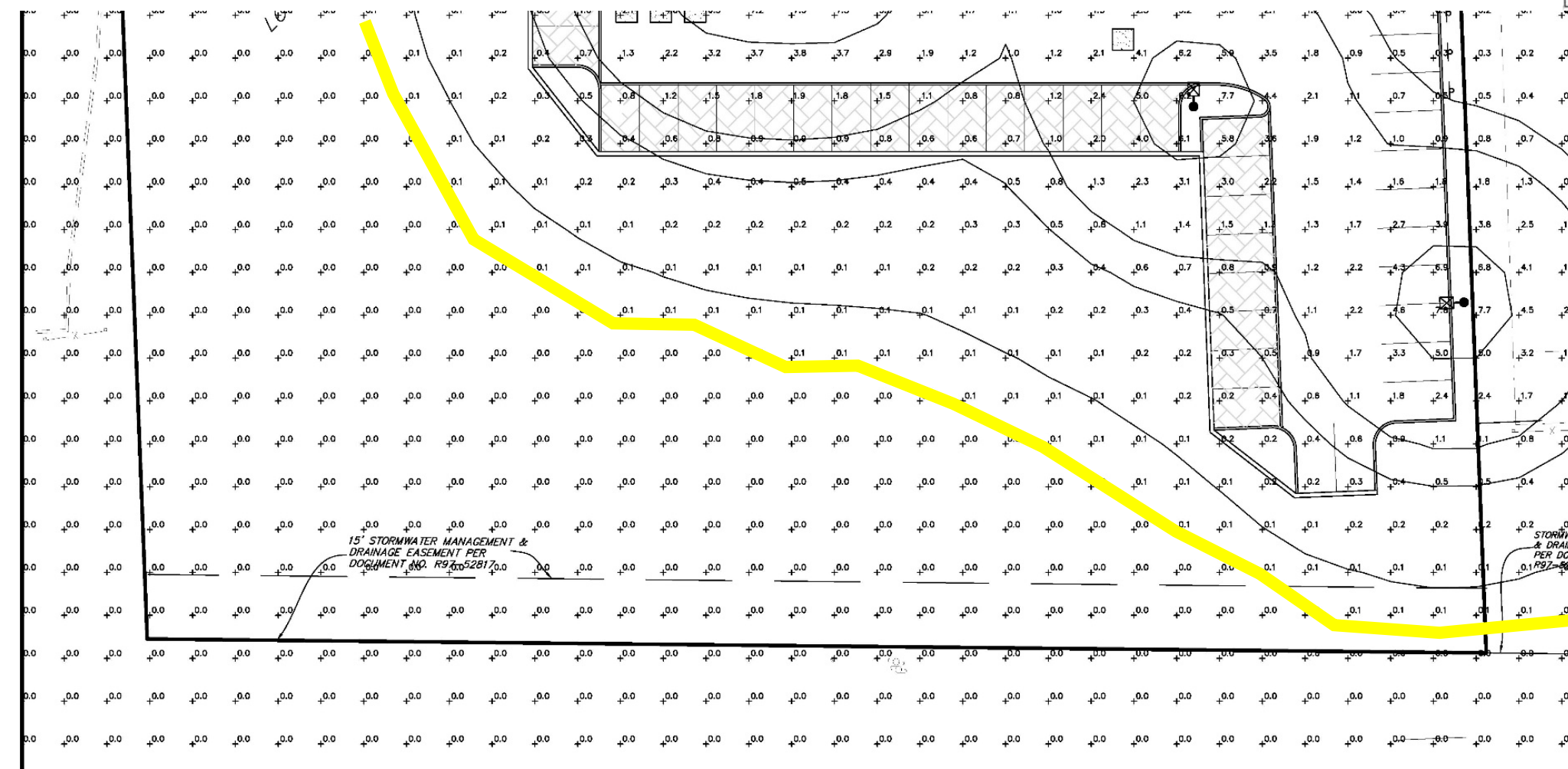
SAFA PROPERTY, LLC  
8080 Lombard  
Skokie, IL  
VIP - LOMBARD  
855 E. Roosevelt Road  
Lombard, Illinois

Prepared By:  
  
watermark-engineering.com | 2021 Cedar Woods Hwy | Aurora, IL 60012 | (630) 916-1800

DESIGNED BY: J. MILLER  
DRAWN BY: K. BUCK  
DATE: JANUARY 14, 2023  
SCALE: 1" = 20'  
PROJECT NO.: 23-002

PHOTOMETRIC PLAN  
1 of 1







15' STORMWATER MANAGEMENT &  
DRAINAGE EASEMENT PER  
DOCUMENT NO. R97-52817

STORMWATER  
& DRAINAGE  
PER DOCUMENT  
0.1 R97-58817

**GENERAL NOTES:**

1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #21-22354 DATED 08/18/2021) PREPARED BY: GENTILE AND ASSOCIATES, INC. 650 E. ST. CHARLES PLACE LOWLAND, ILLINOIS 60148 (815) 916-8262
2. ALL RADIIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED #4 YELLOW PAINT UNLESS OTHERWISE NOTED.
5. THE CROWN OF THE CURB IS TO CROSS A TAPERING RAMP OF CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW, SLP RESISTANT PAINT.

ITEMS		
RE TYPE:	SYMBOL	QUANTITY
POLE COLOR, LENS TYPE, RE SELECTED BY OWNER		11
TYPE:	SYMBOL	QUANTITY
SO (POLE COLOR, MOUNTING, RE SELECTED BY OWNER)		10
SUPPLIER TO DETERMINE IF POLE FAMILAR WITH FIGURE		

TOMETRIC SUMMARY	
ULAR USE AREA:	
AGE:	3.0
NUM:	13.7
UM:	0.2
MIN:	[5.0]

FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE OSTERA SHOW THE "QUANTITIES" NOTE, LOCATED ON THIS SHEET. ANY SUBSTITUTIONS REQUIRED FOR THE FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL BE THE RESPONSIBILITY OF WATERMARK. NOTHING NEIDHARDT, LTD.

MOUNTING HEIGHT OF FIXTURES = 25'. MOUNTING HEIGHT INCLUDES A 2" CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THE PLAN, AND A 23" HIGH POLE.

ANCE BETWEEN READINGS 10'

1. ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE  
MADE TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJACENT  
PROPERTIES OR ROADWAYS.

SE SIDE SHEETS ARE NOT ALWAYS ABLE TO BE MOODED DUE TO THE  
VAILABILITY OF THE PROPER JES FILES. IN THESE INSTANCES OTHER  
LUM. ACCOMMODATIONS MAY BE MADE DURING THE MODELING PROCESS  
IMMEDIATE CUT OFF AT PROPERTY LINES OR ELSEWHERE.

TRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT  
NOT LIMITED TO, VOLTAGE AND MOUNTING. PRIOR TO ORDERING OR  
INSTALL SPECIFIED LUMINAIRES AND/OR POLES. ALL LIGHT FIXTURES TO  
BE CUT OFF.

LIFTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND  
TIRAL CODES.

USED LIGHTING SHALL INCLUDE PHOTOCELL ON/OFF SWITCHING. CONTRACTOR  
ELECTRICIAN SHALL PROVIDE MANUAL OR WIRELESS ON/OFF SWITCHES WITH  
BATTERY BACKUP.

PLAN IS FOR LIGHTING PERFORMANCE, ALL MEANS, METHODS, AND  
EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE  
AT THEIR DISCRETION. ALL INSTALLATIONS SHALL BE COMPLETE AND FINISHED  
SAFELY ON EXPOSED MOUNTINGS WILL BE REQUIRED.

PROPOSED CONDUIT AND WIRE SERVICES SHALL BE CONCEALED AND MOON  
IS NOT TO BE SEEN OR VISUALLY NOTICEABLE. FINAL LOCATION SHALL BE  
DICTATED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL. COLORS AND TYPES OF PAINT SHALL ACCORDINGLY TO ADJACENT COLORS AND MATERIALS, WORK COORDINATE WITH OWNER'S REPRESENTATIVE ALL WORK.

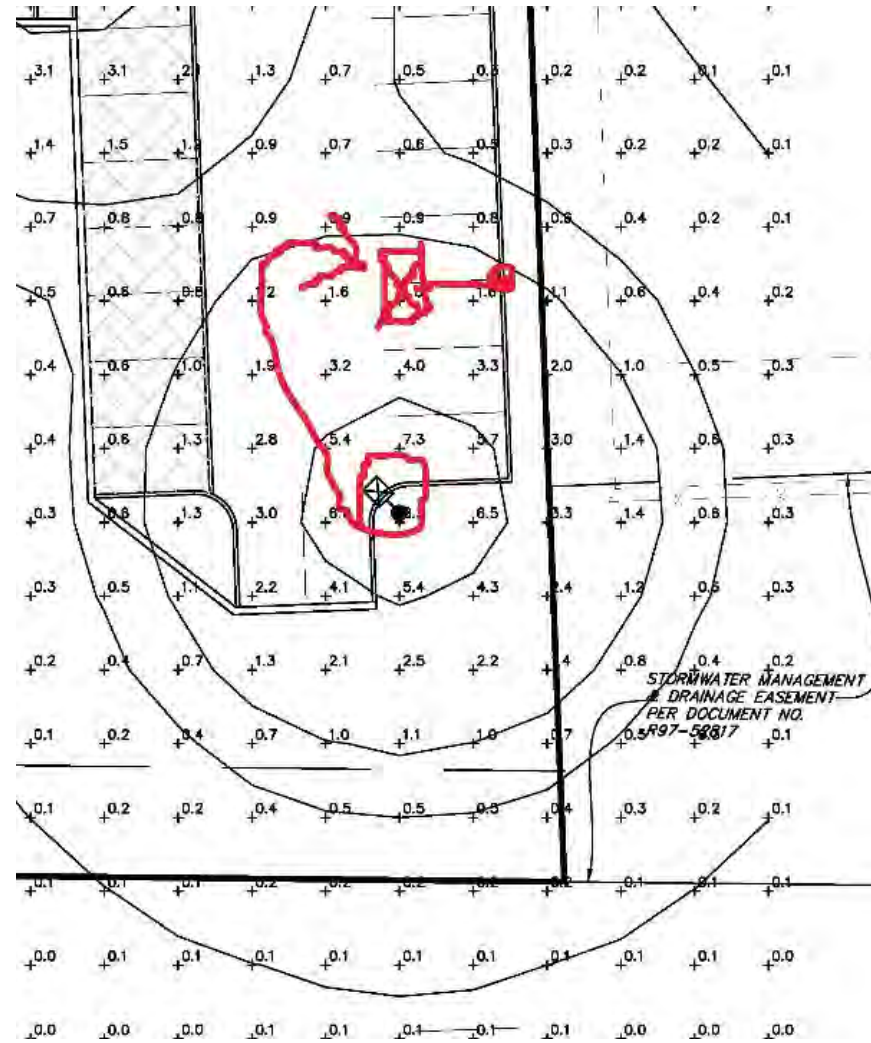
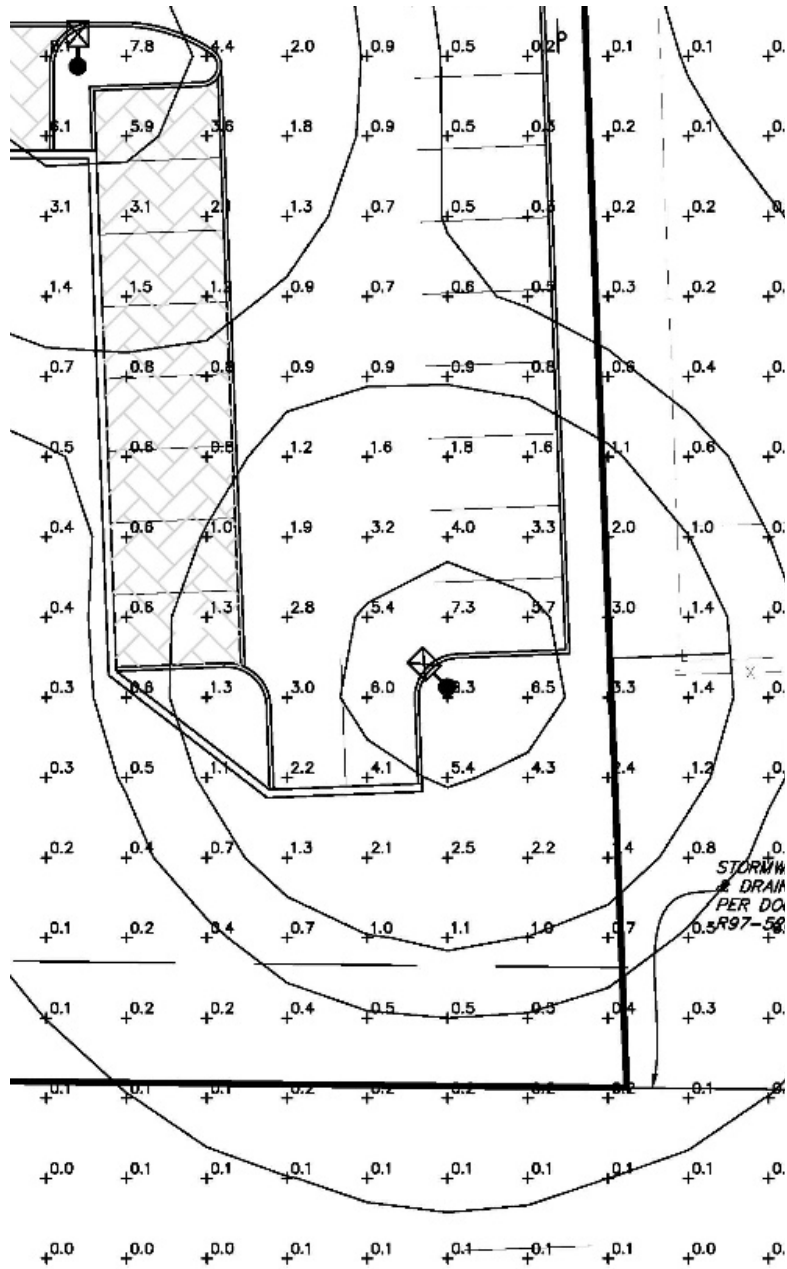
RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO COST OR EXPENSE TO THE OWNER.

TRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE AS IS NEEDED FOR PROPER INSTALLATION. IF NEEDED, CONTRACTOR SHALL RUN AN ELECTRICAL CHARGER.

FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE  
SIALS AND FINISHES TO PROTECT BUILDING FROM ANY STAINING.





## PHOTOMETRIC PLAN



**GENERAL NOTES:**

1. THESE PLANS ARE BASED ON THE ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY.  
(SURVEY PROJECT #01-23354 DATED 08/18/2021)  
PREPARED BY: GENTILE AND ASSOCIATES, INC.  
250 E. ST. CHARLES PLACE, LOMBARD, ILLINOIS 60148  
(630) 916-6052
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.
5. WHERE PEDESTRIANS HAVE TO CROSS A TAPERING RAMP OR CURB RAMP THE FACE AND TOP OF CURB ARE TO BE PAINTED USING YELLOW SLIP RESISTANT PAINT.

QUANTITIES	
FUTURE TYPE:	
101215 OFFROAD CURB, LOW TYPE, ETC. TO BE SELECTED BY OWNER	SYMBOL:  QUANTITY: 11
POLE TYPE:	
SSA 25.50 (POLE COLOR MOUNTING, ETC. TO BE SELECTED BY OWNER)	SYMBOL:  QUANTITY: 10

PHOTOMETRIC SUMMARY	
VEHICULAR USE AREA:	
AVERAGE:	3.0
MAXIMUM:	12.7
MINIMUM:	0.2
AVG/WH:	15.0-1

- NOTES:**
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE CRITERIA SHOWN IN THE "QUANTITIES" NOTE. LOCATIONS ON THIS SHEET, ANY SUBSTITUTIONS, OR SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF WATERMARK ENGINEERING RESOURCES, LLC.
  2. MOUNTING HEIGHT OF FIXTURES = 32'. MOUNTING HEIGHT INCLUDES A 7" HIGH CONCRETE BASE, TO BE PROVIDED BY THE CONTRACTOR AS PART OF THIS PLAN, AND A 25" HIGH POLE.
  3. DISTANCE BETWEEN READINGS: 10'
  4. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 1.0.
  5. FINAL ADJUSTMENTS TO ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE INTO ADJACENT PROPERTIES OR NEIGHBORS.
  6. HOUSE SIDE SHELVES ARE NOT ALWAYS MADE TO BE WORKED DUE TO THE UNAVAILABILITY OF THE PROPER JES FLIES. IN THESE INSTANCES OTHER MANUAL ADJUSTMENTS MAY BE MADE DURING THE MODELING PROCESS TO SIMULATE LIGHT OFF AT PROPERTY LINES OR ELSEWHERE.
  7. CONTRACTOR TO VERIFY PROPER ORDERING INFORMATION INCLUDING BUT NOT LIMITED TO: VOLTAGE AND MOUNTING. PRIOR TO ORDERING OR INSTALLING SPECIFIED LUMINAIRES AND/OR POLES, ALL LIGHT FIXTURES TO BE FULL OUT.
  8. LOCATE WALL FACES AS NOTED. CONTRACTOR SHALL FIELD ADJUST MOUNTING ON BUILDING TO VETERINARY A LIGHTING HEIGHT AND SPACING. WALL FACES SHALL BE PLACED IN A SYMMETRICAL PATTERN TO MATCH BUILDING ARCHITECTURE AND FINAL LOCATION SHALL BE NOTED WITH THE ARCHITECT PRIOR TO INSTALLATION.
  9. ALL LIGHTING INSTALLATION AND ASSOCIATED WORK SHALL MEET BUILDING AND ELECTRICAL CODES.
  10. CONTRACTOR IS RESPONSIBLE TO NOTIFY AND CONFIRM MATERIALS AND LABOR FOR ALL ELECTRICAL, CONDUIT, SLEEVES, CONCRETE FOUNDATIONS, POLES, AND ALL RELATED MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PREPARED LIGHTING WORK SHALL NOT INTERFERE OR INTERRUPT EMERGENCY EXIT AND EGRESS ROUTES, FIRE ALARMS OR SECURITY SYSTEMS.
  11. PREPARED LIGHTING SHALL INCLUDE PHOTOCELL, DAY/NOTE SENSITIVE. CONTRACTOR TO VERIFY IF ANY LIGHTS NEED MANUAL OR WHOLESALE ONLY OFF SWITCHES WITH OWNER'S REPRESENTATIVE.
  12. THIS PLAN IS FOR LIGHTING PERFORMANCE. ALL MEANS, METHODS, AND ASSOCIATED EQUIPMENT IS THE RESPONSIBILITY OF THE INSTALLER TO DETERMINE AND AT THEIR OWN RISK. ALL INSTALLATIONS SHALL BE COMPLETED AND PROVIDED ANY GAPS OR EXPOSED MOUNTINGS WILL BE REJECTED.
  13. ALL PROPOSED CONDUIT AND WIRE DEVICES SHALL BE CONCEALED AND HIDDEN SO AS NOT TO BE SEEN OR USUALLY NOTICED BY FINAL LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  14. ALL PAINTING NEEDS SHALL BE DONE BY A PROFESSIONAL. COLORS AND TYPES OF PAINT SHALL MATCH EXISTING. ALL MATERIALS, COLORS AND TYPES OF PAINT SHALL MATCH EXISTING. ALL MATERIALS, COLORS AND TYPES OF PAINT SHALL MATCH EXISTING. ALL MATERIALS, COLORS AND TYPES OF PAINT SHALL MATCH EXISTING.
  15. ALL RESTORATION SHALL BE DONE TO THE SATISFACTION OF THE OWNER AT NO CHARGE OR EXTENDING TO THE CURB.
  16. WHETHER NOTED ON THE PLANS OR NOT ALL ASSOCIATED WORK WITH THE PHOTOGRAPHIC PLAN INSTALLATION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL AS NOTED.
  17. CONTRACTOR SHALL FIELD ADJUST BASED ON ELECTRICAL SUPPLY AND PROVIDE WIRING AS NEEDED FOR PROPER INSTALLATION. IF NEEDED, CONTRACTOR SHALL CONSULT AN ELECTRICAL ENGINEER.
  18. CONTRACTOR RESPONSIBLE FOR ALL LUMINAIRE INSTALLATIONS, REPLACEMENTS, CONSTRUCTION REMOVALS AND DISPOSALS.
  19. CONTRACTOR SHALL FIELD ADJUST AS APPROVED BY OWNER. CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL RESTORATION OR FABRICATIONS. MEETS, SHOP DRAWINGS ON EACH LUMINAIRE NECESSARY FOR APPROVALS PRIOR TO INSTALLATION. MEETS, SHOP DRAWINGS ON EACH LUMINAIRE NECESSARY FOR APPROVALS PRIOR TO INSTALLATION.
  20. ALL FABRICATIONS SHALL BE DONE WITH NON-CORROSIVE EXTERIOR GRADE MATERIALS AND FINISHES TO PROTECT BUILDING FROM ANY STAINING.



**PHOTOMETRIC PLAN**

1 of 1

SAFA PROPERTY, LLC  
8080 Lawlridge  
Stokholm, IL  
VIP - LOMBARD  
855 E. Roosevelt Road  
Lombard, Illinois

Watermark Engineering Resources  
1017 E. 11th St.  
Lombard, IL 60148  
(630) 916-6052  
www.watermarkeng.com

DESIGNED BY: J. MULLER  
DRAWN BY: K. BACH  
DATE: JANUARY 14, 2022  
SCALE: 1" = 30'  
PROJECT NO.: 21-008

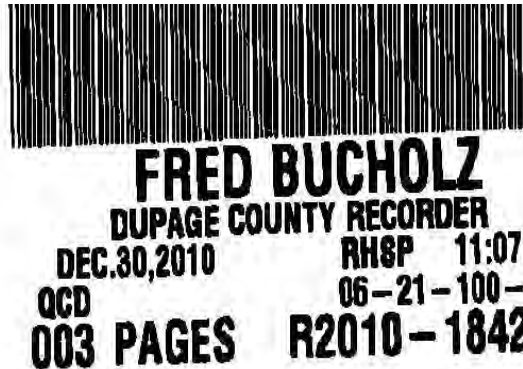


# York Center Park District

## QUIT CLAIM DEED

Statutory (ILLINOIS)  
(Individual to Individual)

Grantee and  
After Recording, mail to:  
York Center Park District  
1609 S. Luther Ave.  
Lombard, IL 60148



THE GRANTOR, York Center Community Cooperative, Inc., a judicially dissolved Illinois not-for-profit corporation, of the County of DuPage, State of Illinois, for and in consideration of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration in hand paid, CONVEYS AND QUIT CLAIMS to the York Center Park District, a political subdivision of the State of Illinois, of Lombard, County of DuPage, State of Illinois, in fee simple, the following described Real Estate situated in the County of DuPage in the State of Illinois, to wit:

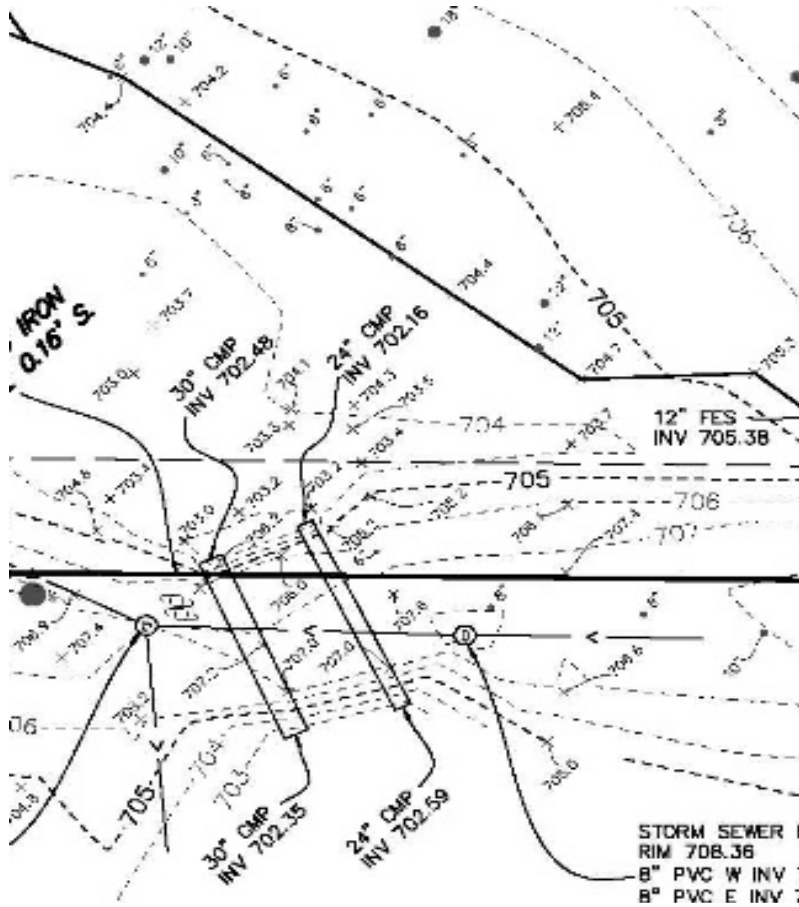
- The York Center Park District may not have acted like it on March 15, 2022, but it is a political subdivision of the State of Illinois
- Any neighbor claiming to be a “member” must be confusing the membership fees charged for programs. There are no members.
- In 2010, YCPD took over the land after years of neglect by the York Center Cooperative.

# YORK CENTER PARK DISTRICT OPPOSITION

- Daniel observations at least monthly since September 2021 show minimal use of the south park and zero use of the north pond which has expanded to cover portions of two private parcels.
- Several calls/emails with E.D. Scott Nadeau from February 23, 2022 (no opposition).
- Comm'r Bob Fritz was on Neighbor Zoom Meeting March 2, 2022 (no opposition).
- New plan visits with all neighbors, call/email Nadeau (March 8, 2022)
- March 16, 2022 letter opposes variations but not conditional uses and expresses no basis for opposition to variations.
- March 15, 2022 illegal meeting to allow neighbors to vent (no notice, no agenda, no call or email to Daniel despite contact).



Co-Op Park is a drainage way; unplanned passive recreation, if that. Not maintained well.

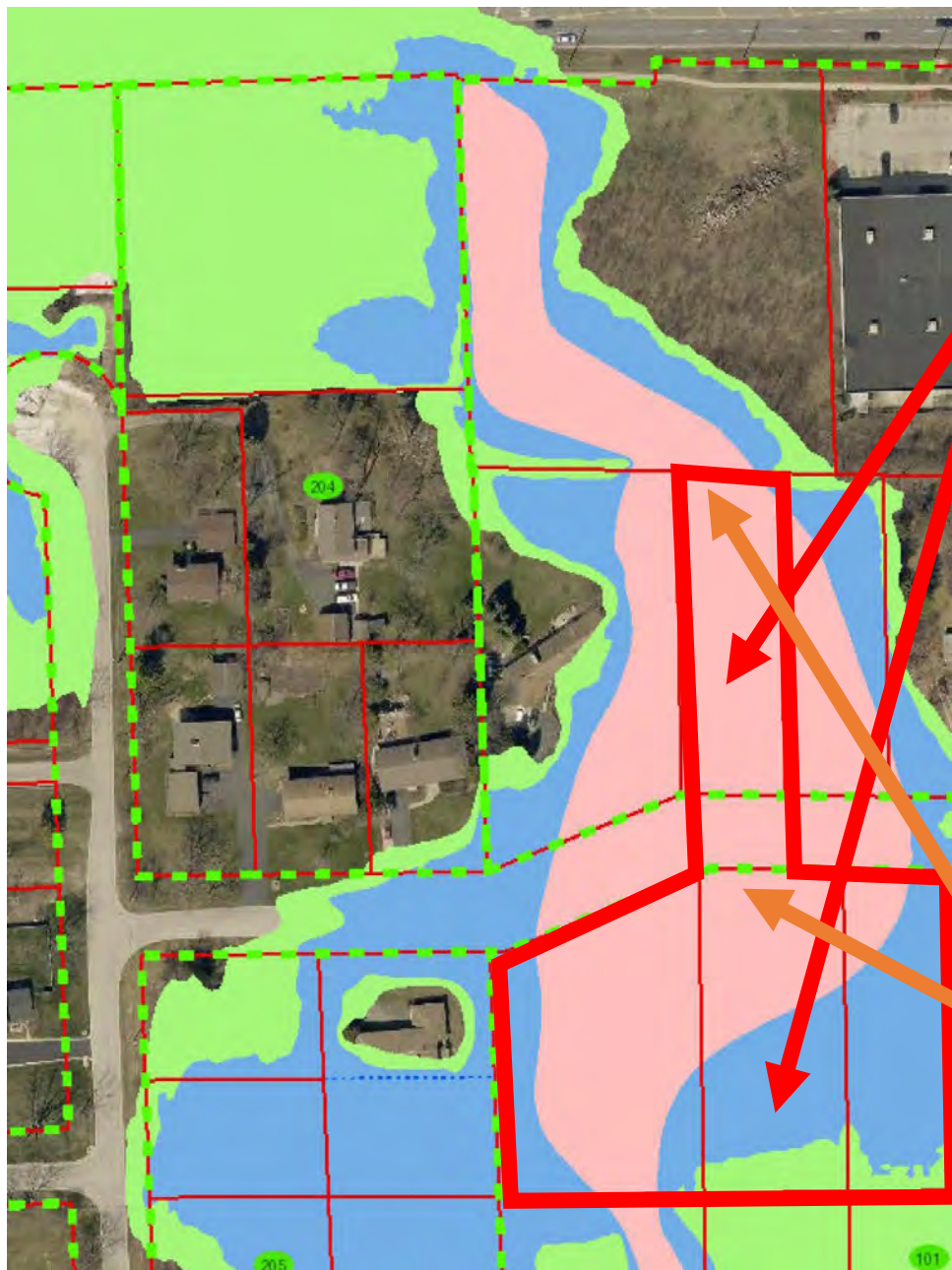


# 2021



2021



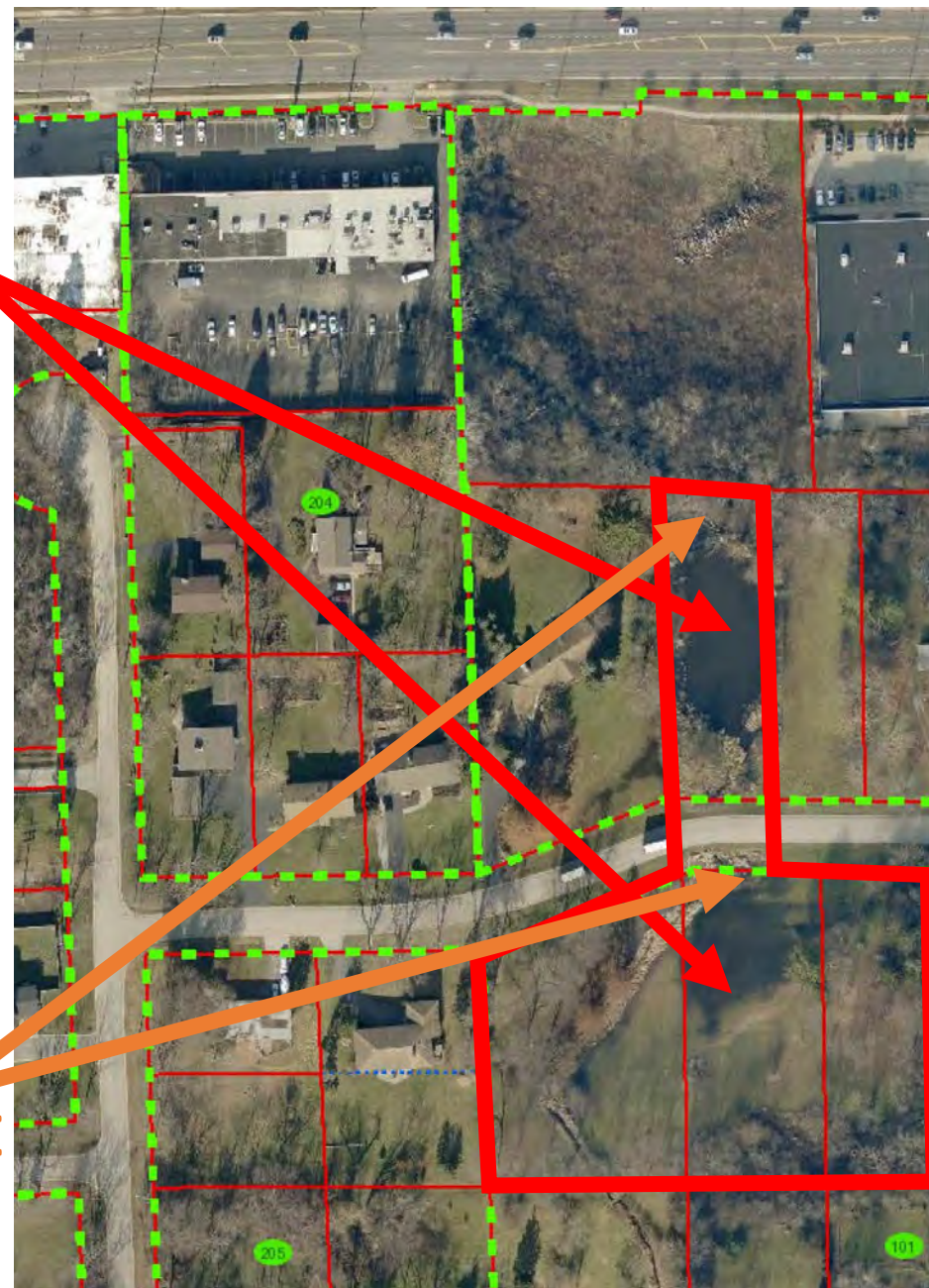


**CO-OP  
PARK**

COOPERATIVE  
UNTIL 2010

YCPD  
AFTER 2010

**FAILED  
MAINTENANCE**



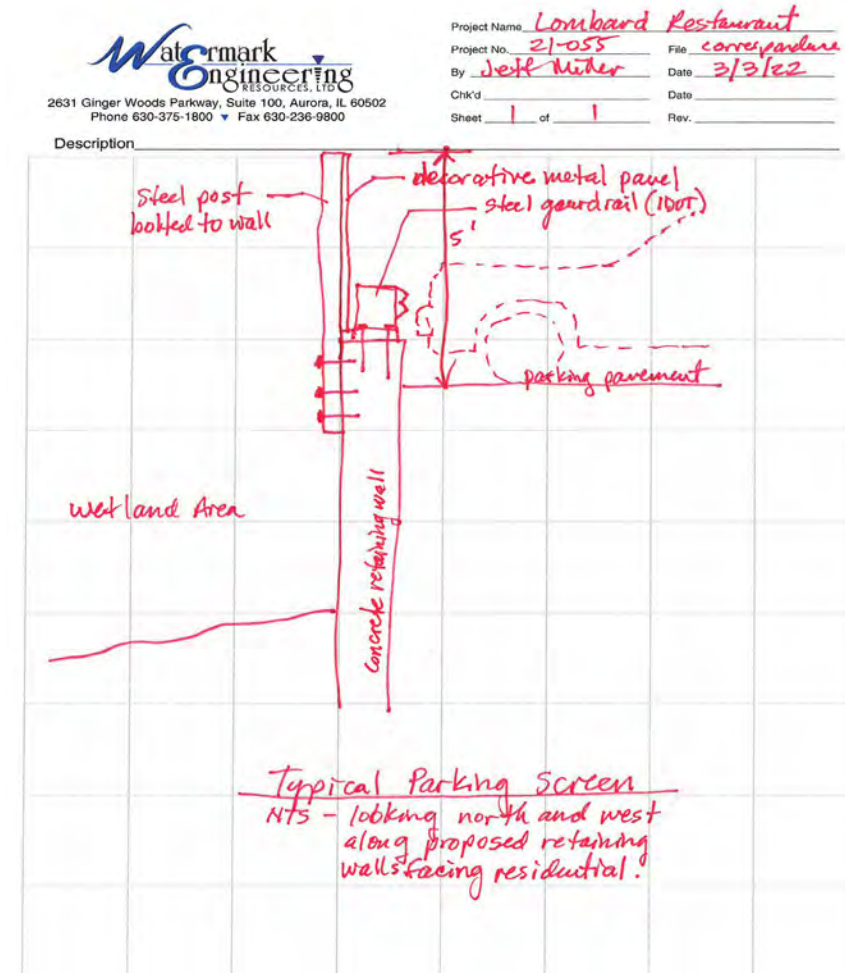


# Standard Obstructionist Operating Procedure

- Informational meeting held due to importance of sharing project information in advance of zoning hearing and obtaining feedback.
- Plan modifications in coordination with neighbors and YCPD executive director at the urging of a neighbor (screening, pole lighting, wall lighting, lighting dimming and switches, no outdoor amplified sound).
- Neighbors ask for more trees on Roosevelt and seek elimination of lighting variations they will not see, soundproofing of walls, and trees south of 13<sup>th</sup>.
- Neighbor/YCPD seek bald cypress trees despite existing screen (provided).
- Neighbors falsely claim windows and doors stay open.
- Park district hosts an illegal meeting with no notice, no agenda on Internet, no phone call or email and allow neighbors to vent while never having a presentation of the project by anyone with appropriate knowledge.

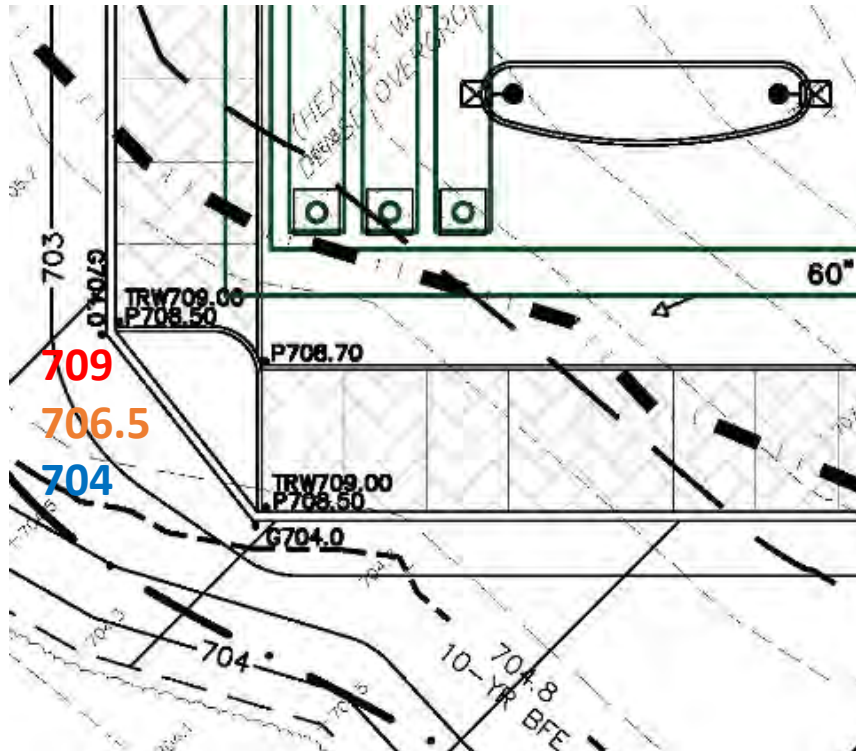
# Some Neighbors Want Fence at Head of Spaces

- Denies Safa the benefit of the wetland and natural area it is spending money to preserve.
- Creates a sound chamber for noise reverberation from the use and from PepBoys and west neighbor (harming the south and southeast).
- Impractical as the existing screen already works well and it will be supplemented by neighbor's chosen trees (bald cypress).
- Poses maintenance and hazard issues.



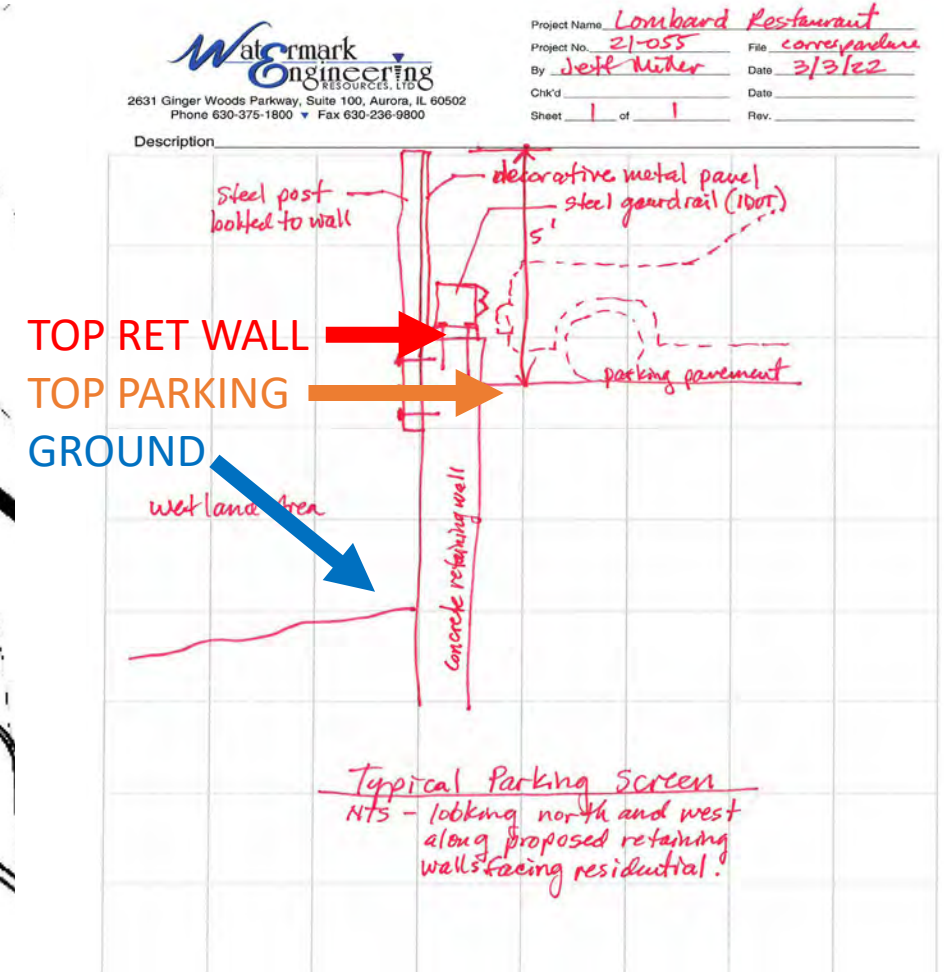
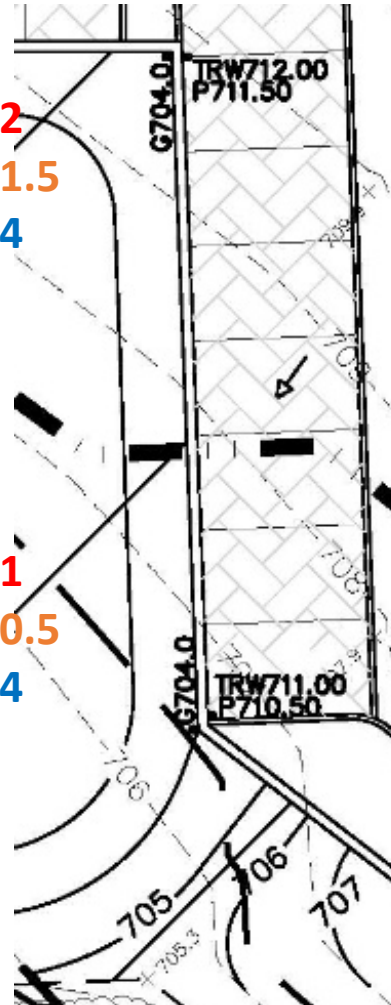


# Some Neighbors Want Evergreens at Spaces

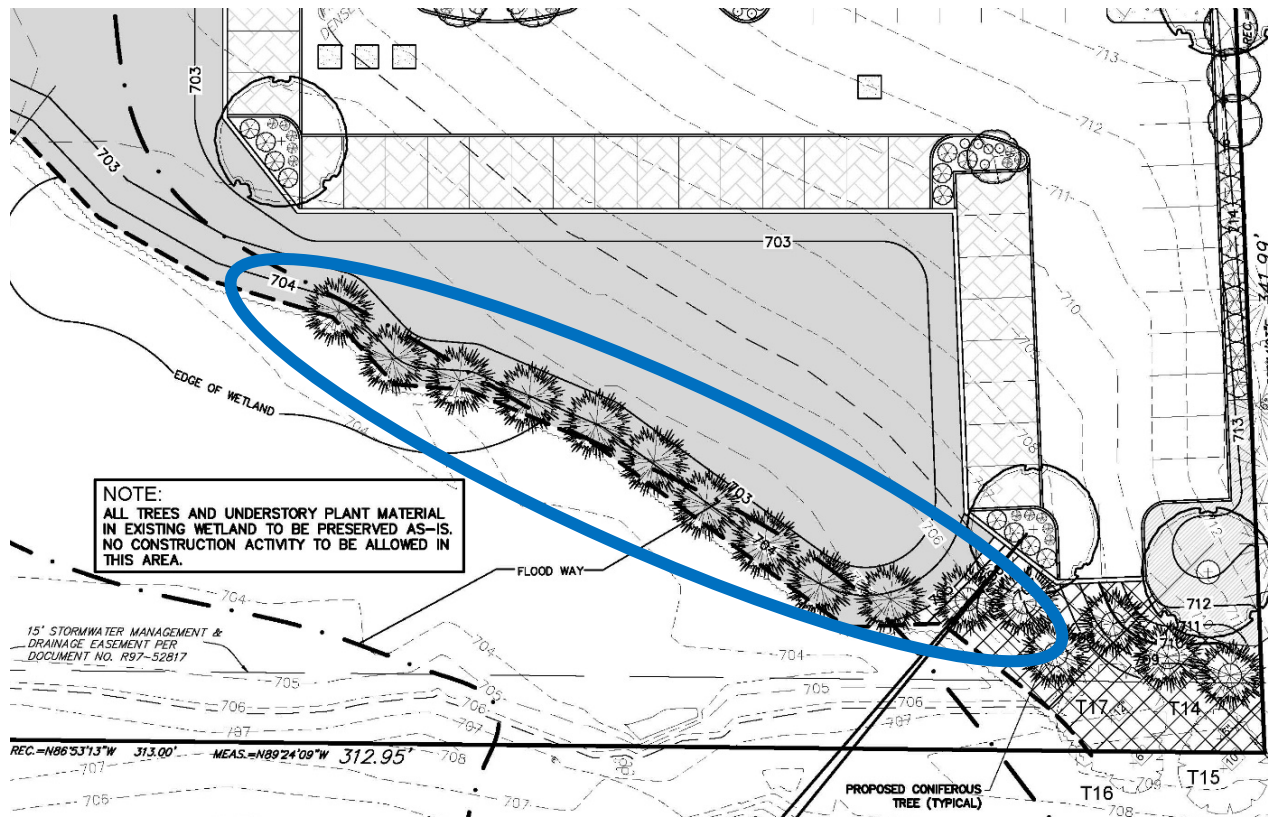


712  
711.5  
704

711  
710.5  
704



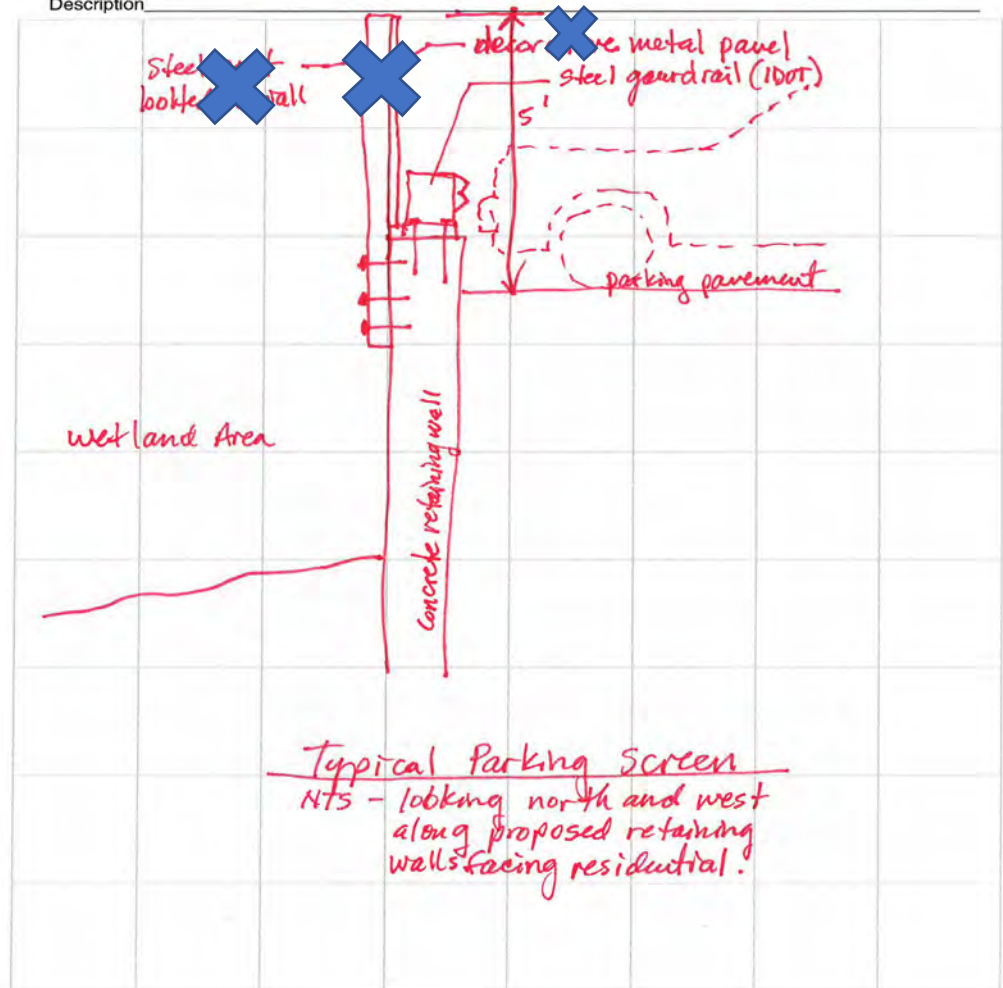
# RESOLUTION



**Watermark Engineering**  
RESOURCES, LTD.  
2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60502  
Phone 630-375-1800 Fax 630-236-9800

Project Name Lombard Restaurant  
Project No. 21-055 File correspondence  
By Jeff Miller Date 3/3/22  
Chk'd \_\_\_\_\_ Date \_\_\_\_\_  
Sheet 1 of 1 Rev. \_\_\_\_\_

Description





# OTHER NEIGHBOR COMMENTS

- Three stories is too tall
  - Allowed by code
  - 3 stories directly north
  - Limited building area pushes height
- Traffic, parking, lighting too much
  - Exactly as intended in B4A district
- Lighting will impact homes
  - False, zero footcandles
  - 0.3-0.5=full moon, see photometric
- Wildlife
  - EcoCAT clearance (report if seen)
- Impact on property values
  - No evidence, this any residence north or south of the B4A would be similar
  - Lighting variances imperceptible
- Noise
  - No homes within 330 feet
  - Nearest usable park, 450-500 feet
  - No outdoor amplified sound
  - Windows and doors not open
- Flooding
  - False, see plans which reduce sheet flow, store and retain water, move outlet along Roosevelt Road
  - Water quality per County PCBMPs
  - YCPD failed to maintain pipes, affecting owners east and south
- It will rain more in the future
  - County SWFPO covers this
  - Lombard and County will insist on proper planning and drainage

# OTHER NEIGHBOR COMMENTS (continued)

- Go someplace else
  - Allowed at site by code
  - 3 stories directly north
  - Looked for four years
  - Not a shopping center use (High Point)
  - Not environmentally friendly (waste)
  - Conflicts with retail needs
- “My experience with Bucky’s”
  - Not relevant at all
- Windows or doors will stay open
  - False (knowingly false at YCPD)
- Multiple variations in drainage sought
  - False. No drainage variations in requests.
- Variations impact habitat and species
  - False, see EcoCAT
  - False, wetland untouched with better low flow management and retention
  - False, variations are all near or north of building
  - False, having the right amount of parking is better for habitat than excessive parking
  - False, 1.23 acres on site remains open and properly connected to the 3.11 acres in Co-Op Park, 0.56 north
  - Eliminated rows of parking
  - Removed wall lights, dimming, shutoff
  - Relocated south light pole 30’ further north
  - Relocated dumpster to east of building
  - Added two trees and ten bald cypress



# OTHER NEIGHBOR COMMENTS (continued)

- Impact on Public Land
  - Public land actually impacts the Subject Property because the tributary would not exist but for Montini and other schools and the drainage needs of York Center
  - The passive recreation purpose relates as much to stormwater as it does any habitat concern
- “Enraged to hear Daniel refer to wetland as insignificant”
  - The wetland is not a significant wetland
- “... and the park as insignificant”
  - The attached park space offers only the slightest ability to recreate even passively
- Pursue a Dark Skies community
  - The cooperative was a collection of city dwellers who escaped to a Christian-run farm community--not a forested woodland area
- Chicago Region Trees Initiative
  - Our goal is to make a significant, measurable improvement to the regional forest and the lives of its inhabitants by the year 2050.
  - Preserves a diverse 1.23 acre open area that includes wetland tree stand
  - Adds three times the same species the YCPD has added in Co-Op Park recently
- Variances that allow more lights to showcase the building on the south AND west side of the building are unacceptable.
  - Variances do not allow more light south and west. Variances do not allow showcasing of the building.
- We, the members of the Co-Op Park, deserve a dark skies compliant neighbor.
  - False. The Cooperative failed to maintain the park area and the drainage for 30-40 years before it was dissolved in 2010. The YCPD continued this.

# OTHER NEIGHBOR COMMENTS (continued)

- It will ruin Co-Op Park
  - False, drainage will continue
  - Usable park is 450-500 feet south
  - Large wetland and tree stands
  - Co-Op Park is not an active park
  - Nothing interferes with passive rec
  - 10 bald cypress requested by YCPD
  - YCPD failed to maintain at outflows in two locations
  - YCPD vote was a sham proceeding
- Sightlines affected
  - Building is 2 degrees above PepBoys on the northerly horizon
  - Wetland screen, SE landscaping.
- Our neighborhood park land is significantly impacted by the development of this property.
  - False. Sugar Creek tributary flows from south to north.
  - For decades, the cooperative did not have paved roads, leading to erosion and sediment that was so bad the federal government referred to it as blighted.
  - It is this sediment that has robbed 13<sup>th</sup> Street property owners of land and caused ponding in the park.
- Drainage is more important north of Roosevelt
  - True. They suffer many times more damage than York Center (Area E).



# Other Neighbor Comments (continued)

- “The design calls for lighting on all four stories & all four sides.”
  - False. On three stories except east.
- “include[e] ground lighting that shines skyward”
  - True. At rickshaws and plantings.
  - Lighting shines up. Not skyward.
- The parking lot does not have a fence that will block car headlights from shining into surrounding houses
  - East line has full arbor vitae screen with full wrap of the corner
  - West and south have bald cypress
- The neighborhood already deals with water issues in the park and surrounding houses.
  - Co-Op Park was always a drainage way and intended as such
  - Cooperative and YCPD neglect leads to downed trees, eroded support for pipes and excess ponding near 13<sup>th</sup> Street culvert.
  - “In surrounding houses” is false inasmuch as there is no report of property damage in Area E over the last 60 years.
- [T]he developer has indicated they would like to primarily utilize existing foliage in flood-ways for screening.
  - See landscape plan.

# Other Neighbor Comments (continued)

- Customers parking in residential areas and trespassing for egress/regress of the site
  - No pedestrian connection, no reasonable access between any residential area and the site.
  - The park north of 13<sup>th</sup> is a bog.
- The square footage can maintain a larger occupancy than what is published
  - Preliminary kitchen and FFE indicates the area for diners is less than “published,” seats remain at 348
- On 28 rooftop seats, “The philosophy of the Plan Commission is to foresee this type of situation and address before a structure is built.”
  - False. The Village permits outdoor dining. Applicant has committed to no outdoor amplified sound and limited hours of rooftop operation.
- The current square footage assigned to the kitchens would easily be able to serve double the occupancy listed.
  - Ignores catering and three styles of kitchens.



# Other Neighbor Comments (continued)

- I am asking that events in the parking lot and on the patio not be given a variance as there is no limitation as to how often, when or to what capacity these events can be held.
  - Saturdays, 12P-7P only adjacent to south wall of building
  - No events on rooftop

# About Tomas Novickas (not a neighbor)

- “I would respectfully ask that at minimum the consideration of variances is postponed to allow the developer to work on solutions.”
  - Mr. Novickas refused to accept geometry.
  - Mr. Novickas insisted on non-native species and, following Daniel’s rejection of planting bald cypress, had the YCPD call Daniel to tell him that the YCPD had success with bald cypress and it would appreciate using those for a screen (as would Mr. Novickas).
  - As a result, a line of ten or more bald cypress is shown in the plans despite Mr. Novickas being aware that these trees lose their needles.
  - With that said, it is difficult for Mr. Novickas to now shift to insisting on another planting and disingenuous to claim that there is no continuous arbor vitae planting on the east line and no parking lot screen other than the *substantial* existing wetland screen.



# Tomas Novickas (continued)

- “While I do not expect the property at 855 Roosevelt to remain undeveloped, it is critical that any development of the property maintain the historical integrity of the park's serenity.”
  - Historical integrity (the park became serene only when it became permanently flooded; it was farmland before)
  - 1.23 acres is sufficient (the pond lot to the south is less than 50% this size)
- The B4a Roosevelt Road zoning language supports keeping the park serene.
  - This interpretation is incorrect. A transition yard or area is necessary and Applicant meets the B4A regulations south of the building curtilage—well north of the “park” that primarily exists south of 13<sup>th</sup> Street, upstream from the pond the cooperative and YCPD allowed to develop and continue north of 13<sup>th</sup> Street.

# Tomas Novickas (continued)

- [W]e have proposed specific, reasonable, and actionable solutions--which so far have largely not been included.
  - Soundproofing walls is not a reasonable solution.
  - Depriving the owner of year-round views and access to 1.23 acres of land is not a reasonable solution.
  - Constructing fences along the parking lot to reflect sound from PepBoys back to the east and southeast or from the bar back to the west and southwest is not a reasonable solution.
  - Planting trees in an area where they will impact a retaining wall is not a reasonable solution.
  - Eliminating all lighting on the south elevation rather than some is not a reasonable solution.
  - Removal of a light relocated to a point adjacent to the wall of PepBoys is not a reasonable solution.
  - Eliminating lighting for the access route and accent lighting for the rickshaws and landscaping to “protect a pond and park further south” is not a reasonable solution.
  - Dark Skies planning at this location is not a reasonable solution.
  - Adding new street trees where neither IDOT nor Lombard nor the County desires them is not a reasonable solution.



# Tomas Novickas (continued)

- [U]pon the restaurant closing, the employee designated parking (another variance related request) --the last people to leave-- is almost directly adjacent to neighboring properties.
  - Employee designated parking is not a variation
  - The designation places those who will lose a job in a position of respecting neighbors near the lot line rather than a guest who we lack control over
- The developer has verbally indicated that noise would be minimal simply because there is no alcohol served, however there is no written guarantee (that we are aware of) that would ensure this form of "noise mitigation" would be perpetual.
  - Usmania does not serve alcohol. Mr. Novickas and others refuse to investigate this or accept the proposition that a restaurant can succeed without alcohol. There is no more to discuss on this front. Alcohol is not served due to personal beliefs that have nothing to do with noise.
- The developer has indicated they would self-enforce noise issues related to parties and employees leaving at the end of the night (early morning hours) but no clear process or guidelines have been shared.
  - Closed doors and windows
  - Limited rooftop hours
  - No alcohol
  - No amplified sound outdoors
  - Avoidance of a fence where reflective sound issues would arise
  - Employee parking closest to the park and abutting neighbor
- Section 155.417 (2) "Site landscaping shall buffer unwanted views and sound"
  - He reads "buffer" as "blocks"

# Tomas Novickas (continued)

- “[C]ritically, 155.417(G)(14) also states that "Screening of lights from residential areas ... shall be required" which is not being accomplished by the developer's proposal.”
  - False, see photometric plan
  - False, all lights for which a variance is requested are situated near or north of the building and screened from any home
- The rooftop deck with apparent "VIP" lounge areas
  - He is making this up based on his own apparent lifestyle
  - The deck will close well before the restaurant.
- “[N]o provisions have been made to reduce noise from the rooftop deck to adjacent properties nor park.”
  - False. No outdoor amplified sound.



The building will tower  
over our existing trees.

USMANIA





# USMANIA

The building will tower over our existing trees.





The building will tower  
over our existing trees.

USMANIA





# USMANIA

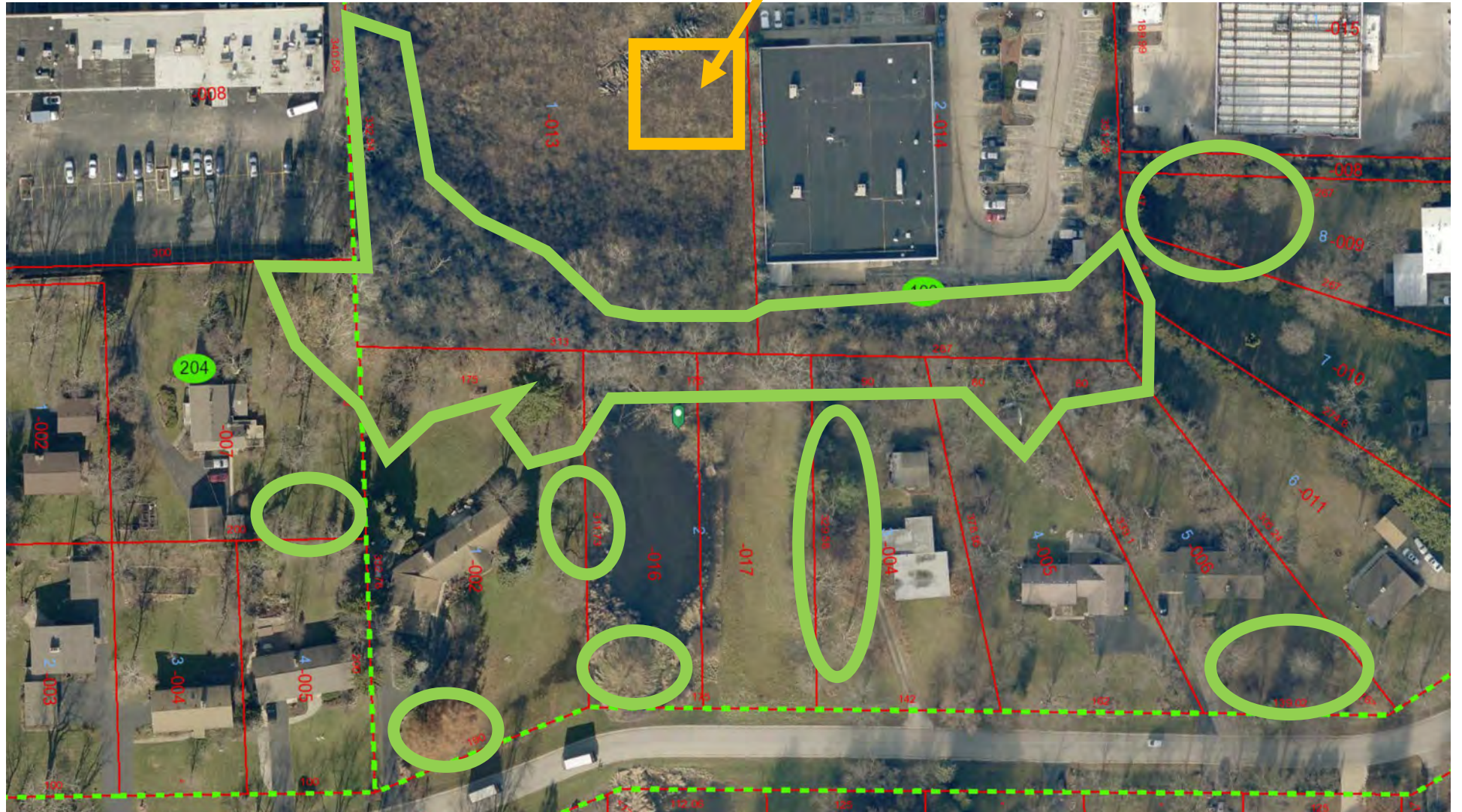
The building will tower over our existing trees.





It's not true...

USMANIA



# 828 13<sup>th</sup> Street

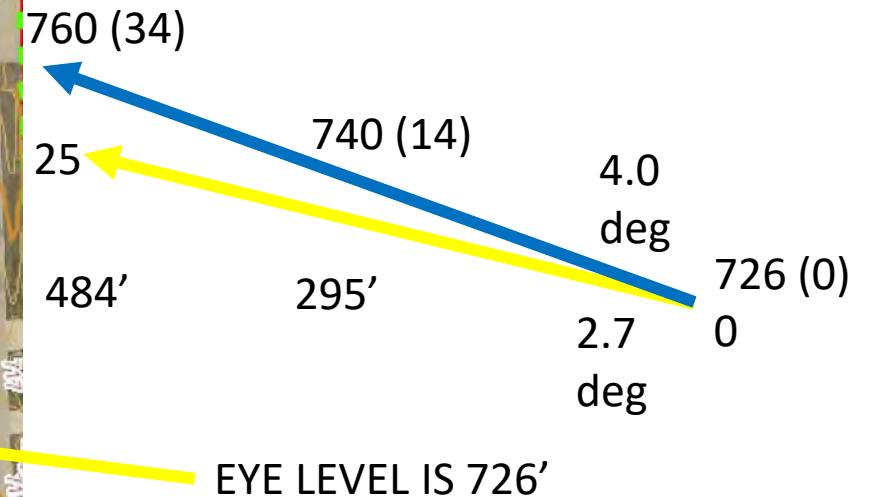
- I am asking that the lighting on the west and south sides of the building be baffled so that the intensity of the lighting in my back yard are minimized. I suggest the same for the parking lights. That they be baffled and angled down toward the parking lot.
  - Reduced wall lighting on south; upper will turn off, lower will dim late.
  - Relocated light pole near southeast corner as noted above.
- Happy if a line of shrubs and 40' trees could be planted on the south and west sides of the parking lot
  - YCPD/"Neighbor" specified line of bald cypress will reach 40'
  - Placed at first available location west and south of parking lot
- Concerned about three story height of building
  - 45' to parapet from southeast (E/SE elevation complies with 40' roof height limit)
  - A two story building would disturb more of the site



# 828 13<sup>th</sup> Street (continued)

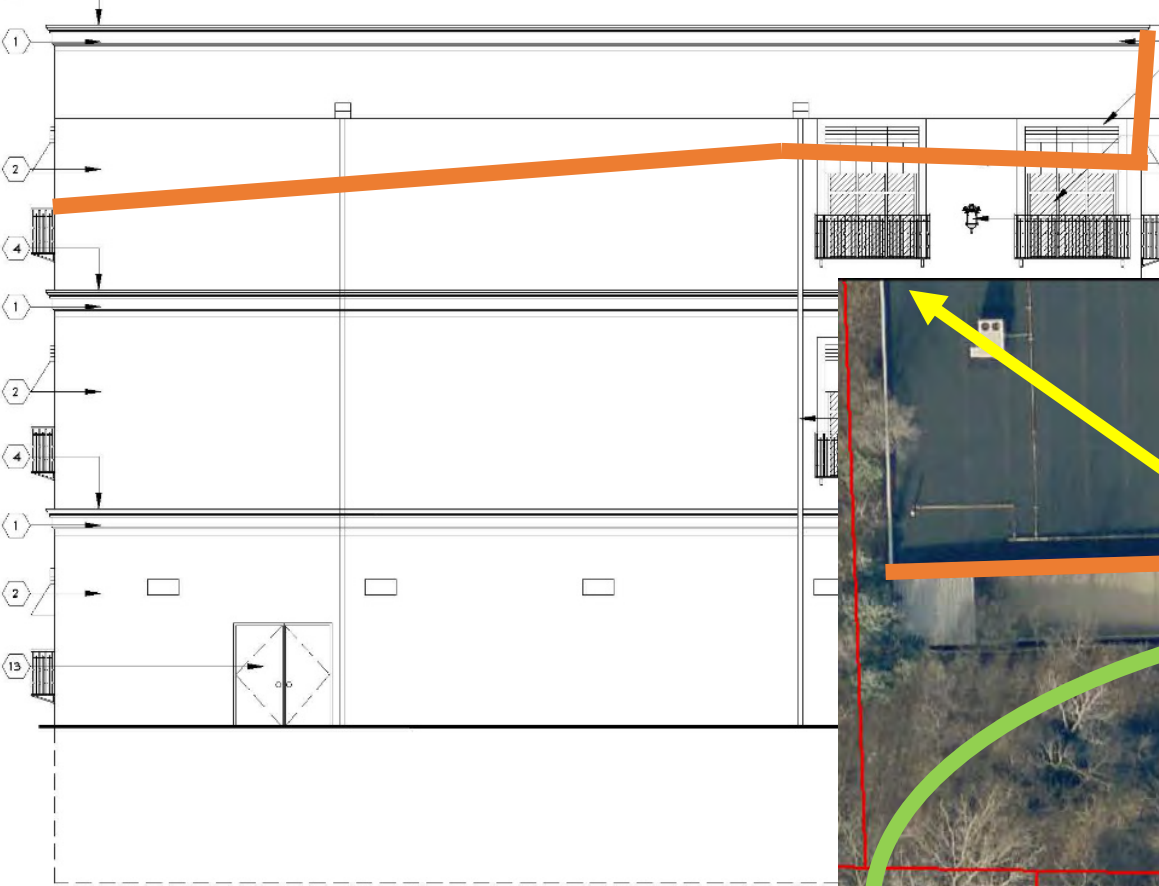
MAXIMUM VISIBLE USMANIA

**9-11 FEET**  
**FROM 484 FEET**





# VISIBLE ABOVE ORANGE LINE

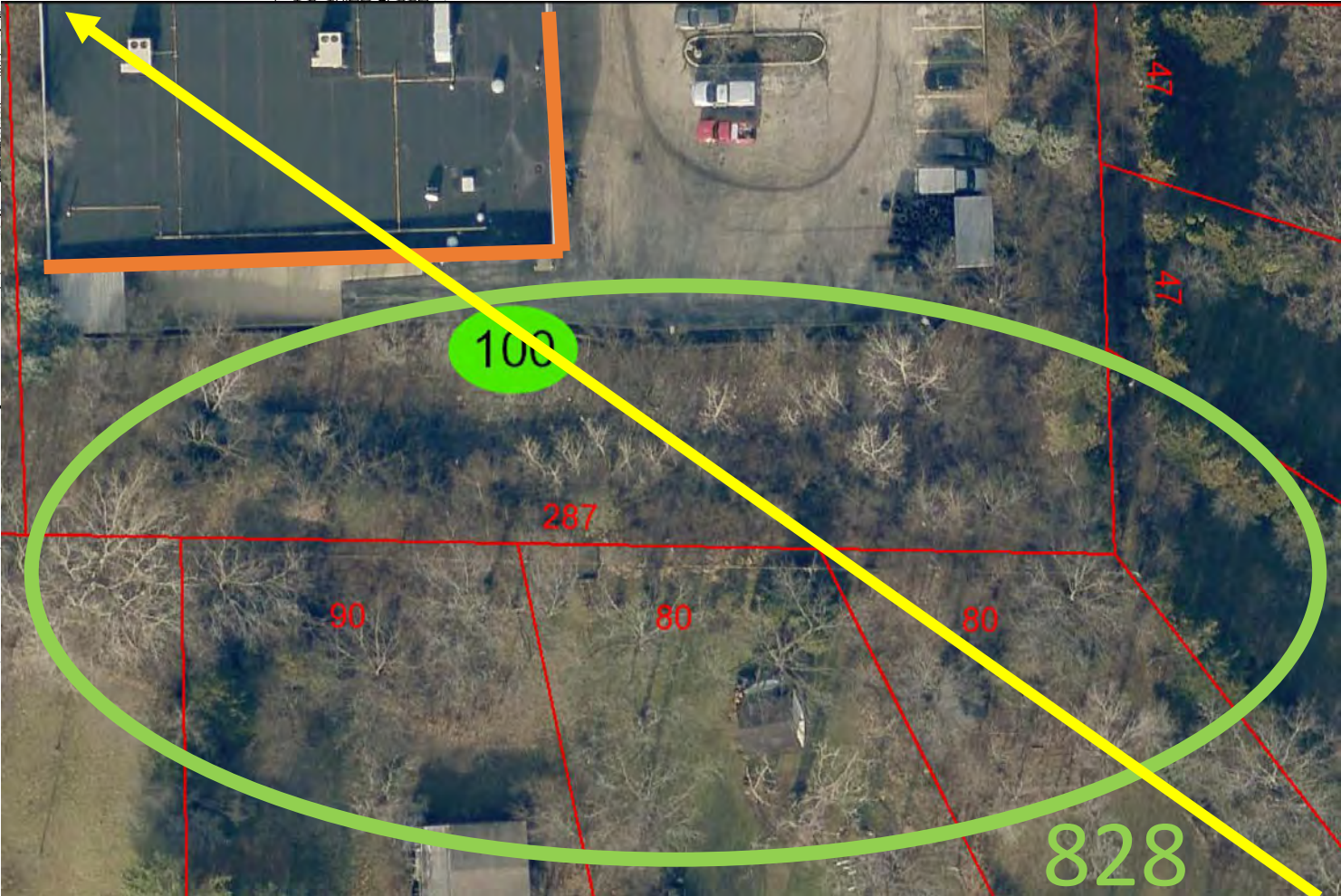


3 PROPOSED EAST ELEVATION  
SCALE: 1/8"=1'-0"

THE EAST ELEVATION IS 1' SHORTER  
THAN MAXIMUM ROOF HEIGHT

TOP OF PARAPET = 45'0"  
TOP OF ROOF = 39'0"

THROUGH +80' OF TALL CANOPY





# Questions from Neighbors

- Where is it written that there will not be alcohol served on this development for the next 50 years. The developing owners may not serve alcohol, but what happens if/ when ownership changes?
  - If a license is available, the owner who decides to serve alcohol will comply with the liquor control ordinance.
  - The liquor control ordinance does not amend the relief provided or the conditions imposed.
- Where would overflow guests park?
  - If valet is required, the east aisle would be used for this parking.
- Please use sound dampering walls.
  - This will not be required.

# Questions from Neighbors (continued)

- The increased light will lower the quality of life for near by houses. Please address.
  - Some lighting was removed from south wall, upper floors shut off, first floor will dim at closing. Lighting on east elevation was limited before March 2.
- People trying to find or leave the restaurant will eventually end up on 13th Street in confusion and drive too fast. We already have a speeding problem on that road. Signs have minimal impact and they look bad. Please address traffic safety concern.
  - These are York Center residents and guests. There is no pedestrian connection to Usmania from 13<sup>th</sup> Street. No traffic heading to or from Usmania will benefit from using 13<sup>th</sup> or School. Zero cut-through risk. Westmore-Meyers and Roosevelt Road are the principal nearby street routes.



# Questions from Neighbors (continued)

- What study has been done to understand the impact this development will have on the local park natural space and animals?

- See photometrics
- See also the preliminary civil engineering plans



*Applicant:* SAFA PROPERTY LLC  
*Contact:* MARK W DANIEL  
*Address:* 2608 WEST PETERSON  
SUITE 201  
CHICAGO, IL 60659

*IDNR Project Number:* 2207130  
*Date:* 11/18/2021

*Project:* USMANIA PRIME  
*Address:* 849 E. ROOSEVELT ROAD, LOMBARD

*Description:* CONSTRUCTION OF A RESTAURANT AND ACCESSORY PARKING AND LOADING, DETENTION.

## Natural Resource Review Results

### Consultation for Endangered Species Protection and Natural Areas Preservation (Part 1075)

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

**Consultation is terminated.** This consultation is valid for two years unless new information becomes available that was not previously considered; the proposed action is modified; or additional species, essential habitat, or Natural Areas are identified in the vicinity. If the project has not been implemented within two years of the date of this letter, or any of the above listed conditions develop, a new consultation is necessary. Termination does not imply IDNR's authorization or endorsement.

# Questions from Neighbors (continued)

- What happens if someone happens to see a nest for the first short-eared owl observed in DuPage County since 2016? (a fair and polite rewording of comments from a neighbors concerning endangered species review
  - Even if the EcoCAT review from IDNR did not turn up anything, we are obligated to stop work and report if we see signs of an endangered species.
  - These signs would have to be more than a bird on an adjacent parcel or a bird in a tree on our parcel, though if we did see such a bird, we would look for a nest and notify.
  - IDNR is aware that the short-eared owl is endangered in DuPage County, but it did not identify this site as being known to be the host of the species.



# Questions from Neighbors (continued)

- What is being done at this location and surrounding for appropriate management of the vulnerable areas once the project is "completed"?
  - DuPage County will determine the permitting aspects of work that affects the amount of water discharged into the wetland
  - Historically, dirt and stone have migrated into the wetland from unpaved roads south of the site
  - Historically, erosion from sheet flow has migrated into the wetland
  - There should be an improvement to the water quality in general, and in particular, in the wetland

# Questions from Neighbors (continued)

- What will the county/village/investor/park district dedicate as resources to improve the natural habitat on both the "developed" and "undeveloped" (adjoining) land at this location? Footprint of the project leaves a significant part of the vulnerable areas "untouched", but that begs the question of what level of land management will encourage a healthy development of the surrounding natural/wetlands/wooded areas and who will share in this common interest?
  - The County will have a blanket easement and continue to evaluate the tributary. The owner will remove low volume dead trees and fly dumping. The YCPD should repair its pipes and removed dead trees and obstructions to the pipes.
  - No one is required to dedicate funds, but they cannot kill off a wetland or remove trees from the wetland without a proper permit and, in this case other authorizations.



# Questions from Neighbors (continued)

- This would lead me to think that plantings may be more useful in the undeveloped lot to the north of 13th street (privately owned).
  - Applicant refused to plant trees for YCPD, but the owners of land east of the park area north of 13<sup>th</sup> know that Applicant would be willing to plant a few trees if needed in an area sufficiently south of the berm. Applicant is certain that screening will be adequate to buffer the use from homes, but these owners know that three trees south of the SE corner and berm are an option.
- [V]ehicle headlights should be able to be mitigated by the suggested (guard rails) enhanced by a fence or natural screen above the guard rails to mitigate the lights from traffic movement in the parking lot.
  - Applicant added 12-13 trees from the SE corner along the wetland buffer in a northwesterly direction. A fence on the guard rail is not recommended due to concerns over reflective noise.

# Questions from Neighbors (continued)

- Is there an obligation to the York Center Park District arising from intergovernmental relationships?
  - Lombard owes an obligation to the YCPD to consider the park as a neighbor.
  - In the Applicant's view, the YCPD violated state law in convening a meeting to address action items that were not on a properly published agenda.
  - This prevented the Applicant from being present and presenting accurate information available to the YCPD even though Applicant was checking the YCPD's website daily.
  - The YCPD's action is a nullity and it knows it does not have jurisdiction.
  - With that in mind the executive director will confirm that Applicant has been in touch with him since February 23 and that Applicant added 12 trees to the project and avoided a fence due to sound reflection or reverberation concerns. The YCPD also will acknowledge that the Applicant has identified YCPD maintenance and repair issues that contribute to excessive ponding.



# REQUESTED CONDITIONAL USES

- To allow a restaurant, including entertainment and dancing when conducted as part of the restaurant operations and secondary to the principal use (155.4177(G)(2)(a)(vii));
- To allow a building containing a restaurant as a principal use that will exceed 40 feet in height (155.417(G)(2)(c)(vii));
- To allow outdoor display and sales on a seasonal or periodic basis in the row of parking along the south elevation of the building and in the rooftop area (155.417(G)(10)(b));

# STANDARDS FOR CONDITIONAL USE

- (a) That the establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare;
- (b) That the conditional use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.
- (c) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;
- (d) That adequate public utilities, access roads, drainage and/or necessary facilities have been or will be provided;



# STANDARDS FOR CONDITIONAL USE

- (e) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
- (f) That the proposed conditional use is not contrary to the objectives of the current comprehensive plan for the Village of Lombard; and
- (g) That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.

# Illinois Supreme Court

- The listing of the conditional use(s) in the B4A conditional use list is a legislative determination that the use is appropriate at properties in the district.
- The requested conditional use(s) should be approved unless a particular aspect of the use at this particular location renders the use improper at the site when compared to other locations in the B4A district.
- Denial on the basis of impacts from aspects of the permitted use (restaurant smells, outdoor dining noise, parking lot lighting, people talking as they walk to cars, building lighting) is improper.
- Denial based on an impact caused by an aspect of the conditional use that occurs elsewhere in the B4A district is improper.

# Dancing and Entertainment

- The dancing and entertainment is on the inside of a building that is 330 feet from any residence. Most uses in the B4A zoning district have buildings closer to homes.
- Uses that would allow dancing or entertainment often serve alcohol, but the proposed use will not be serving alcohol.
- Dancing and entertainment will be consistent with events and the style of dining and not detrimental to, or an endangerment to public health, safety, morals, comfort, or welfare.
- Since dancing and entertainment will only occur inside a building with closed doors and windows, the use will not be injurious to the uses and enjoyment of other property, nor substantially diminish and impair property values in the B4A neighborhood.
- The dancing will occur on the last of properties to develop in the district and no aspect of the use will cause more traffic or extend beyond the lot lines so as to impede development and improvement of property for uses permitted in the B4A district.
- Adequate public utilities, access roads, drainage and/or necessary facilities are planned.
- The use implicates no aspect of traffic or parking that has not already been addressed.
- The use is consistent with the comprehensive plan.
- The use of which the dancing and entertainment is a part of a use that will conform to B4A regulations, except as modified.



# Conditional Use of Height Above 40 Feet

- The height above 40 feet rises above the glass enclosed dining on the third floor, but remains below the top of parapet.
- The building is 330 feet from any residence. Most uses in the B4A zoning district have buildings closer to homes.
- Dancing and entertainment will be consistent with events and the style of dining and not detrimental to, or an endangerment to public health, safety, morals, comfort, or welfare.
- Since dancing and entertainment will only occur inside a building with closed doors and windows, the use will not be injurious to the uses and enjoyment of other property, nor substantially diminish and impair property values in the B4A neighborhood.
- The dancing will occur on the last of properties to develop in the district and no aspect of the use will cause more traffic or extend beyond the lot lines so as to impede development and improvement of property for uses permitted in the B4A district.
- Adequate public utilities, access roads, drainage and/or necessary facilities are planned.
- The use implicates no aspect of traffic or parking that has not already been addressed.
- The use is consistent with the comprehensive plan.
- The use of which the dancing and entertainment is a part of a use that will conform to B4A regulations, except as modified.

# Outdoor Events (Saturdays, Noon-7:00 PM)

- The area adjacent to the south wall is 330 feet from any home and having tables and tents set up for cultural events or bazaars in this area will not affect nearby owners.
- Outdoor activities offering goods, services and education will not be detrimental to, or an endangerment to public health, safety, morals, comfort, or general welfare.
- Event timing is concurrent with the busy daytime hours in the area and before busy dining hours, so the use will not be injurious to the uses and enjoyment of other property, nor substantially diminish and impair property values in the B4A neighborhood.
- The events will operate within the capacity of the site, away from the shared access and entrance drive and no aspect of the use will extend beyond the lot lines so as to impede development and improvement of property for uses permitted in the B4A district.
- Adequate public utilities, access roads, drainage and/or necessary facilities are planned.
- The use implicates no aspect of traffic or parking that has not already been addressed.
- The use is consistent with the comprehensive plan and retains people in the district.
- The events will conform to B4A regulations, except as modified, and also comply with Village ordinances applicable to equipment and use.

# GENERAL STANDARD FOR VARIATIONS

*The variations from the Zoning Ordinance are “in harmony with its general purpose and intent” (155.103(C)(2)(A))*

- The variations meet the standards.
- The project and the variations are consistent with the Lombard Comprehensive Plan.
- Kane DuPage Soil and Water Conservation District Land Use Opinion does not indicate that the project or any variations will be a problem.
- The Illinois Department of Natural Resources EcoCAT report did not indicate concerns for flora or fauna or any endangered species.



# 155.103(C)(7)(A) FINDINGS

*Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience if the strict letter of the regulations were to be applied.*

- Water impacts on 1.23 acres of 2.45-acre site



DuPage County DFIRM2019

## 155.103(C)(7)(A) FINDINGS (continued)

- The wetland is densely wooded and will not be disturbed, leaving ample buffers to allow interior parking lot landscaping relief.
- In 1997, the Village authorized reciprocal access and shared driveways in order to accomplish preferred driveway spacing along IL 38.
- The development must complete this access route and direct lighting to attain a level of illumination appropriate for the cross-access, requiring a variation to direct lighting to the access route where it crosses the lot line and to allow greater footcandles than are allowed on the other side of the lot line for safe operations.
- Conditions (a) reduce area for parking, voluntary loading as well as foundation plantings, (b) impact lighting planning, and (c) support use of planting areas for plants and cultural elements (rickshaws)

# 155.103(C)(7)(B) FINDINGS

*The conditions upon which an application for a variation is based are unique to the property for which the variation is sought, and are not generally applicable to other property within the same zoning classification.*

- The only B4A parcel impacted in this fashion.
- 1 other similarly impacted IL 38 commercial lot in DuPage County.
- No other B4A lot features such a dense wooded area to screen and buffer active on-site areas.
- 1.23 acres will be governed by maintenance and landscape planning due to the special management areas



# 155.103(C)(7)(C) FINDINGS

*The purpose of the variation is not based primarily upon a desire to increase financial gain.*

- Avoidance of the apron allows loading east of the building to benefit residential neighbors and adds nothing to the bottom line.
- Decorative lighting for the rickshaws and some plantings allows for creative planning, and does not add to profits.
- Lighting access routes relates to safety across the lot line, not profit.
- The parking variation allows continuation of the wetland and floodway (no amendment to FEMA map) rather than compel loss of the area for parking that is not necessary to the use.
- Planting variations for the special management area are not profit matters.
- Avoidance of southerly foundation landscaping and planning for cultural events is primarily a community benefit even though some profit may result.

# 155.103(C)(7)(D) FINDINGS

*The alleged difficulty or hardship is caused by this ordinance and has not been created by any person presently having an interest in the property.*

- Applicant acquired the property in Fall 2021, well after:
  - The farmstead extending from Roosevelt Road into York Center was divided for commercial and residential use;
  - The Sugar Creek tributary developed south of the Subject Property;
  - Illinois Route 38 constricted the flow of the tributary as it continued north;
  - Trees grew, were cleared, re-grew, were cleared again and re-grew; and
- Applicant avoids overparking under regulations it did not develop.

# 155.103(C)(7)(E) FINDINGS

*The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.*

- The cultural event area is south of the building and 80-100 feet north of the south wall of PepBoys (320 feet from any home).
- The lighting variations enhance values and are not a detriment.
- The landscape variations to avoid plantings in a wetland continue the longstanding screen for homes to the south and southwest.
- The apron waiver allows relocation of the dumpster from near the south lot line and allows loading east of the building rather than south.
- The variations support a project that will reduce substantial sheet flow towards the south lot line.



# 155.103(C)(7)(F) FINDINGS

The granting of the variation will not alter the essential character of the neighborhood.

- The neighborhood is the B4A stretch of Roosevelt Road, not the wholly disconnected area that is York Center.
- The project fulfills the character by improving land for hospitality use in an area where there are numerous food and beverage operations and most of these operations do not provide foundation plantings, full loading aprons, full parking or trees in all landscape islands.
- The lighting variations benefit the neighborhood.
- Some of the variations benefit the adjacent residential neighborhood.
- None of the variations have impacts extending into this area to the south.

# 155.103(C)(7)(G) FINDINGS

*The proposed variation will not impair an adequate supply of light and air to adjacent property. . . .*

- The apron variation assists in increasing light and air by allowing relocation of the waste enclosure to an area between buildings.
- The only physical variations south of the building relate to avoiding unnatural landscaping in the longstanding wetland.
- The parking variations do not affect light and air.
- The lighting variations do not affect light and air.

# 155.103(C)(7)(G) FINDINGS

*The proposed variation will not . . . substantially increase the congestion of the public streets. . . .*

- The apron variation occurs in the deep interior of the property and use of the voluntary loading zone avoids congestion in the public streets when necessary parking spaces are not used by a truck.
- The lighting variation supports illumination of the reciprocal easement area and improves access, thereby avoiding congestion of the access were not illuminated.
- The parking variation allows a volume of spaces adequate to serve the use (acceptable under ITE ranges, area municipalities) to avoid multiple same-trip usage of IL 38.
- The timing of cultural events on the south side of the building is such that the use of the area will not be during times of high parking demand.
- Landscape variations for style of trees along IL 38 avoids overly planting along and in the right of way where there are multiple aggregations of utility lines.



# 155.103(C)(7)(G) FINDINGS

*The proposed variation will not . . . increase the danger of fire. . . .*

- None of the variations relate to matters of fire safety.
- The apron variation is for a loading area and not required for fire safety.
- The planned use of the property allows for fire fighting from three of four side of the building, and the east side can be accessed easily.
- There is no structure south of the building, so the parking variation's contemplation of a valet plan will not affect fire safety.
- The variation to allow rickshaws in two planting beds and the other landscape variations do not affect fire planning or rescue.

# 155.103(C)(7)(G) FINDINGS

*The proposed variation will not . . . impair natural drainage. . . .*

- The reduction of parking by two rows situated south and west of proposed parking avoids impairing natural drainage.
- The County and Village have reviewed preliminary engineering and no aspect of the plans indicates that there could be such an impairment.
- The project will be properly permitted under applicable ordinances.
- The project will actually restore some of the natural drainage across the south property line by eliminating sheet flow that currently impedes flow from the south.
- None of the variations diminish respect for the floodway and wetland.
- The wetland and floodway did not develop naturally.

# 155.103(C)(7)(G) FINDINGS

*The proposed variation will not . . . create drainage problems on adjacent properties. . . .*

- The reduction of sheet flow from most of the site will avoid a large volume of water flowing south against the volume passing through the pipes in Co-Op Park.
- None of the drainage planning impacts properties to the east or west.
- The project will improve low volume events.
- Drainage will be planned not to cause overflow onto IL 38.
- The project will improve the operation of the floodway.



# 155.103(C)(7)(G) FINDINGS

*The proposed variation will not . . . endanger the public safety. . . .*

- The lighting variations improve public safety.
- Waiving the loading zone apron does not affect public safety since nearly all loading is done before the business opens.
- The parking variation avoids excessive parking for the use and does not lead to overuse or abuse of the access easement.
- The avoidance of southerly foundation landscaping allows more safety in an area where loading activity occurs.
- The avoidance of southerly foundation landscaping improves safety for persons accessing the area where cultural events will occur.
- Waiving one tree in each of the planting islands hosting a rickshaw allows for a safer rickshaw amenity by allowing views to the rickshaws and those one or around them.

# 155.103(C)(7)(G) FINDINGS

*The proposed variation will not . . . substantially diminish or impair property values within the neighborhood.*

- The neighborhood is the B4A stretch of Roosevelt Road, not the wholly disconnected area that is York Center.
- The photometric plan reflects compliance with the Lombard Zoning Ordinance and DuPage County standards (County in relation to the access lighting for which two of the variations are requested).
- Since the 1960's, parcels along Roosevelt Road were planned for commercial use and values contemplate the transition in use from York Center north to Roosevelt Road.
- The variations themselves have no effect on land values, and the project supported by the variations is within the envelope created by the Village in the B4A district.

## 155.103(C)(7)(G) FINDINGS

*The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of the public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.*



# 155.103(C)(8) FINDINGS

- None of the variations modify any defined term.
- The project is not eligible for planned development treatment
- None of the variations vary uses between zoning districts. All uses are authorized uses in the B4A Roosevelt Road Corridor district.
  - Restaurants and banquets with outdoor dining are permitted as of right;
  - Cultural activities on some Saturdays are a conditional use because they occur outdoors.
  - Dancing and entertainment are conditional uses in a restaurant or banquet operation.
  - The small portion of a glass roof that is slightly above the 40-foot building height limit requires a conditional use.
- No variation results in a density increase.